

HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER
IFB-19-HHL-009

PERMIT SET
ADDRESS: 2200 FARRINGTON AVE,
HO'OLEHUA, MOLOKA'I, HAWAI'I 96729
TMK: (2) 5-2-015:053

PROJECT TEAM

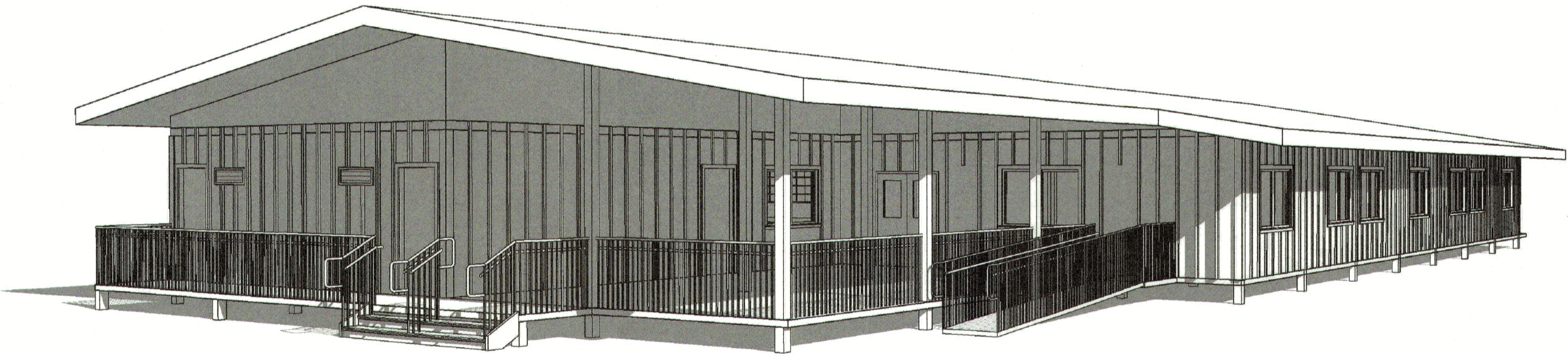
OWNER/CLIENT:
DEPARTMENT OF HAWAIIAN HOME LANDS
91-5420 KAPOLEI PKWY, KAPOLEI, HI 96707

CIVIL/ARCHITECT:
G70
111 S. KING STREET SUITE 170
HONOLULU, HAWAII 96813

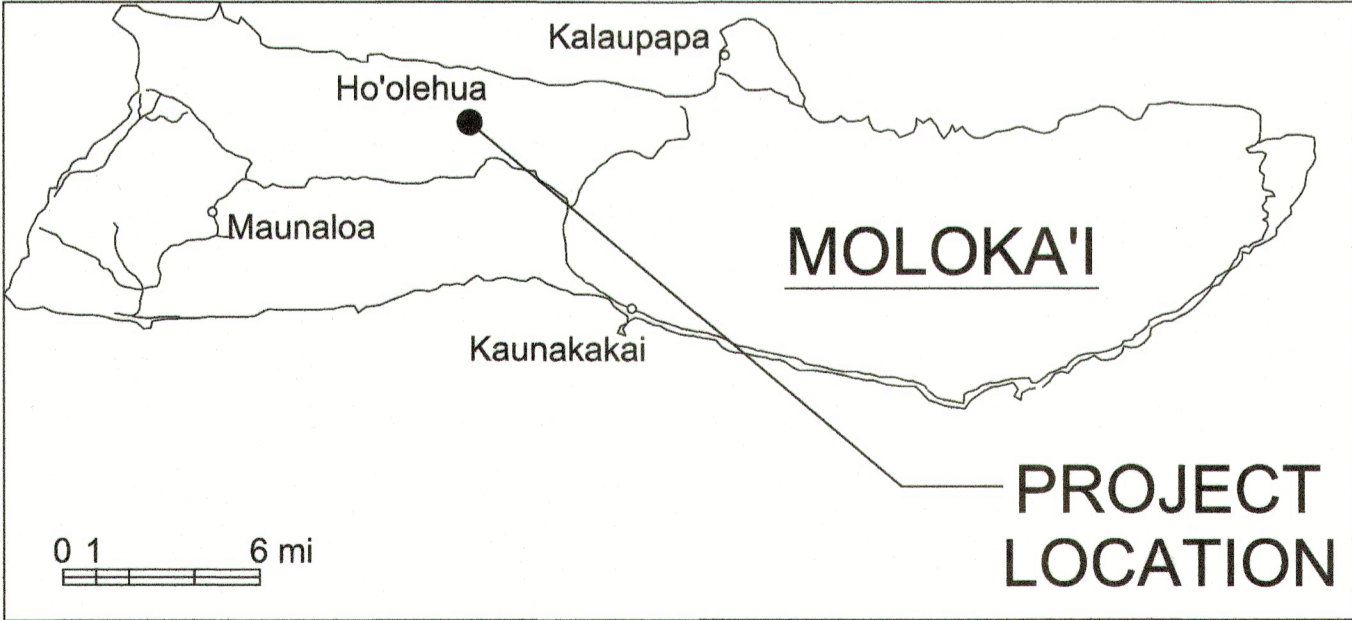
STRUCTURAL ENGINEER:
TANIMURA & ASSOCIATES INC
925 BETHEL ST # 309, HONOLULU, HI 96813

MECHANICAL ENGINEER:
RANDOLPH H MURAYAMA & ASSOCIATES
1267 YOUNG ST, HONOLULU, HI 96814

ELECTRICAL ENGINEER:
ALBERT CHONG ASSOCIATES INC
1117 KAPAHULU AVE, HONOLULU, HI 96816

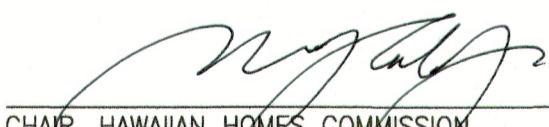


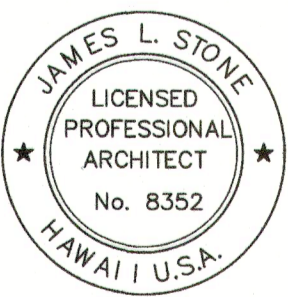
LOCATION MAP



VICINITY MAP

APPROVALS


CHAIR, HAWAIIAN HOMES COMMISSION
STATE OF HAWAII
2/4/19
DATE



THIS WORK WAS PREPARED BY ME OR UNDER MY
SUPERVISION AND CONSTRUCTION OF THIS PROJECT
WILL BE UNDER MY OBSERVATION (OBSERVATION OF
CONSTRUCTION AS DEFINED IN SECTION 16-115.2 OF THE STATE OF
HAWAII, DEPARTMENT OF COMMERCE
AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE
RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS,
AND LANDSCAPE ARCHITECTS §2994)

DWG. NO.
T-101
SHEET 1 OF 57

SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

TITLE SHEET

DESIGNED BY: JS CHECKED BY: RO DRAWN BY: G70

11-06-18

FILE	POCKET	FOLDER	NO.

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DWG. NO.
T-102
SHEET 2 OF 57

JAMES L. STONE

LICENSED PROFESSIONAL ARCHITECT

No. 8352

HAWAII, U.S.A.

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SIGNATURE

DESIGNED BY: JS

CHECKED BY: RD

DRAWN BY: GTO

11-06-18

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APPROVED

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DEPARTMENT OF HAWAIIAN HOME LANDS

STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER

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PROJECT INFORMATION

GENERAL

LOT SIZE:

EXISTING FLOOR AREA: 8,400 S.F.
EXISTING PARAMETER: 380'-0"
TOTAL PARAMETER:> 30'-0"
OPEN = 275'-0"

TAX MAP KEY

(2) 5-02-15:053

SCOPE OF WORK

MODULAR DESIGN FOR NEW COMMUNITY CENTER WITH MULTI-PURPOSE, CLASSROOM, KITCHEN AND OFFICES, SITE IMPROVEMENTS TO INCLUDE PARKING LOT, SIDEWALKS AND UTILITY SERVICES.

REFERENCE CODES

BUILDING CODE: (OAHU/MAUI/HAWAII/KAUAI) COUNTY CODE - INTERNATIONAL BUILDING CODE 2006

ACCESSIBILITY: AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES

ENERGY CODE: MAUI MODEL ENERGY CODE

ZONING

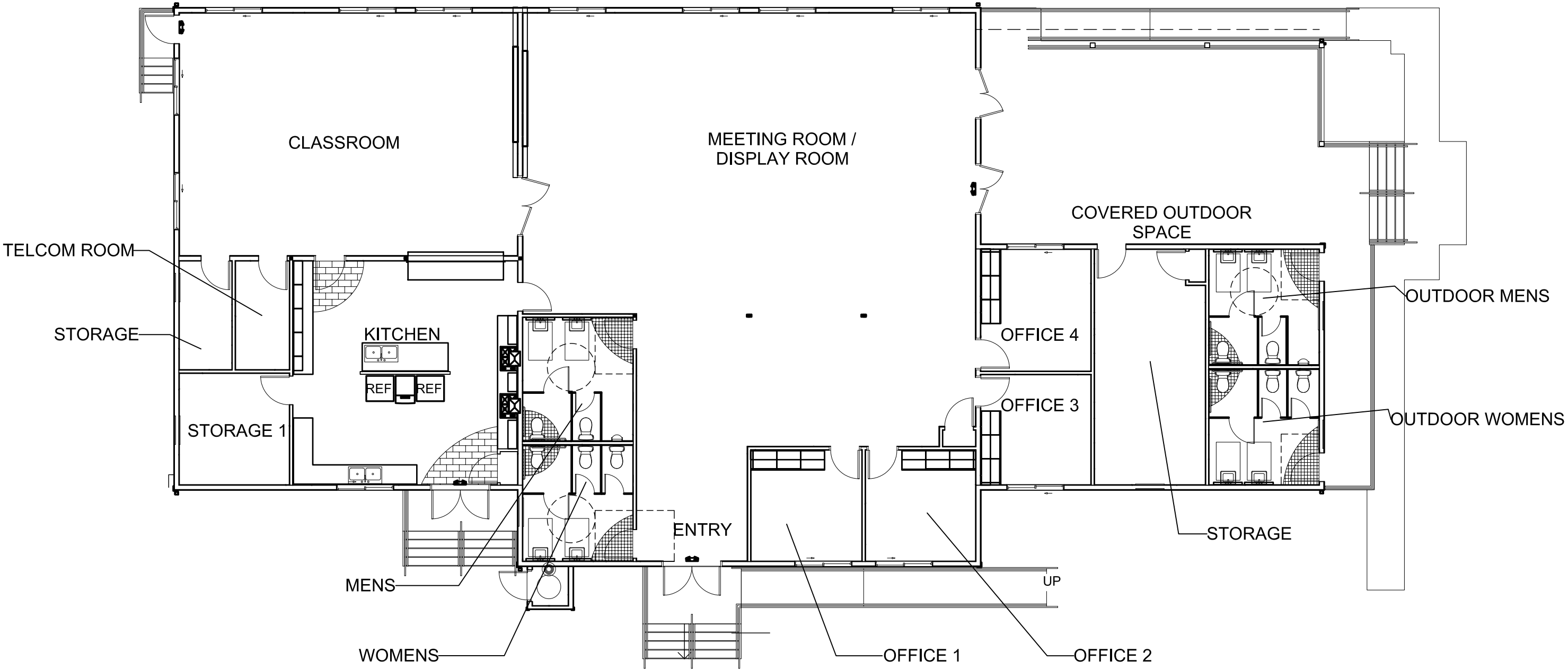
MAUI ZONING ORDINANCE

PARKING:
CLUBHOUSE (1 STALL : 200 S.F.): 32 STALLS

SANITARY FACILITIES

ALLOWABLE MINIMUM SANITARY FACILITIES PER UNIFORM PLUMBING CODE (1991,1997)

CODE DIAGRAM



CODE - FLOOR PLAN

BUILDING CODE NOTES

OCCUPANCY: OCCUPANCY A-3 - TRAINING AND SKILLED DEVELOPMENT NOT WITHIN A SCHOOL

CONSTRUCTION TYPE: V-B NON-SPRINKLERED

PROPOSED BUILDING AREA: 6,342 S.F.
BASE ALLOWABLE BUILDING AREA (TABLE 503): 6,000 S.F.

SECTION 506.2 FRONTAGE INCREASE
274'-0" / 380'-0" = 0.724 = 0.72
0.72 - 0.25 = 0.47 = 47% BONUS

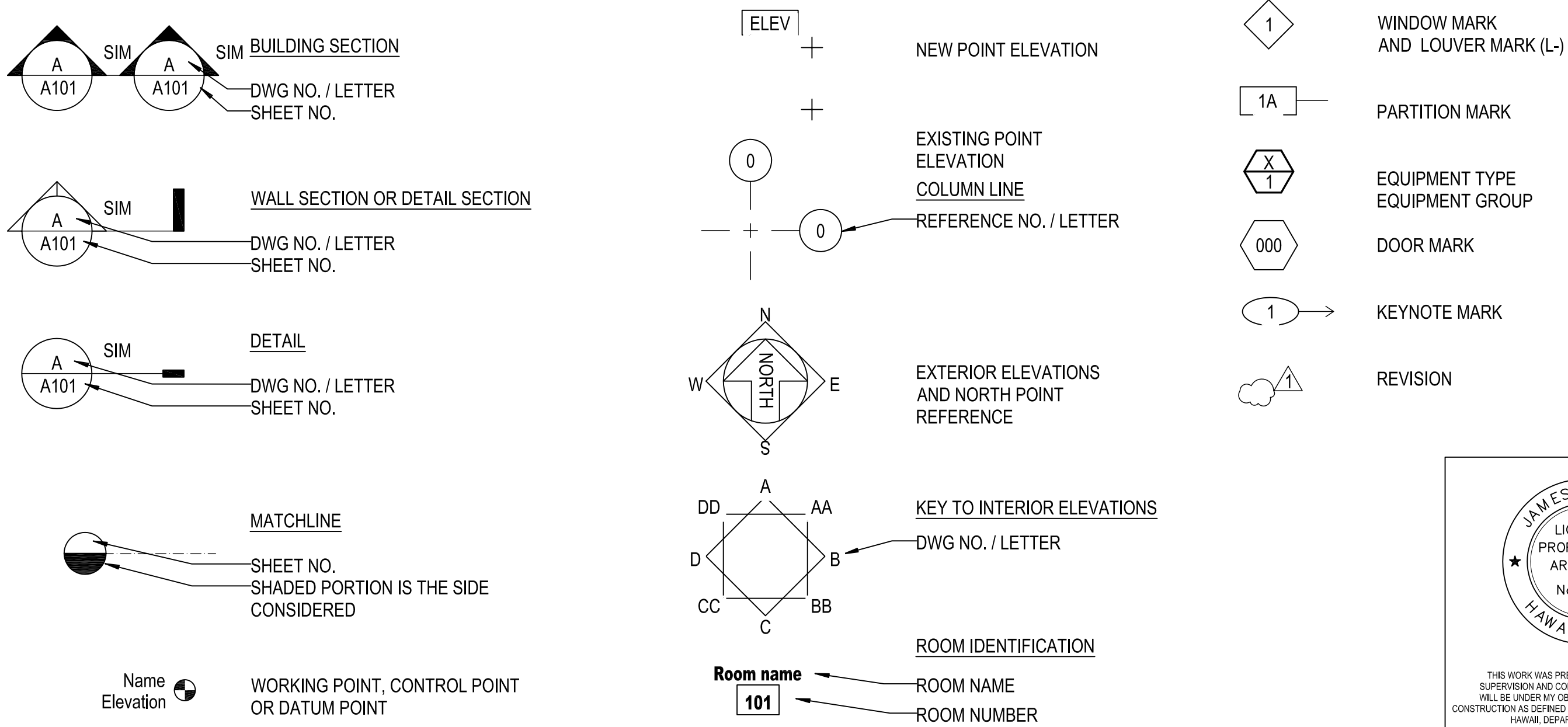
TOTAL ALLOWABLE AREA
6,000 S.F. X 1.47 = 8,820 S.F. EXCEEDS PROPOSED BUILDING AREA

MAX HEIGHT: 26'

MAX STORIES: 1-STORY

FLOOD ZONE: AE 10'
CURRENT ELEVATION: FINISH FLOOR 7.70', FLOOD PROTECTION PROVIDED TO 10'

SYMBOLS



DWG. NO.
T-103
SHEET 3 OF 57

JAMES L. STONE

LICENSED PROFESSIONAL ARCHITECT

No. 8352

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DRAWN BY: GTO

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POCKET

FOLDER

NO.

ABBREVIATIONS

GENERAL NOTES

&	AND	DW	DISH WASHER	JAL	ALOUSIE	REBAR	REINFORCING BAR
@	ANGLE	DWG	DRAWING	JAN	JANITOR	REC	RECESSED
	AT	DWR	DRAWER	JB	JUNCTION BOX	REF	REFERENCE
	CENTER LINE			JC	JANITOR'S CLOSET	REINF	REINFORCED OR REINFORCING
	DIAMETER	E	EAST	JST	JOIST	REQD	REQUIRED
'	FOOT; FEET	EA	EACH				
"	INCH	EC	ELASTOMERIC COATING	JT	JOINT	RESIL	RESILIENT
%	PERCENT	EFS	EXTERIOR FINISH	KIT	KITCHEN	REV	REVISED, REVISION OR REVERSED
	PERPENDICULAR		EXTERIOR INSULATION & FINISH SYSTEM			RF	ROOF, RESILIENT FLOOR
#	POUND OR NUMBER	EJ	EXPANSION JOINT	L	LENGTH OR LONG	RFG	ROOFING
A/C	AIR CONDITIONING	EL	ELEVATION	LAB	LABORATORY	RGH	ROUGH
AB	ANCHOR BOLT	ELEC	ELECTRICAL	LAM	LAMINATE OR LAMINATED		
ABREV	ABBREVIATION	ELEV	ELEVATOR	LAV	LAVATORY	RGTR	REGISTER
ABV	ABOVE	ENCL	ENCLOSURE	LDG	LANDING	RH	ROBE HOOK, RIGHT HAND
AC	ASPHALT CONCRETE					RM	ROOM
		EPS	EXPANDED POLYSTYRENE	LF	LINEAR FOOT	RND	ROUND
ACT	ACOUSTICAL TILE	EQ	EQUAL	LH	LEFT HAND	RO	ROUGH OPENING
ACOUS	ACOUSTICAL	EQPT	EQUIPMENT	LOC	LOCATION	RWC	RAIN WATER CONDUCTOR
AD	AREA DRAIN	EXP	EXPANSION	LT	LIGHT	RWD	REDWOOD
ADD	ADDITIVE, ADDENDUM	EW	ELEC. WATER COOLER	LP	LOW POINT	RWL	RAIN WATER LEADER
ADJ	ADJUSTABLE	EXIST	EXISTING	LVR	LOUVER	S	SOUTH
		EXT	EXTERIOR			SA	SINGLE ACTING
ADJA	ADJACENT			MAR	MARBLE	SAFB	SOUND ATTENUATION FIRE BLANKET
AFP	ABOVE FINISH FLOOR	FA	FIRE ALARM	MAX	MAXIMUM		
AGGR	AGGREGATE	FAB	FABRICATE	MAT	MATERIAL		
AHU	AIR HANDLING UNIT	FAEM	FLUID APPLIED ELASTOMERIC MEMBRANE	MC	MEDICINE CABINET	SB	SPLASH BLOCK
AL/ALUM	ALUMINUM	FB	FLAT BAR	MECH	MECHANICAL	SC	SCALE OR SOLID CORE
		FCU	FAN COIL UNIT				
ALT	ALTERNATE	FD	FLOOR DRAIN	MEMB	MEMBRANE	SCD	SEAT COVER DISPENSER
ANOD	ANODIZED	FON	FOUNDATION	MET/MTL	METAL	SCHED	SCHEDULE
AP	ACCESS PANEL	FE	FIRE EXTINGUISHER	MFR	MANUFACTURER	SCP	SCUPPER
APPROX	APPROXIMATE	FEC	FIRE EXTINGUISHER CABINET-SURFACE	MH	MANHOLE OR MOP HOLDER	SD	SOAP DISPENSER OR
ARCH	ARCHITECTURAL	FEC-S	FIRE EXTINGUISHER CABINET-SEMI RECESSED	MIN	MINIMUM		SMOKE DETECTOR
		FEC-SR				SEC	SECTION
BD	BOARD			MIRR	MIRROR		
BLDG	BUILDING	FEC-R	FIRE EXTINGUISHER CABINET-RECESSED	MISC	MISCELLANEOUS	SEP	SEPARATION
BLKG	BLOCKING	FF	FINISH FLOOR	MLDG	MOLDING	SF	SQUARE FOOT
BLVD	BOULEVARD	FF&E	FURNITURE, FIXTURE & EQUIPMENT	MR	MOISTURE RESISTANT	SH	SHELF
BM	BEAM	FIN	FINISH	MO	MASONRY OPENING	SHR	SHOWER
		FIX	FIXTURE			SHT	SHEET
BOH	BACK OF HOUSE			MS	MOP SINK		
BOT	BOTTOM	FLR	FLOOR	MTD	MOUNTED	SHTG	SHEATHING
BRKT	BRACKET	FLASH'G	FLASHING	MTG	MOUNTING	SIM	SIMILAR
BS	BOTH SIDES	FLDG	FOLDING	MUL	MULLION	SL	SLOPE
BTWN	BETWEEN	FLUOR	FLUORESCENT	MUN	MUNTIN	SLDG	SLIDING
		FOC	FACE OF CONCRETE			SLNT	SEALANT
BUR	BUILT-UP ROOFING			NIC	NOT IN CONTRACT		
		FOF	FACE OF FINISH	NOIM	NOMINAL	SM	SHEET METAL
CAB	CABINET	FOM	FACE OF MASONRY	NTS	NOT TO SCALE	SND	SANITARY NAPKIN DIPOSAL
CB	CATCH BASIN	FOS	FACE OF STUDS, SLAB OR STRUCTURE			SP	SOLID PHENOLIC
CEM	CEMENT	FR	FRAME	OA	OVERALL	SPEC	SPECIFICATION
CEM PLAS	CEMENT PLASTER	FS	FULL SIZE OF FLOOR SINK	OC	ON CENTER	SQ	SQUARE
CER	CERAMIC			OD	OUTSIDE DIAMETER		
		FT	FOOT OR FEET	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED		
CG	CORNER GUARD	FTG	FOOTING	OFD	OVERFLOW DRAIN	SS	SERVICE SINK
CI	CAST IRON	FURR	FURRING			SST	STAINLESS STEEL
CIP	CAST IN PLACE	FUT	FUTURE	OFF	OFFICE	ST	STONE
CJ	CONSTRUCTION OR CONTROL JOINT			OFOI	OWNER FURNISHED OWNER INSTALLED	STD	STANDARD
CLG	CEILING	GA	GAUGE	OH	OVERHANG	STL	STEEL
		GALV	GALVANIZED	OI	OWNER INSTALLED		
CLO	CLOSET	GB	GRAB BAR	OPNG	OPENING	STN	STAIN
CLR	CLEAR	GFRC	GLASS FIBER REINFORCED CONCRETE			STOR	STORAGE
CMU	CONCRETE MASONRY UNITS	GI	GALVANIZED IRON	OPP	OPPOSITE	STRUC	STRUCTURAL
CNTR	COUNTER			OVHD	OVERHEAD	STRUC	STRUCTURE
COL	COLUMN	GL	GLASS			SUSP	SUSPENDED
		GLU-LAM	GLUE LAMINATED	PC	PIECE		
CONC	CONCRETE	GND	GROUND	PD	PLANTER DRAIN	SYM	SYMMETRICAL
COND	CONDITION	GR	GRADE	PERIM	PERIMETER	SYS	SYSTEM
CONN	CONNECTION	GYP	GYPSUM	PL	PLATE OR PROPERTY LINE	SW	SWITCH
CONSTR	CONSTRUCTION			PLAM	PLASTIC LAMINATE		
CONT	CONTINUOUS	H	HIGH OR HEIGHT			T	TREAD
		HB	HOSE BIBB	PLAS	PLASTER	TB	TOWEL BAR
CONTR	CONTRACTOR	HC	HOLLOW CORE	PLBG	PLUMBING	TD	TRENCH DRAIN
COP	COPPER	HD	HEAD	PLYWD	PLYWOOD	TEMP	TEMPERED
CORR	CORRIDOR	HD	HANDICAPPED	PNL	PANEL	THK	THICK
CPT	CARPET			PR	PAIR		
CT	CERAMIC TILE	HDWD	HARDWOOD			THR	THRESHOLD
		HDWE	HARDWARE	PREFAB	PREFABRICATE	TP	TOILET PARTITION
CTR	CENTER	HT	HEIGHT	PREP	PREPARATION	TSC-TTD	TOILET SEAT COVER - TOILET TISSUE DISPENSER
CTSK	COUNTERSINK	HM	HOLLOW METAL	PROP	PROPERTY		
CW	COLD WATER	HORIZ	HORIZONTAL	PT	PAINT, POINT		
				PTRD	PAPER TOWEL DISPENSER AND RECEPTACLE	TPH	TOILET PAPER HOLDER
DA	DOUBLE ACTING	HR	HOUR OR HANDRAIL			TW	TOP OF WALL
DBL	DOUBLE	HS	HAND SINK	PTN	PARTITION	TYP	TYPICAL
DD	DECK DRAIN	HP	HIGH POINT	PIP	POURED IN PLACE		
DECOR	DECORATIVE	HVAC	HEATING, VENTILATION, AIR CONDITIONING	V	POST INDICATE VALVE	UON	UNLESS OTHERWISE NOTED
DEMO	DEMOLITION			PVC	POLYVINYL CHLORIDE	UR	URINAL
		ID	INSIDE DIAMETER	PVMT	PAVEMENT		
DEPT	DEPARTMENT	IN	INCH			VCT	VINYL COMPOSITION TILE
DET	DETAIL	INCL	INCLUSIVE, INCLUDED OR INCLUDING	QT	QUARRY TILE	VERT	VERTICAL
DF	DRINKING FOUNTAIN	INSUL	INSULATION			VIF	VERIFY IN FIELD
DIA	DIAMETER	INT	INTERIOR	R	RISER, RADIUS		
DIM	DIMENSION	INTEG	INTEGRATED	RAD	RADIUS	W/	WITH
		INFO	INFORMATION	RB	RESILIENT BASE	WC	WATER CLOSET
DISP	DISPENSER	INV	INVERT	RC	RAIN CHAIN	WD	WOOD
DN	DOWN			RD	ROOF DRAIN	WDW	WINDOW
DR	DOOR					WH	WALL HYDRANT
DS	DOWNSPOUT						
						WJ	WALL JOINT
						W/O	WITHOUT
						WP	WATERPROOF
						WR	WATER RESISTANT
						WT	WEIGHT
						WHL	WEEP HOLE

1. ALL WORK SHALL CONFORM TO THE HONOLULU INCLUDING ALL AMENDMENTS AND AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND THE BEST TRADE PRACTICES.
2. ALL WORK SHALL CONFORM TO SEISMIC REQUIREMENTS OF SEISMIC ZONE XX. (SEE STRL DWGS)
3. TOP OF ARCHITECTURAL FINISH FLOOR @ 0.00 ELEVATION = XXXX BASED ON U.S. COAST AND GEODETIC SURVEY. ALTERNATIVE: [REFER TO CIVIL DRAWINGS FOR ARCHITECTURAL FINISH FLOOR ELEVATION]
4. THE CONTRACTOR SHALL FULLY EXECUTE ALL CONDITIONS OF THE CONTRACT, INCLUDING THE REQUIREMENTS OF THE GENERAL CONDITIONS (AIA DOCUMENT A201).
5. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING LOCAL AGENCIES.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY CONDITIONS OF DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH WORK TO THE ARCHITECT.
7. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS AND SPECIFICATIONS.
8. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND/OR BUILDING MANAGEMENT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
10. THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
11. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS THAT REQUIRE MODIFICATIONS BEFORE PROCEEDING WITH WORK.
12. THE CONTRACTOR SHALL COOPERATE WITH OWNER'S [FF&E, SECURITY, DATA, ETC.] CONTRACTORS FOR SCHEDULING, ACCESS, AND/OR INSTALLATION OF ALL ASSOCIATIVE EQUIPMENT WITHIN THE WORK AREA.
13. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND SIGN-OFFS.
14. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
15. THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN THE CERTIFICATE OF OCCUPANCY.
16. REFER TO CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS LEGENDS, ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING COMPONENTS.
17. NOTES APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND MATERIAL. SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
18. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE WHERE SPECIFIED DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED; CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

CONSTRUCTION NOTES

UNLESS OTHERWISE NOTED OR INDICATED DIMENSIONS ON THE PLANS SHALL BE FROM CENTERLINE OF THE COLUMN, GRIDLINE, OR FACE OF STRUCTURE/STUD.

ALL EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A WAY AS TO MAKE THEM WEATHERPROOF.

FLOOR SURFACES SHALL BE SLIP RESISTANT MEETING THE MINIMUM STATIC COEFFICIENT OF 0.6 FOR FLOORS AND 0.8 FOR RAMPS AS REQUIRED BY ADAAG.

EXTERIOR PENESTRATION AND PENESTRATION ENCLOSING CONDITIONED SPACE SHALL BE WEATHERSTRIPPED OR OTHERWISE TIGHTLY SEALED TO MINIMIZE AIR LEAKAGE.

EXTERIOR DOORS AND DOORS ENCLOSING CONDITIONED SPACE SHALL MINIMIZE AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION. SEAL OR ASTRAGAL SHALL BE PROVIDED AT HEAD, SILL, AND JAMBS. MEETING PORTIONS OF SECTIONAL, BI-PARTING, OR DOUBLE DOORS SHALL BE PROVIDED WITH A WEATHER TIGHT ASTRAGAL OR SEAL.

WHERE MULTIPLE SWITCHES OR RECEPTACLES ARE LOCATED IN NEAR VICINITY, THE CONTRACTOR SHALL GANG SWITCHES OR RECEPTACLES UP TO THE MAXIMUM WIDTH AVAILABLE FOR FACE PLATES.

ALL SWITCHES AND/OR RECEPTACLES MOUNTED ABOVE COUNTERS SHALL BE INSTALLED SO THAT LENGTH OF FACE PLATE IS ORIENTED HORIZONTALLY.

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DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

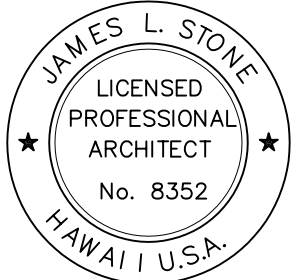
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RESIDENT'S CENTER

ABBREVIATION AND NOTES

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SIGNATURE

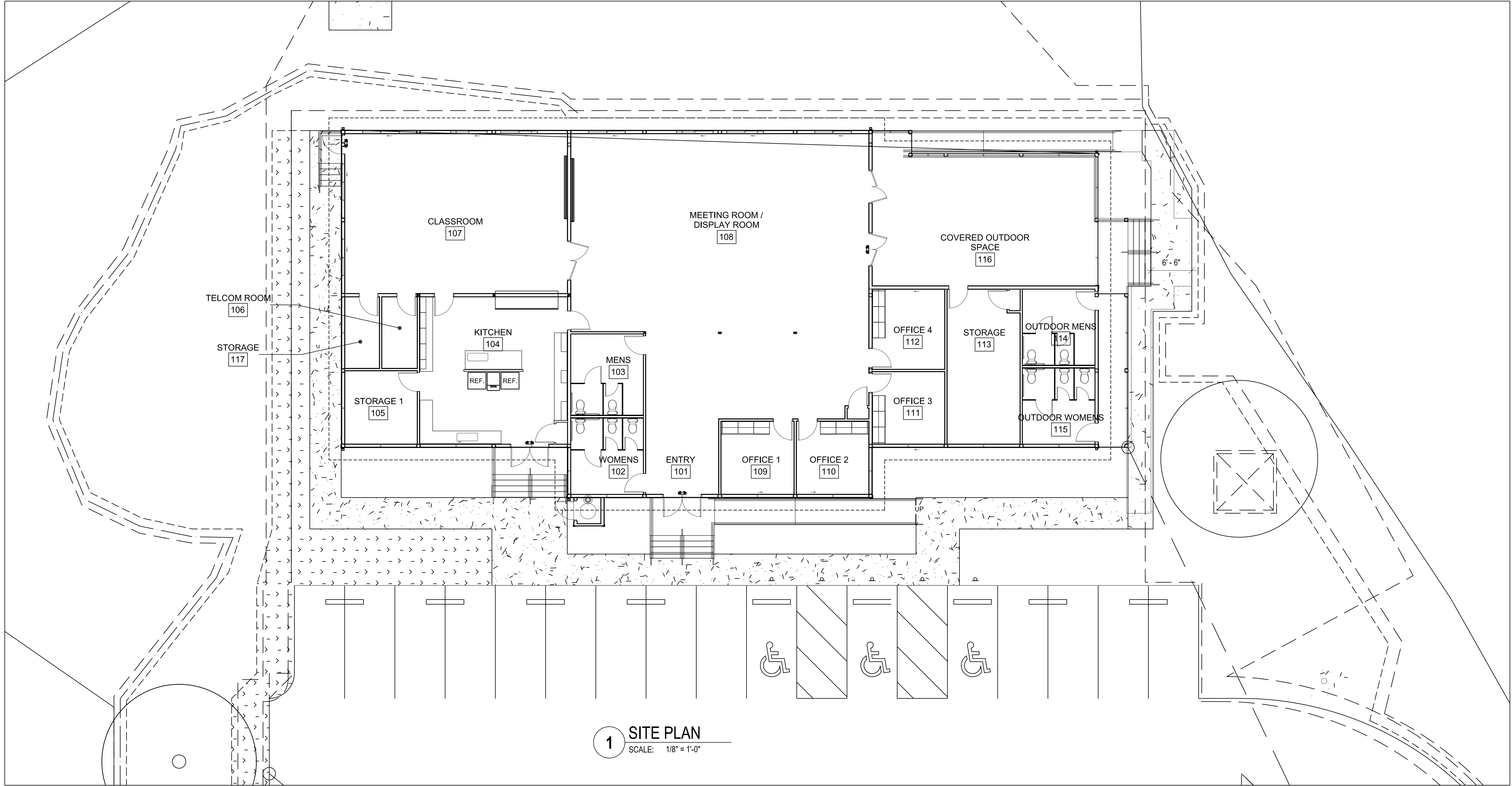
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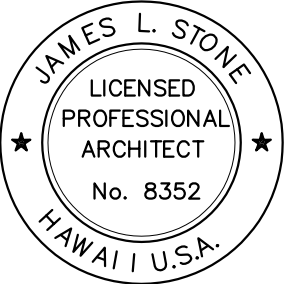
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12/12/2018 10:26:15 AM



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SIGNATURE

LICENSE EXP. DATE: APRIL 30, 2020

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

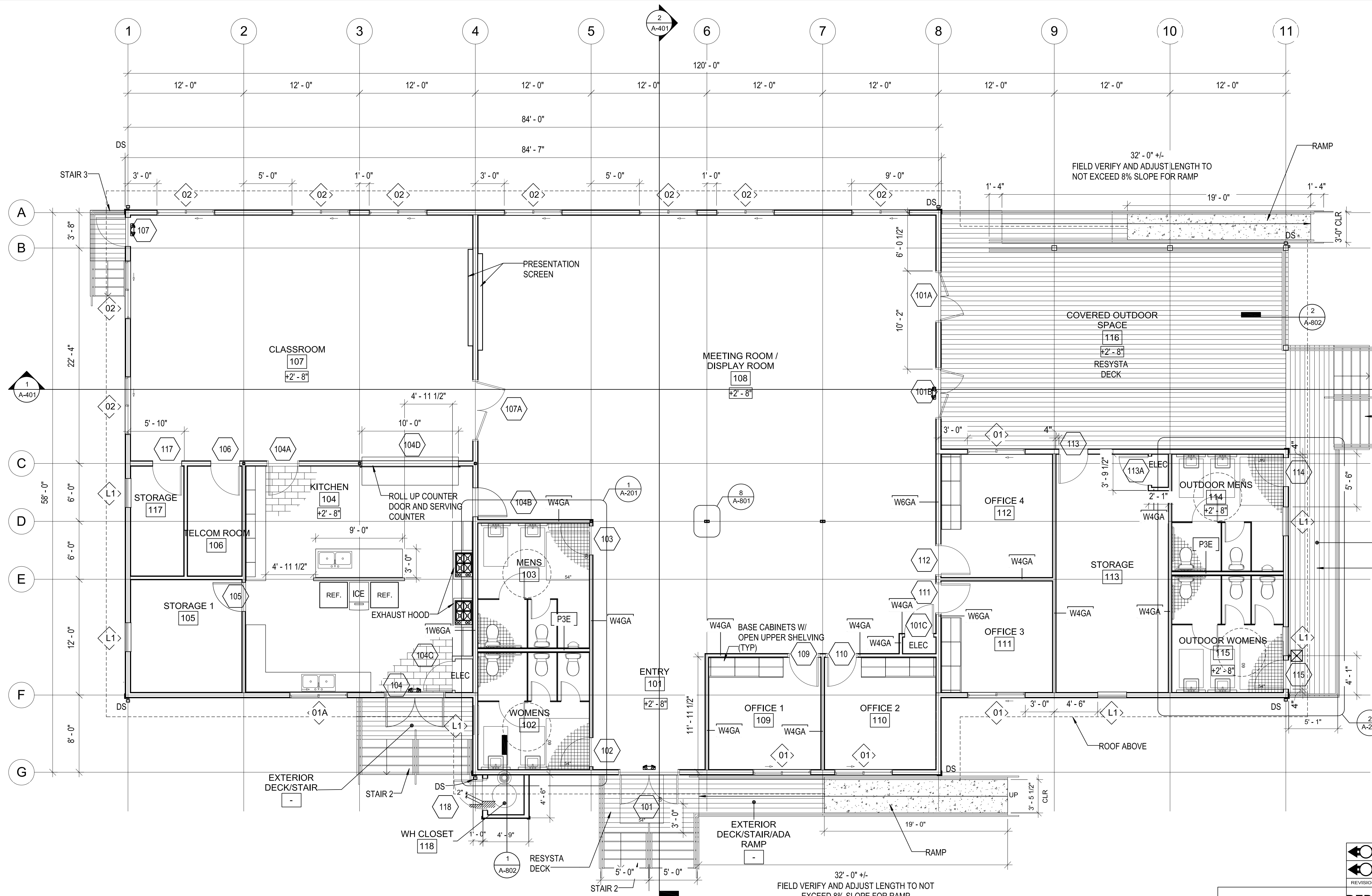
SITE PLAN

DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO

11-06-18

FILE	POCKET	FOLDER	NO.

12/12/2018 10:26:22 AM



Name	Area
ENTRY	139 SF
WOMENS	140 SF
MENS	149 SF
KITCHEN	541 SF
CLASSROOM	901 SF
MEETING ROOM / DISPLAY ROOM	1982 SF
OFFICE 4	147 SF
OFFICE 3	133 SF
STORAGE	278 SF
OUTDOOR MENS	139 SF
OUTDOOR WOMENS	139 SF
OFFICE 2	134 SF
OFFICE 1	135 SF
COVERED OUTDOOR SPACE	825 SF
STORAGE 1	134 SF
STORAGE	63 SF
WH CLOSET	13 SF
TELCOM ROOM	64 SF
EXTERIOR DECK/STAIR	223 SF
EXTERIOR DECK/STAIR/ADA RAMP	235 SF
EXTERIOR DECK/STAIR	95 SF
	6608 SF

INTERIOR GBA: 5,588 SF
COVERED LANAI: 758 SF
UNCOVERED RAMPS/STAIRS: 730 SF

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

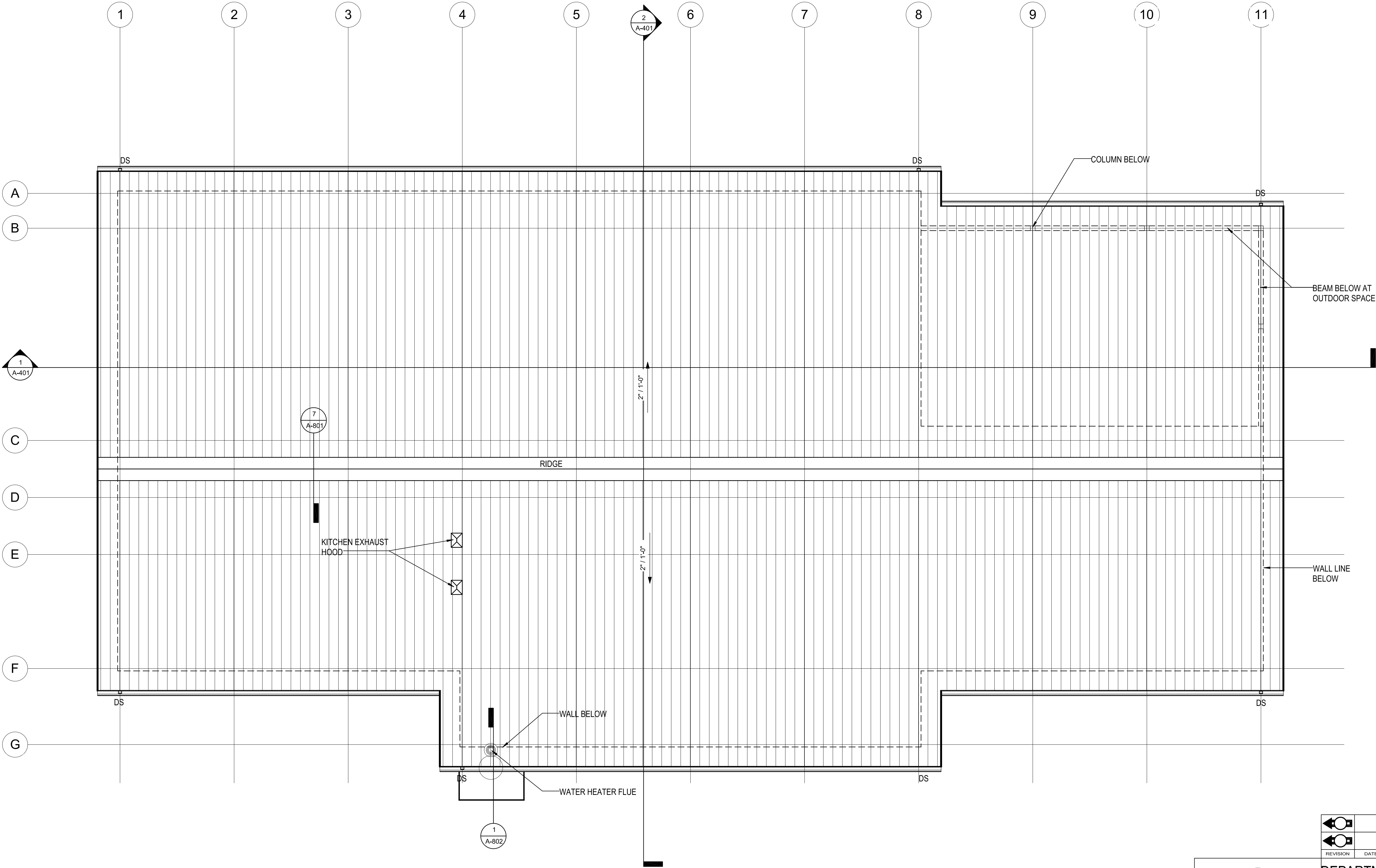
FLOOR PLAN

DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO

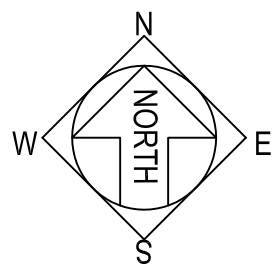
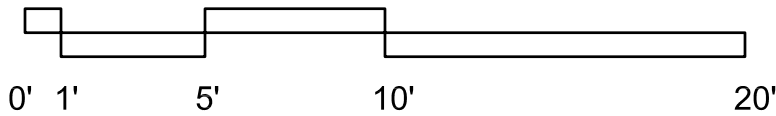
11-06-18

FILE	POCKET	FOLDER	NO.

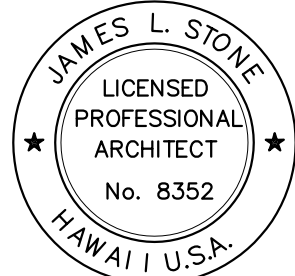
12/12/2018 10:26:25 AM



1 ROOF PLAN
SCALE: 3/16" = 1'-0"



DWG. NO.
A-102
SHEET 7 OF 57



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SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

ROOF PLAN

DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO

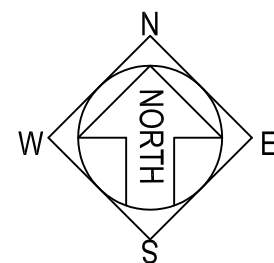
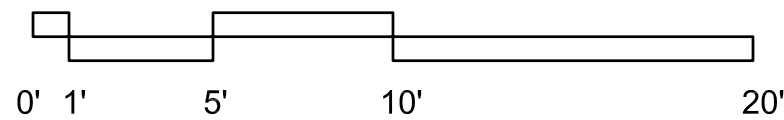
11-06-18

FILE	POCKET	FOLDER	NO.
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12/12/2018 10:26:29 AM



LEGEND			
	ACT-1 24" x 48" SUSPENDED ACOUSTICAL TILES		EXTERIOR SOFFIT BD
	ACT-2 WASHABLE 24" x 48" SUSPENDED ACOUSTICAL TILES WHERE NOTED		2 X 4 RECESSED LAY-IN LIGHT FIXTURE
	PTD GYP BD 1 LAYER		2 X 2 RECESSED LAY-IN LIGHT FIXTURE
			TRACK LIGHT FIXTURE
			LINEAR PENDANT FIXTURE
			1 X 4 RECESSED FLUORESCENT
			6" RECESSED DOWNLIGHT
			6" RECESSED WALL WASHER
			4" DOWNLIGHT
			DECORATIVE SCONCE
			2 X 2 DIFFUSER
			LINEAR SLOT DIFFUSER

1 REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

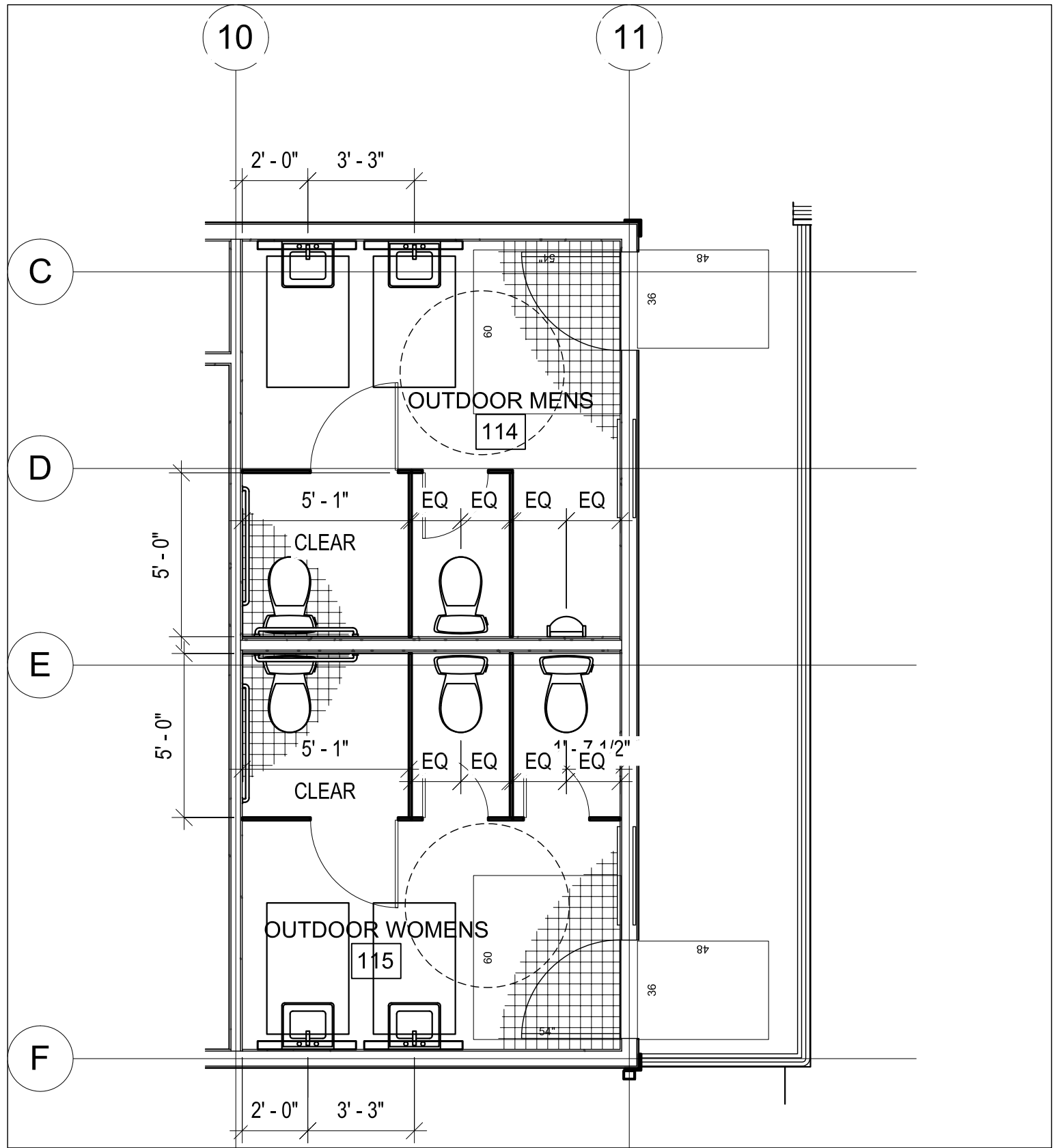


DWG. NO.
A-103
SHEET 8 OF 57

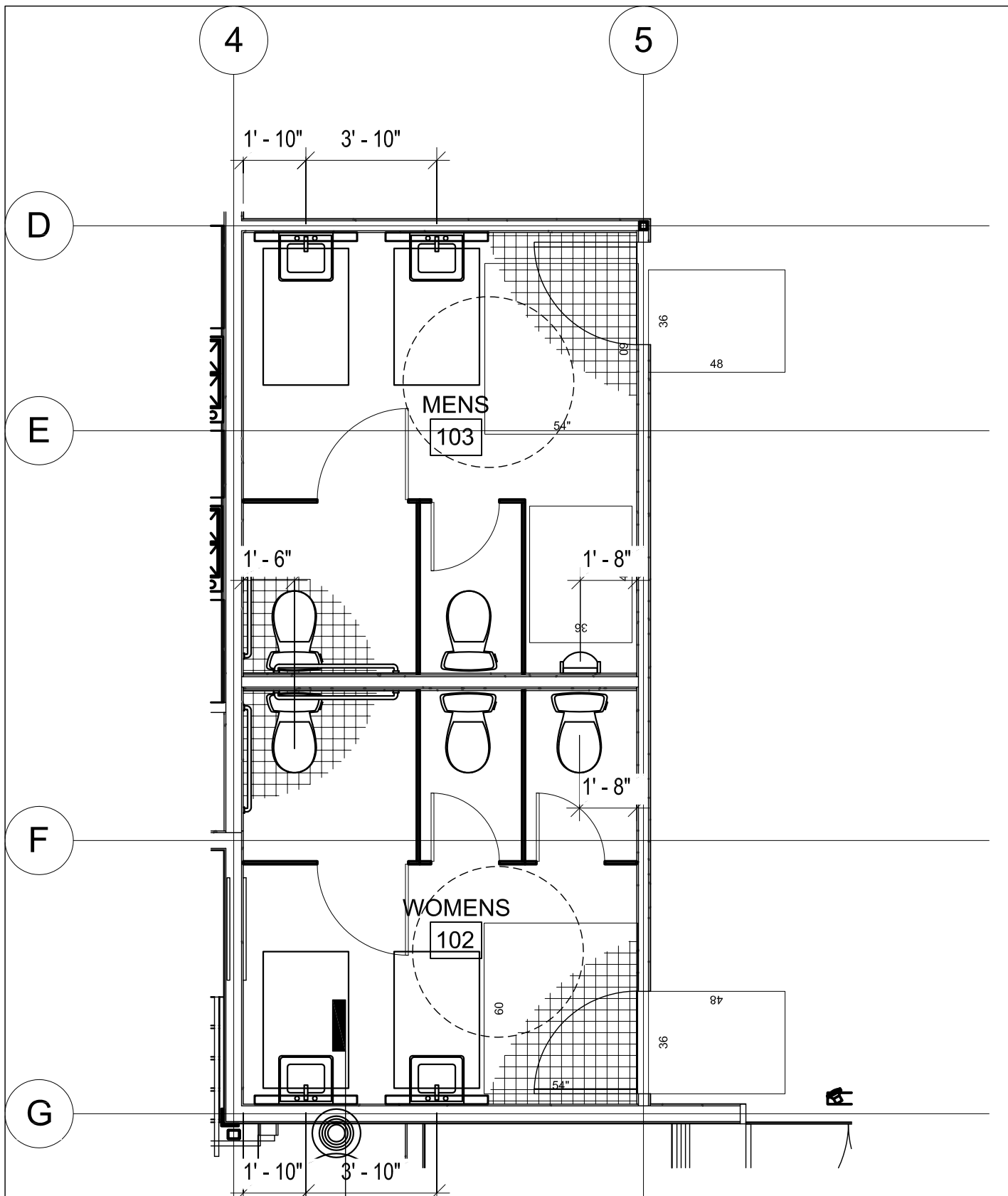


				
				
REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS				
STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER				
REFLECTED CEILING PLAN				
DESIGNED BY: JS		CHECKED BY: RD	DRAWN BY: GTO	
11-06-18				
FILE	POCKET	FOLDER	NO.	

12/12/2018 10:26:32 AM

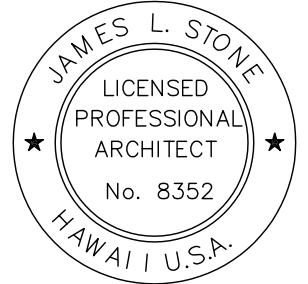


2 RESTROOM PLAN
SCALE: 1/4" = 1'-0"





1 RESTROOM PLAN
SCALE: 1/4" = 1'-0"
A-802

DWG. NO.
A-201
SHEET 9 OF 57


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SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

				
				
REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS

STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

ENLARGED PLANS

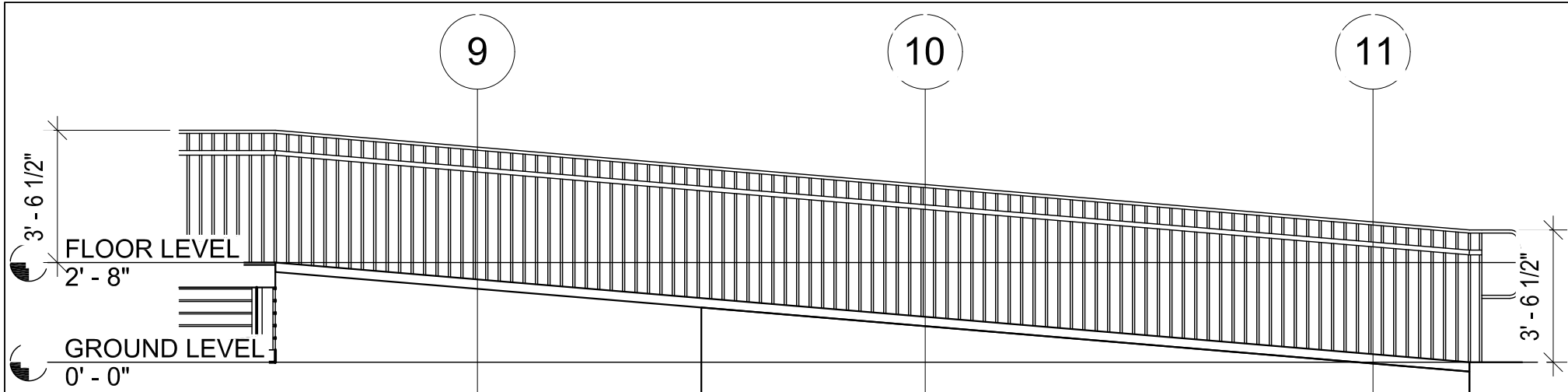
DESIGNED BY: JS

CHECKED BY: RO

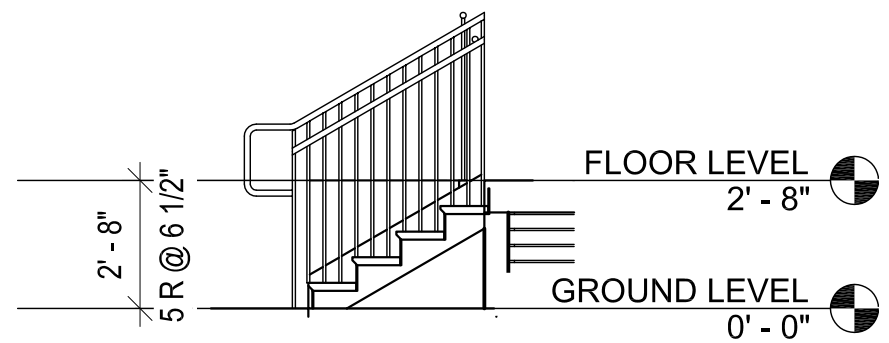
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11-06-18

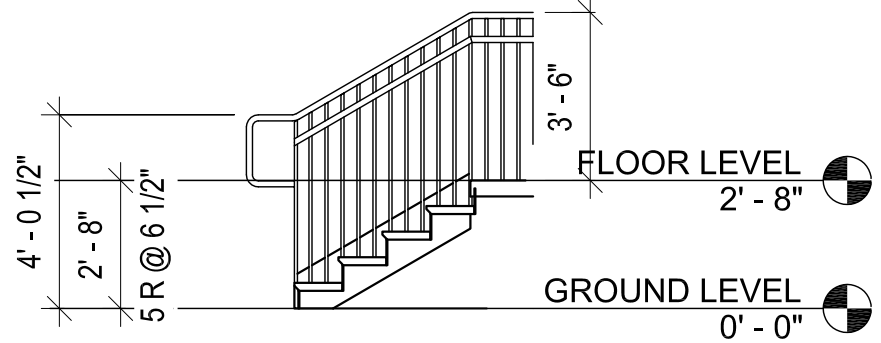
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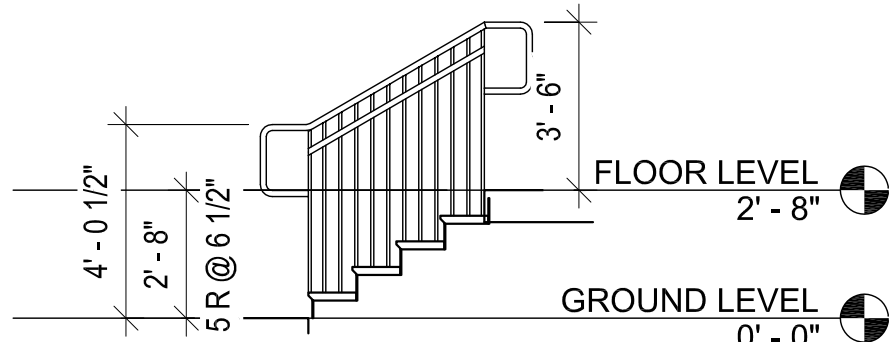
6 NORTH ENTRY RAMP SECTION
SCALE: 1/4" = 1'-0"



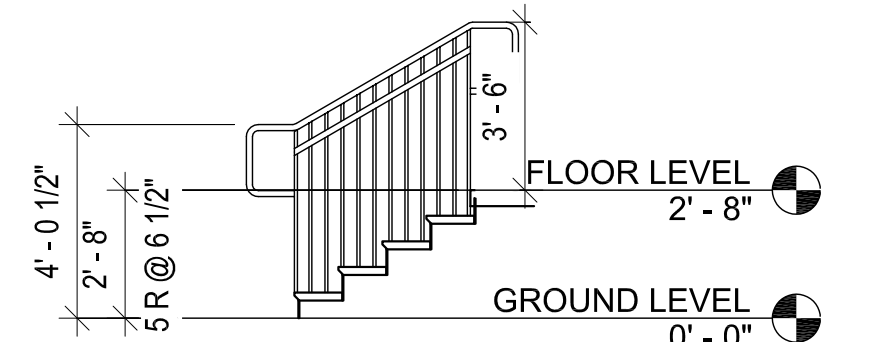
9 STAIR 4 SECTION
SCALE: 1/4" = 1'-0"



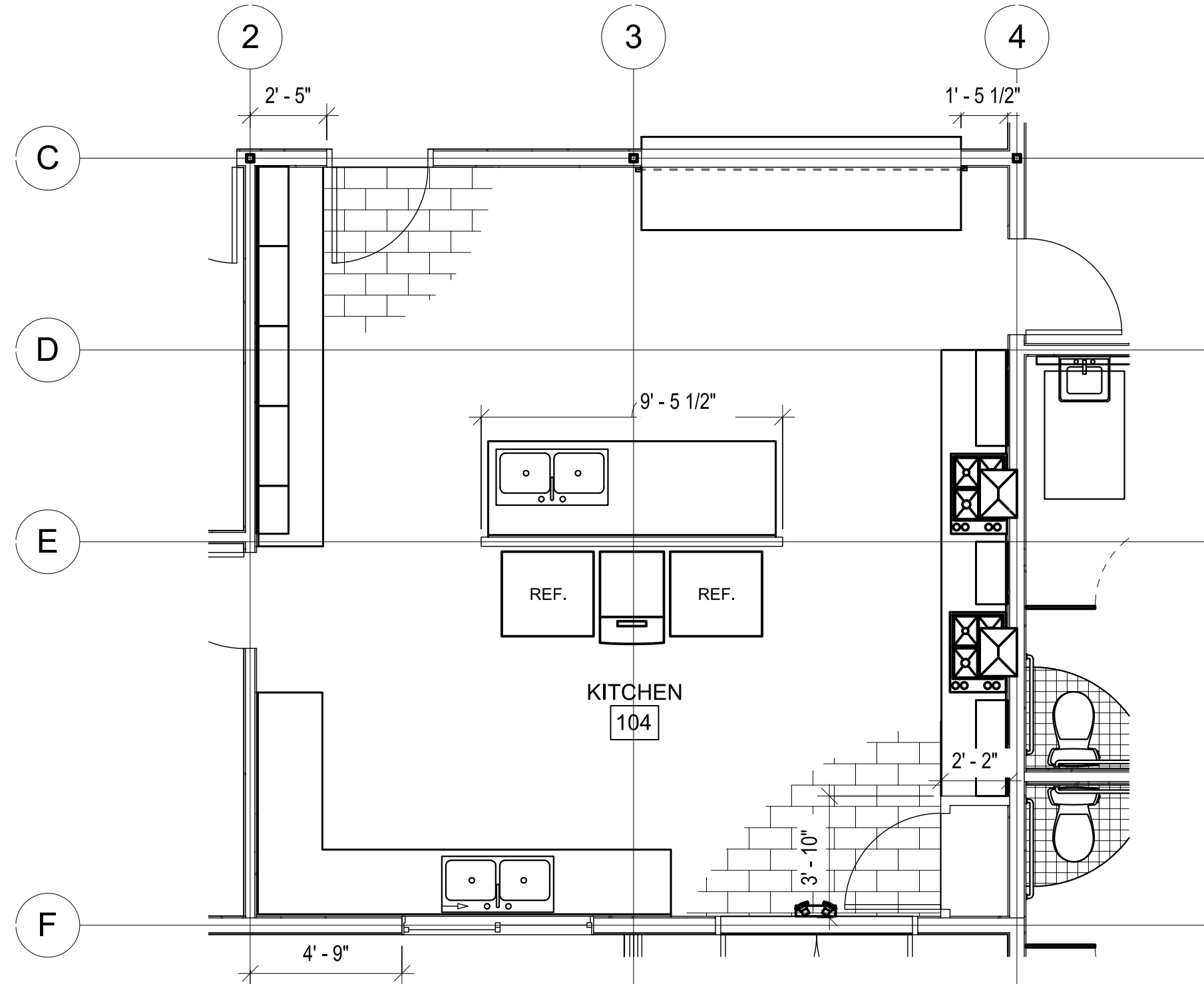
7 STAIR 2 SECTION
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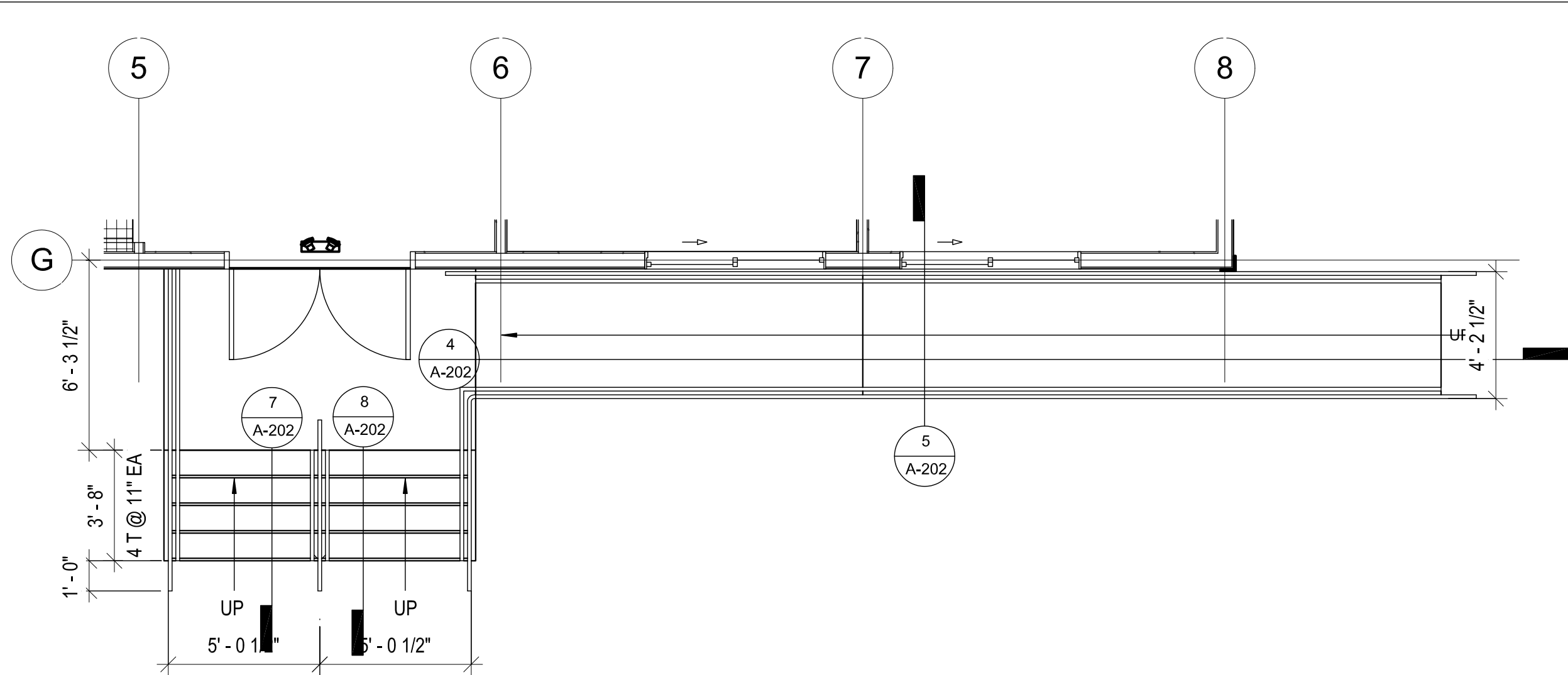
10 STAIR 4 SECTION
SCALE: 1/4" = 1'-0"



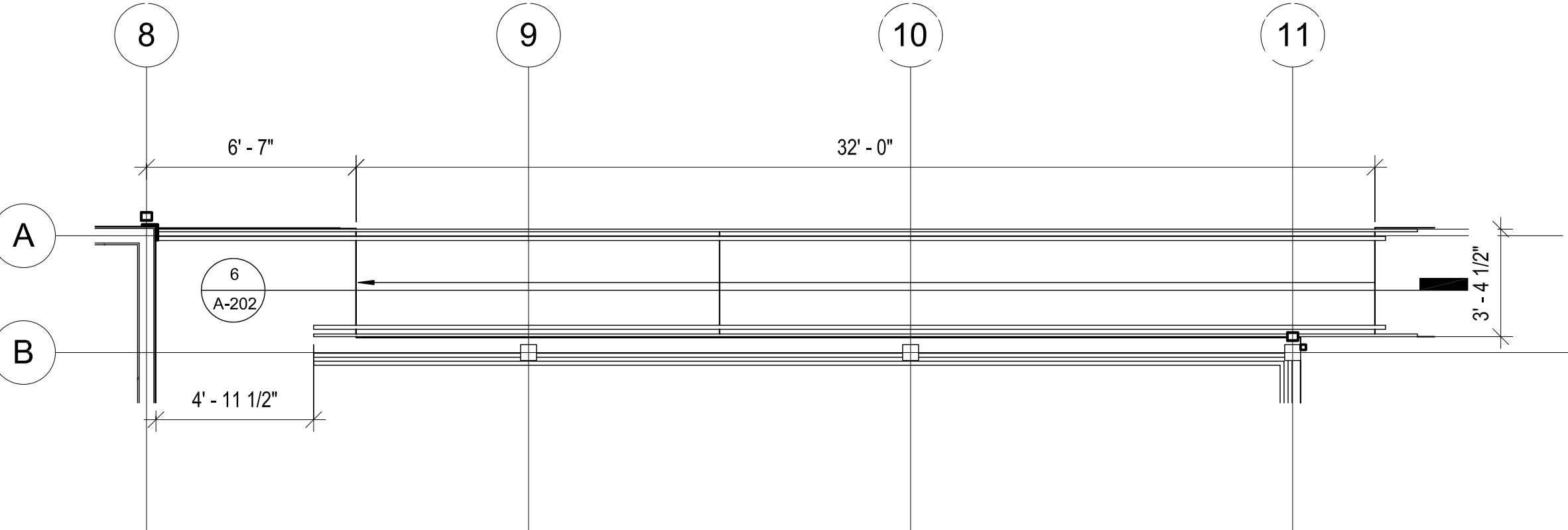
8 STAIR 2 SECTION
SCALE: 1/4" = 1'-0"



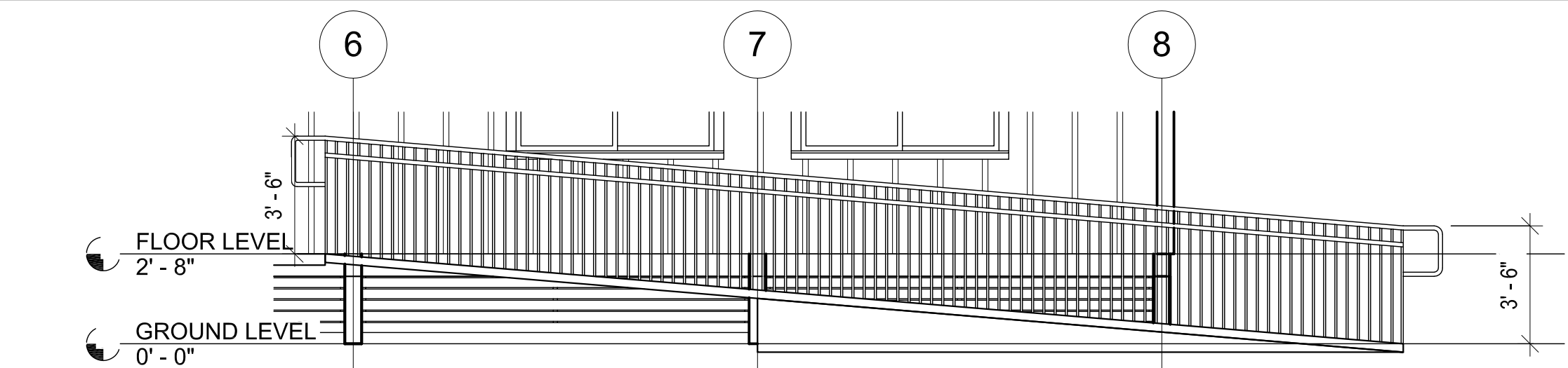
11 KITCHEN PLAN
SCALE: 1/4" = 1'-0"



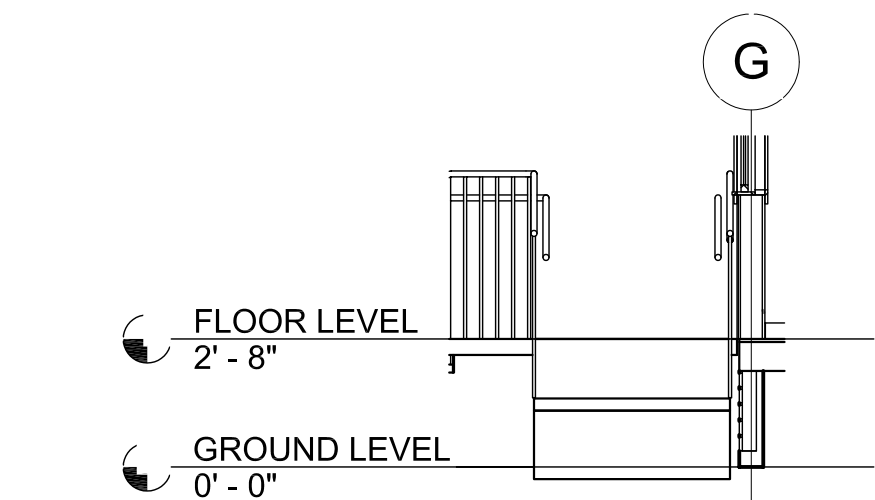
2 ENTRY STAIR 2 & RAMP AT SOUTH ENTRY
SCALE: 1/4" = 1'-0"



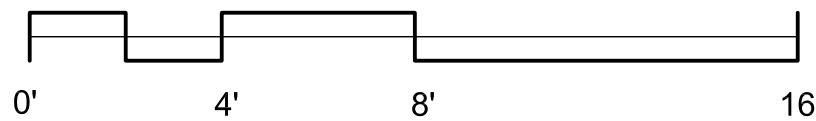
3 ENTRY STAIR 2 & RAMP AT SOUTH ENTRY
SCALE: 1/4" = 1'-0"



4 SOUTH ENTRY RAMP SECTION
SCALE: 1/4" = 1'-0"



5 SOUTH ENTRY RAMP SECTION
SCALE: 1/4" = 1'-0"

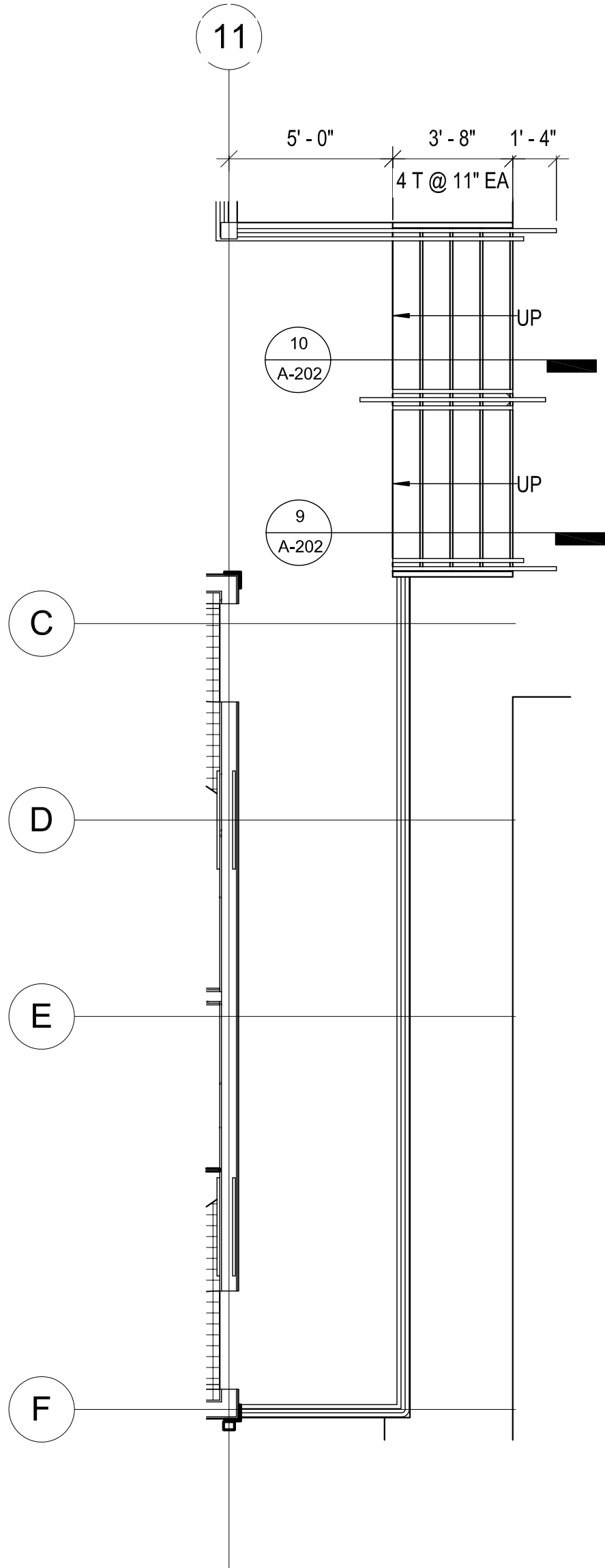


DWG. NO.
A-202
SHEET 10 OF 57



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LICENSE EXP. DATE: APRIL 30, 2020



1 ENTRY STAIR 4 AT EAST ENTRY
SCALE: 1/4" = 1'-0"

REVISION	DATE	BRIEF	MADE BY	APPROVED
1				

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

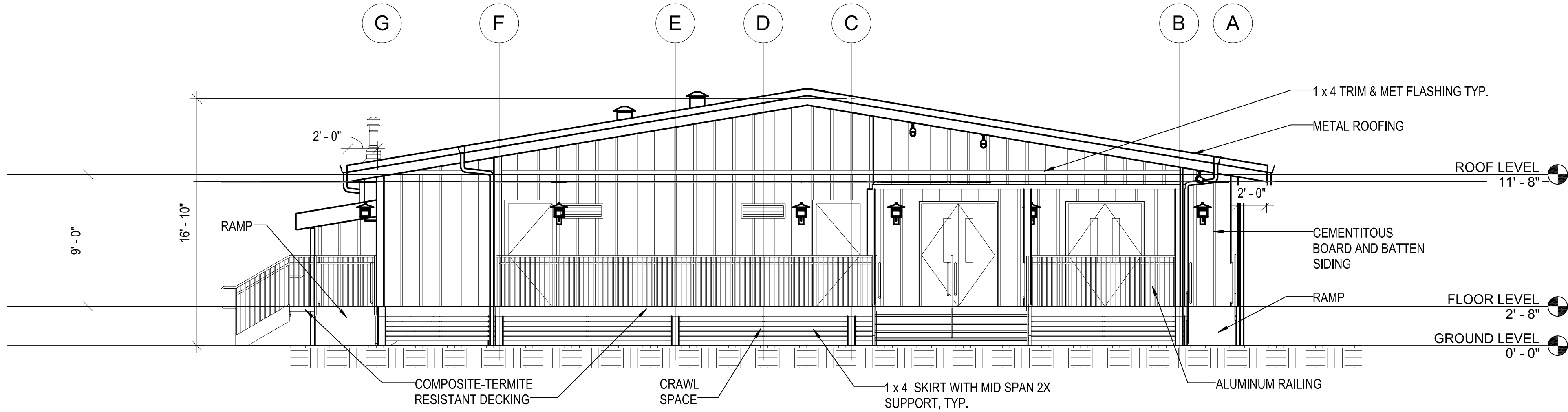
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

ENLARGED PLANS

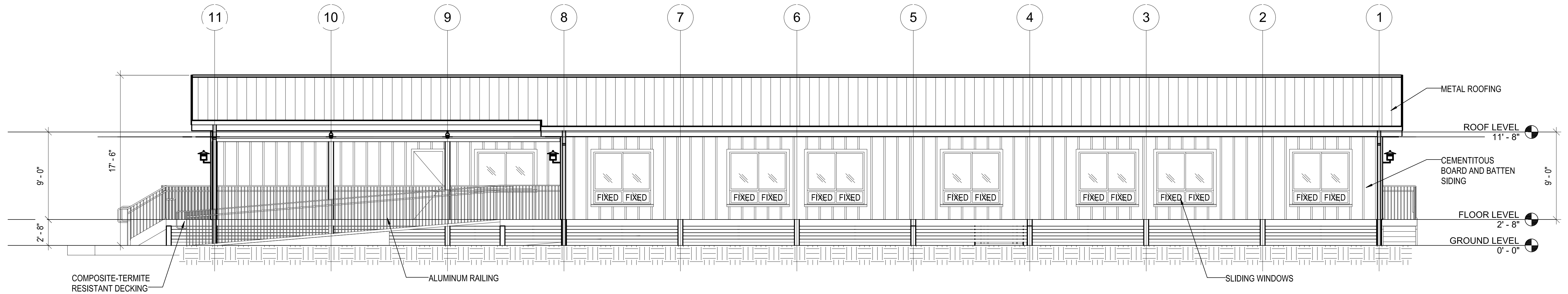
DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO

11-06-18

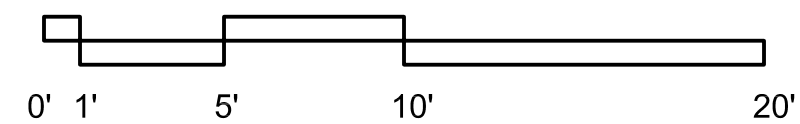
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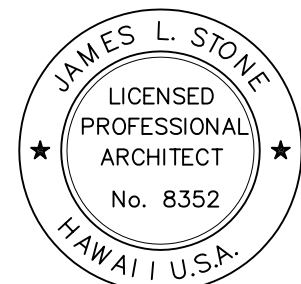
1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



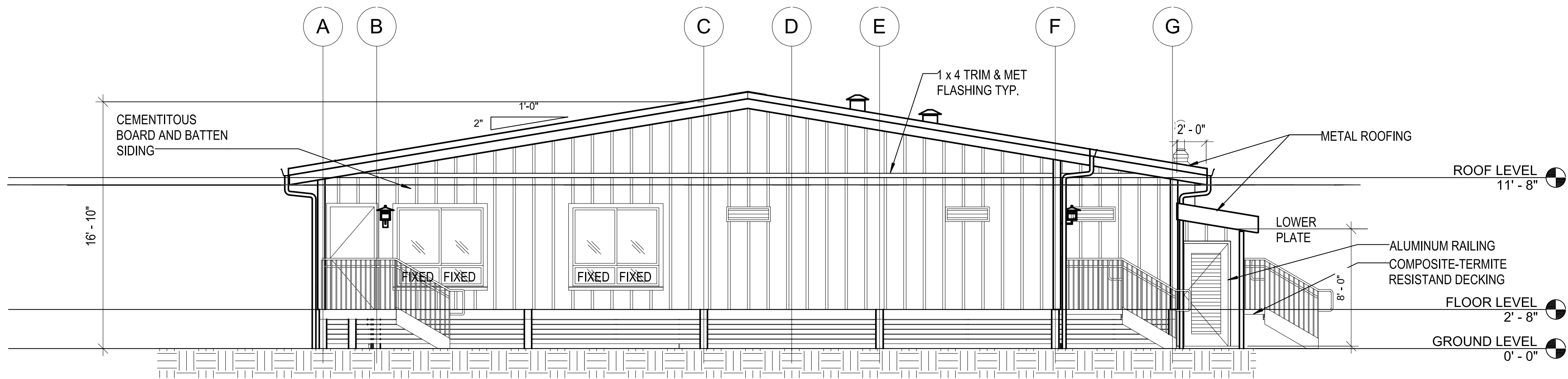
DWG. NO.
A-301
SHEET 11 OF 57



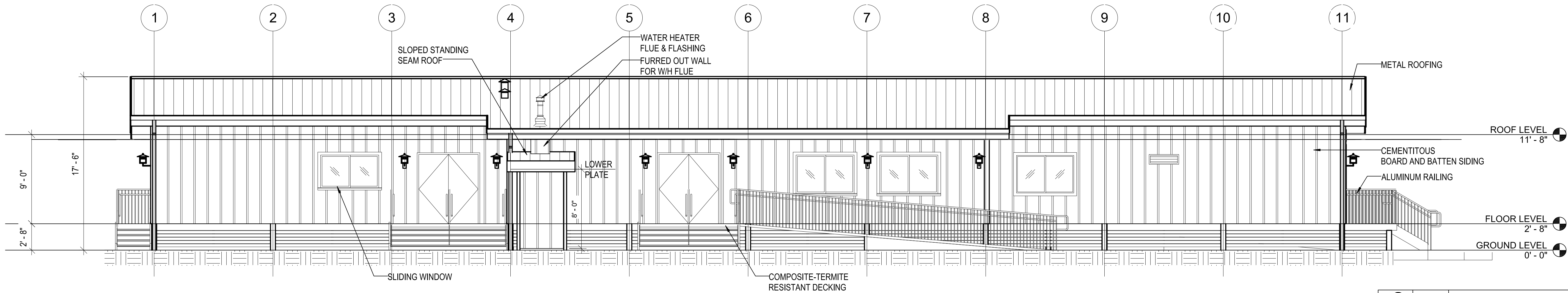
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION, OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-1152 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS (82994).

SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

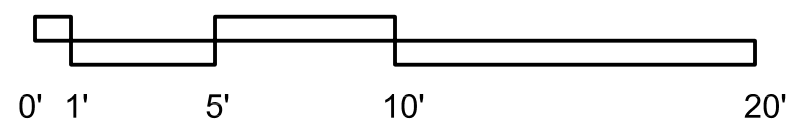
REVISION	DATE	BRIEF	MADE BY	APPROVED				
DEPARTMENT OF HAWAIIAN HOME LANDS								
STATE OF HAWAII								
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER								
EXTERIOR ELEVATIONS								
DESIGNED BY: JS		CHECKED BY: RO	DRAWN BY: GTO					
11-06-18								
<table><tr><td>FILE</td><td>POCKET</td><td>FOLDER</td><td>NO.</td></tr></table>					FILE	POCKET	FOLDER	NO.
FILE	POCKET	FOLDER	NO.					



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



DWG. NO.
A-302
SHEET 12 OF 57



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SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

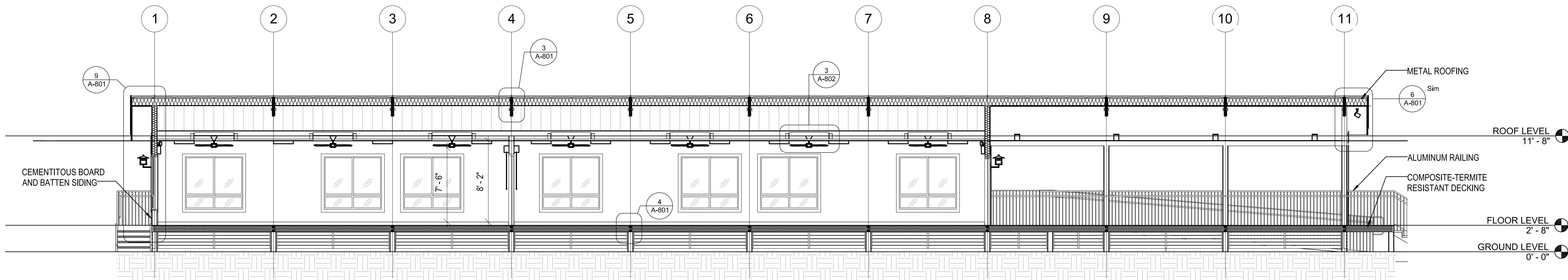
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

EXTERIOR ELEVATIONS

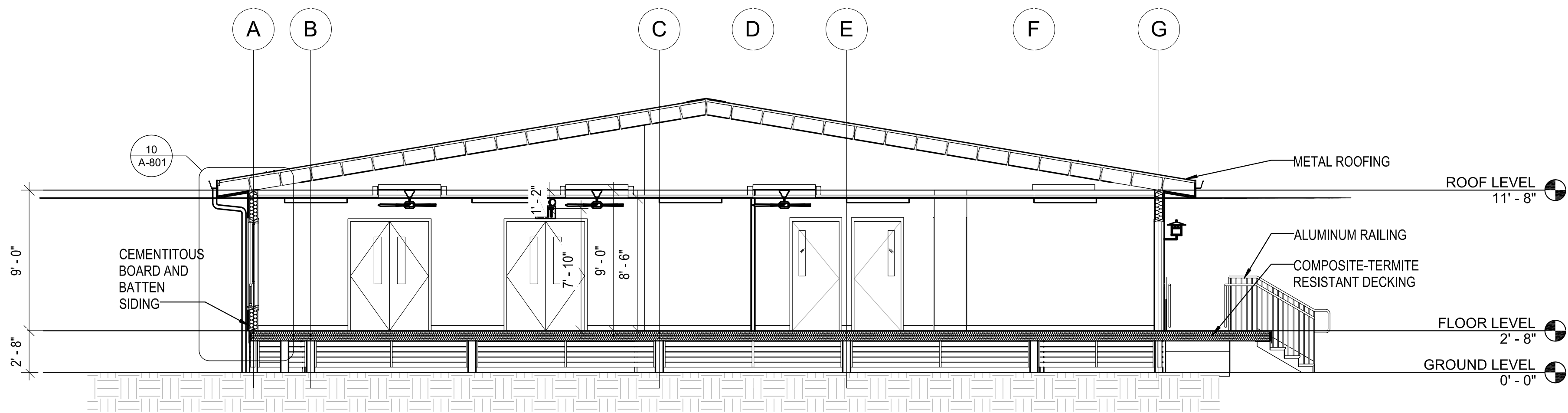
DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO

11-06-18

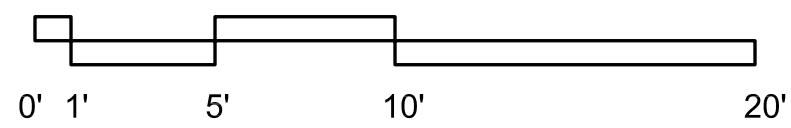
FILE	POCKET	FOLDER	NO.



1 LONGITUDINAL SECTION
SCALE: 3/16" = 1'-0"



2 CROSS SECTION
SCALE: 3/16" = 1'-0"



DWG. NO.
A-401
SHEET 13 OF 57

JAMES L. STONE

LICENSED PROFESSIONAL ARCHITECT

No. 8352

HAWAII U.S.A.

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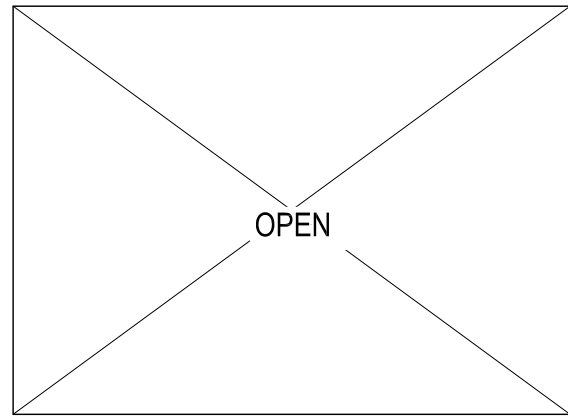
SIGNATURE

11-06-18

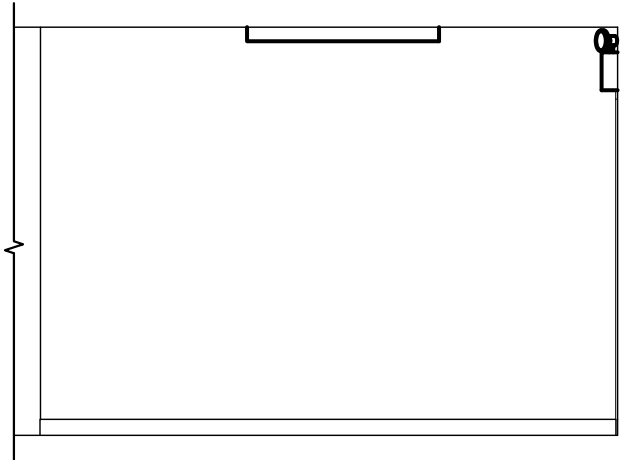
REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER				
BUILDING SECTIONS				
DESIGNED BY: JS	CHECKED BY: RD	DRAWN BY: GTO		
11-06-18				
FILE	POCKET	FOLDER	NO.	

12/12/2018 10:26:56 AM

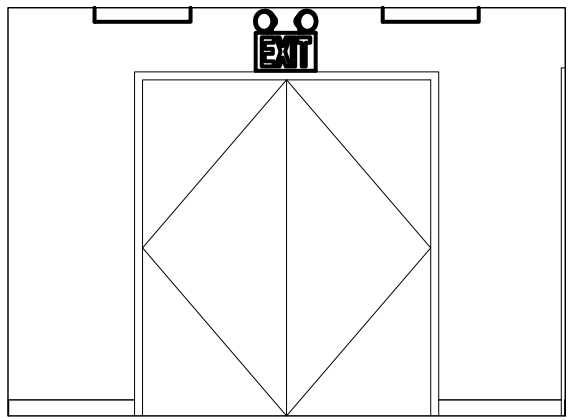
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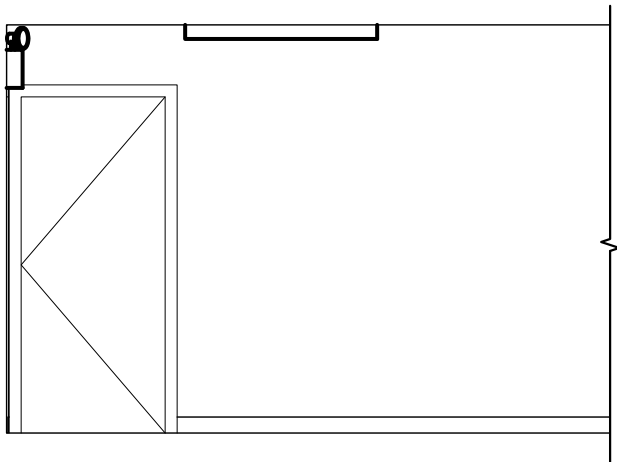
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B



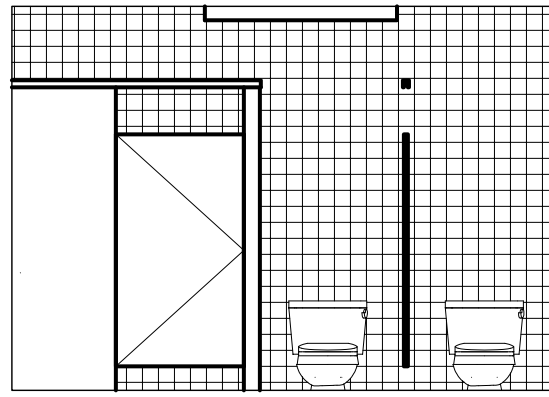
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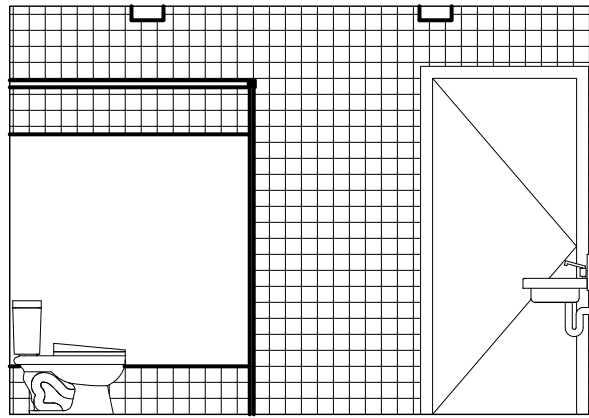
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1 ENTRY 101

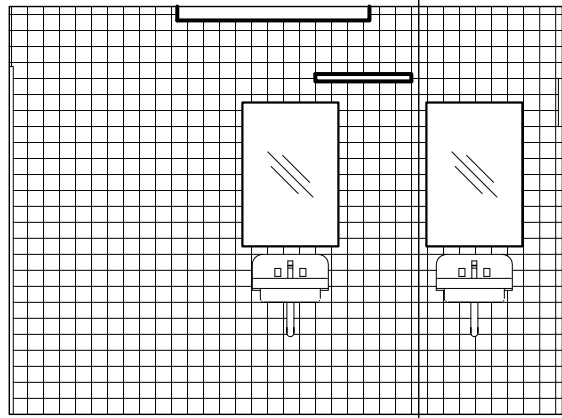
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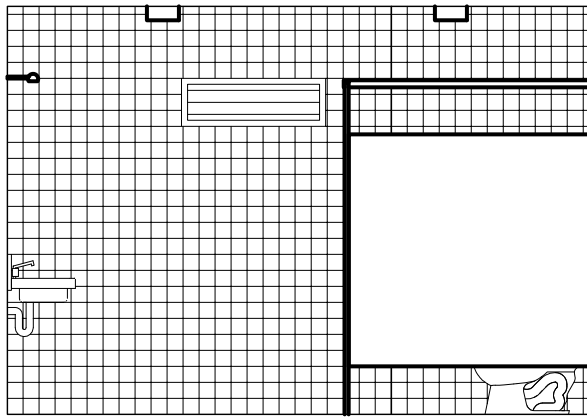
A



B



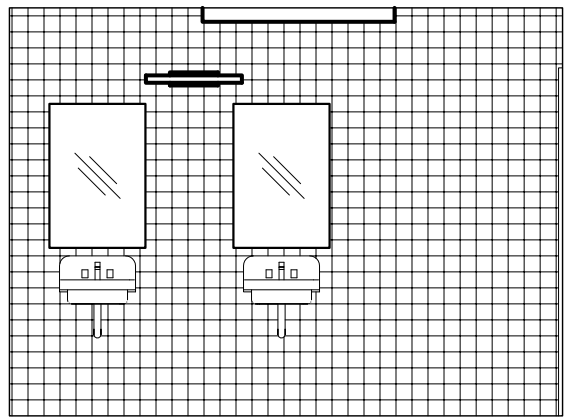
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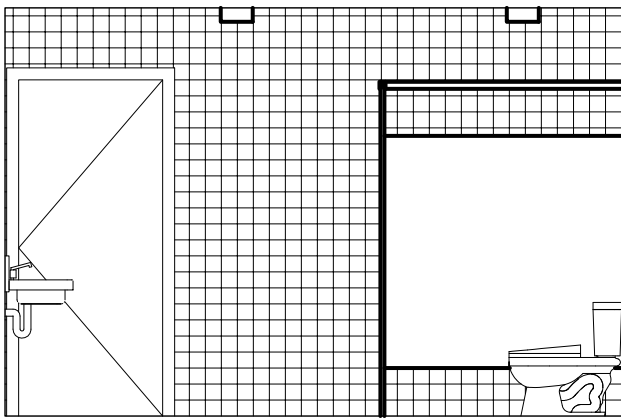
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2 WOMENS 102

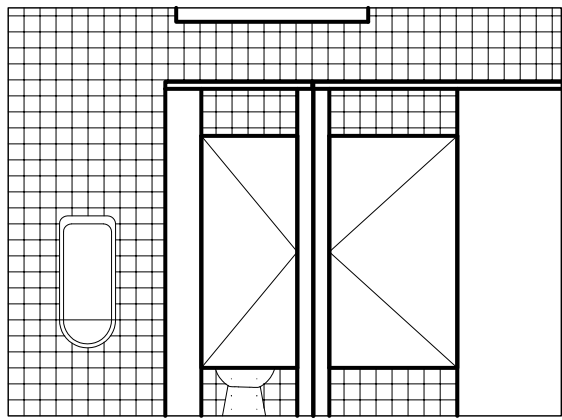
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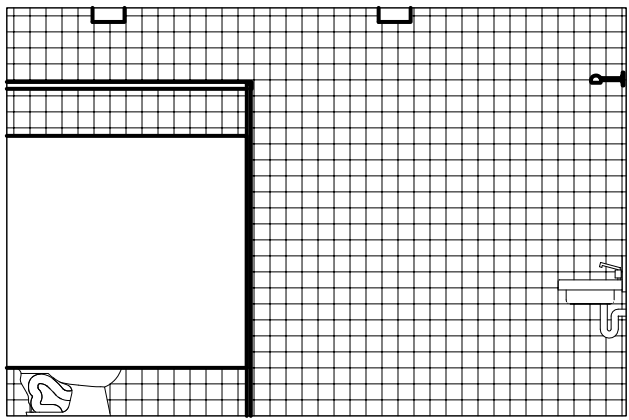
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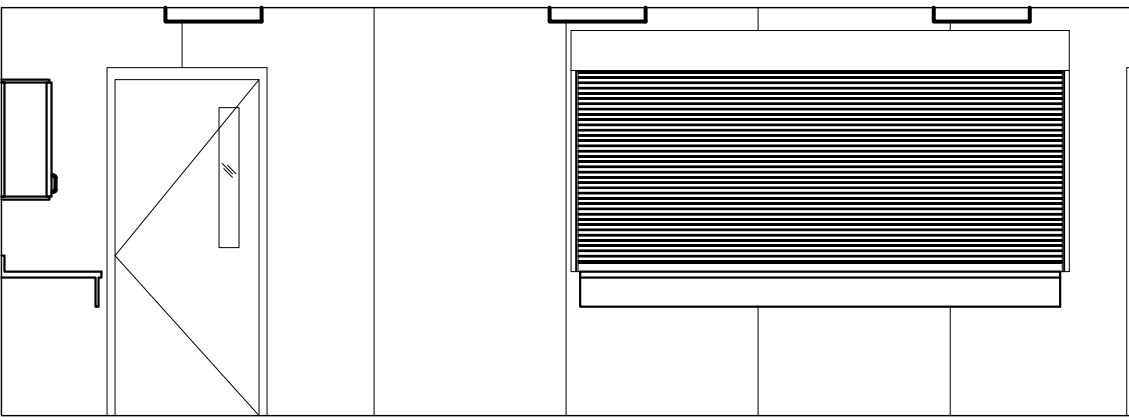
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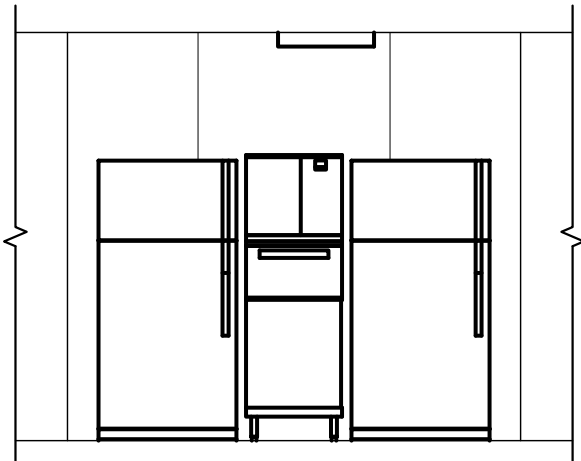
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3 MENS 103

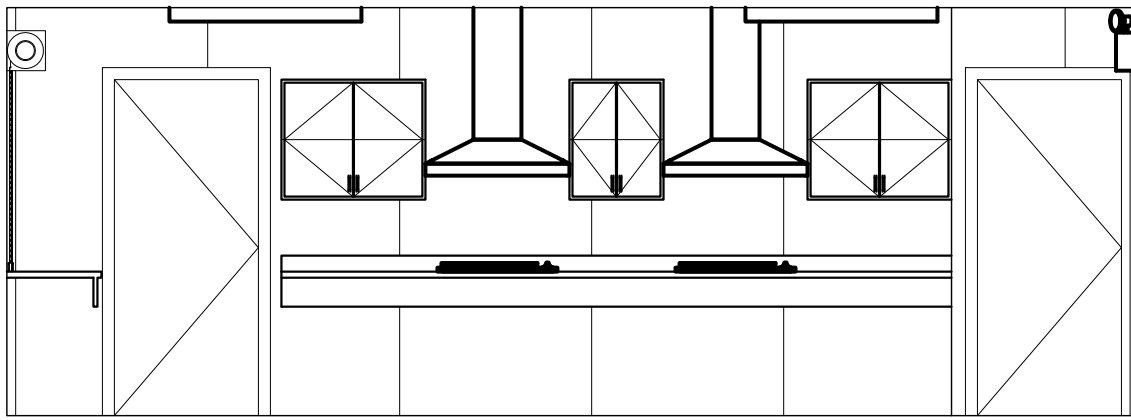
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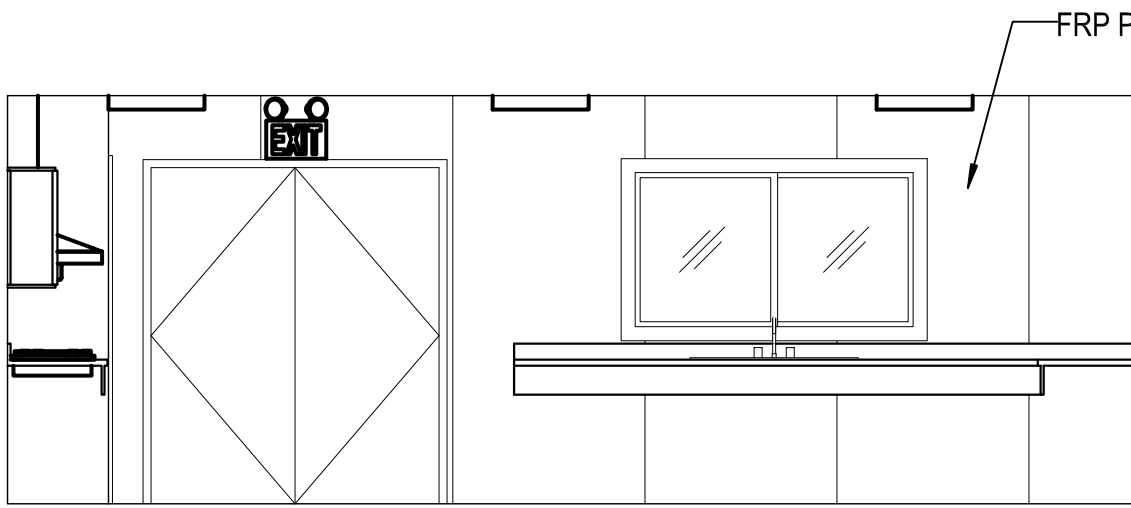
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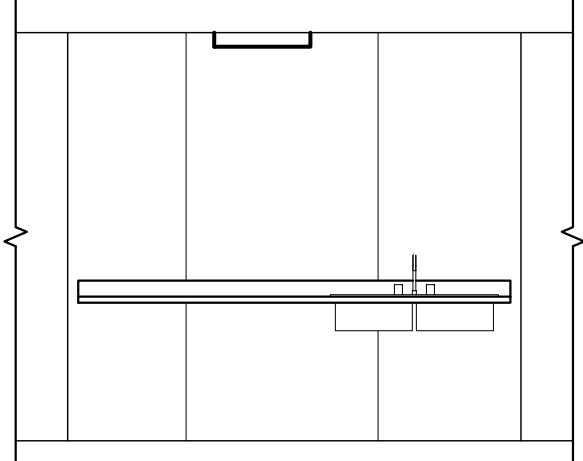
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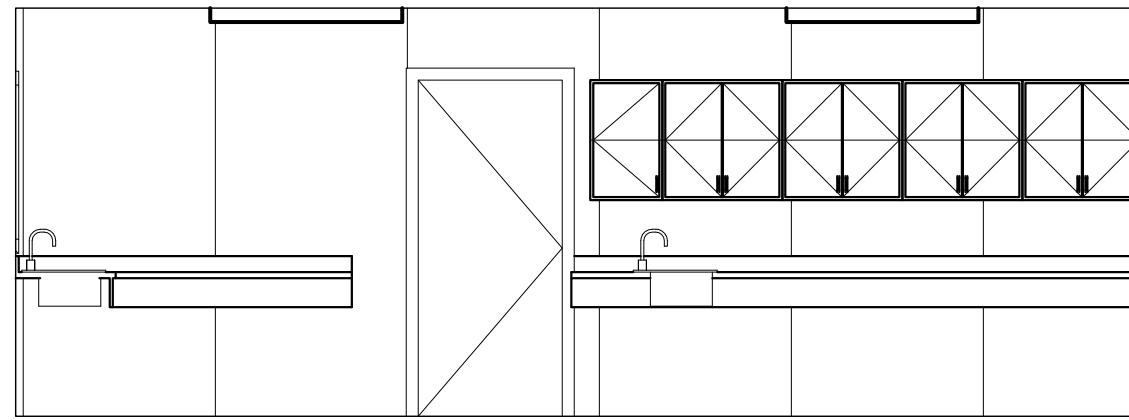
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C



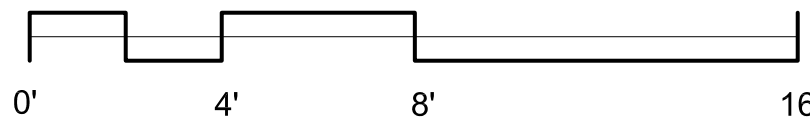
C1



D

4 KITCHEN 104

SCALE: 1/4" = 1'-0"



DWG. NO.
A-501
SHEET 14 OF 57



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION, OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-1152 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS (82994).

SIGNATURE

LICENSE EXP. DATE: APRIL 30, 2020

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

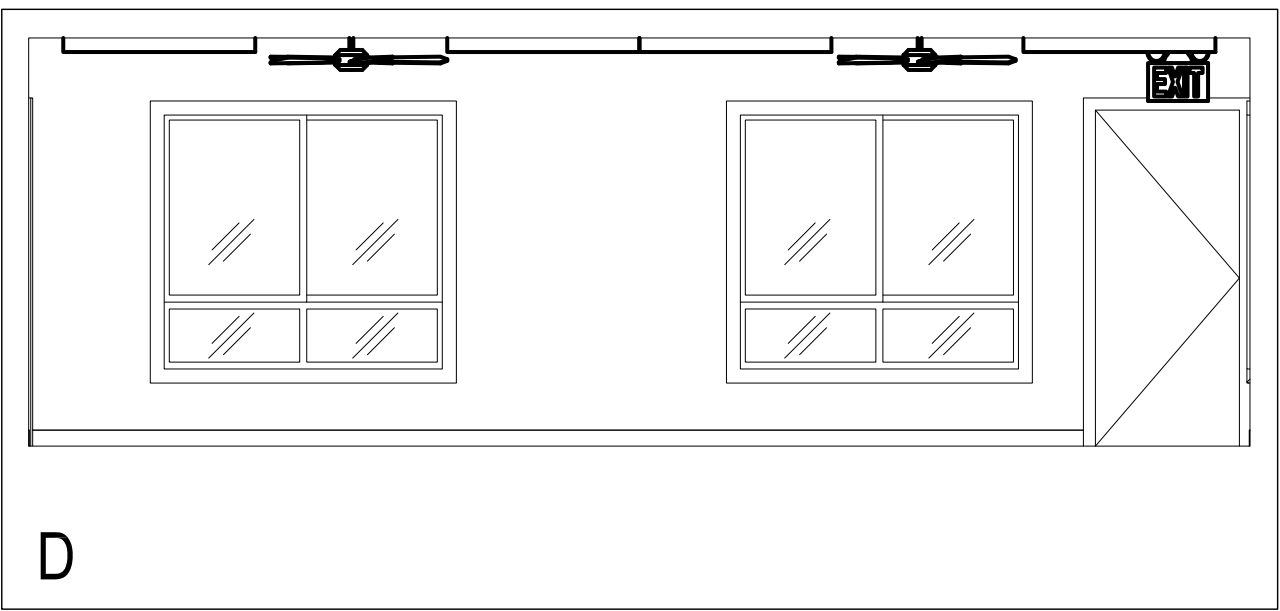
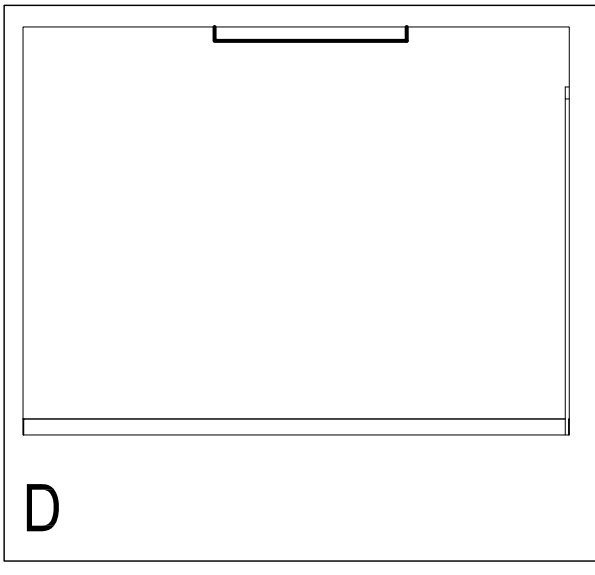
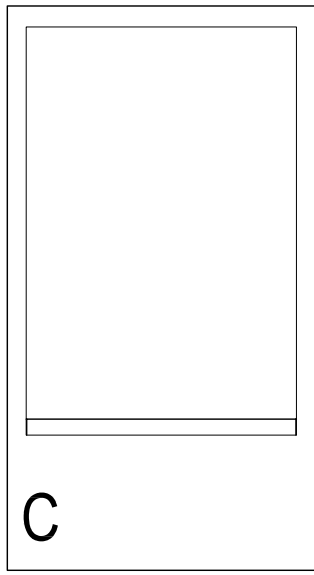
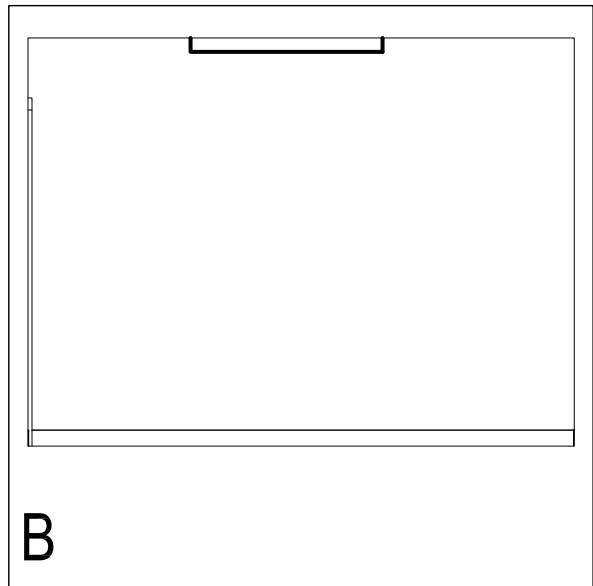
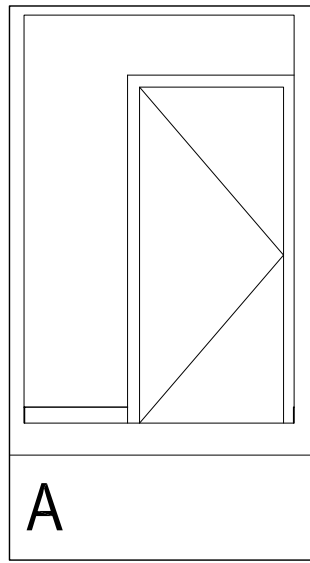
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

INTERIOR ELEVATIONS

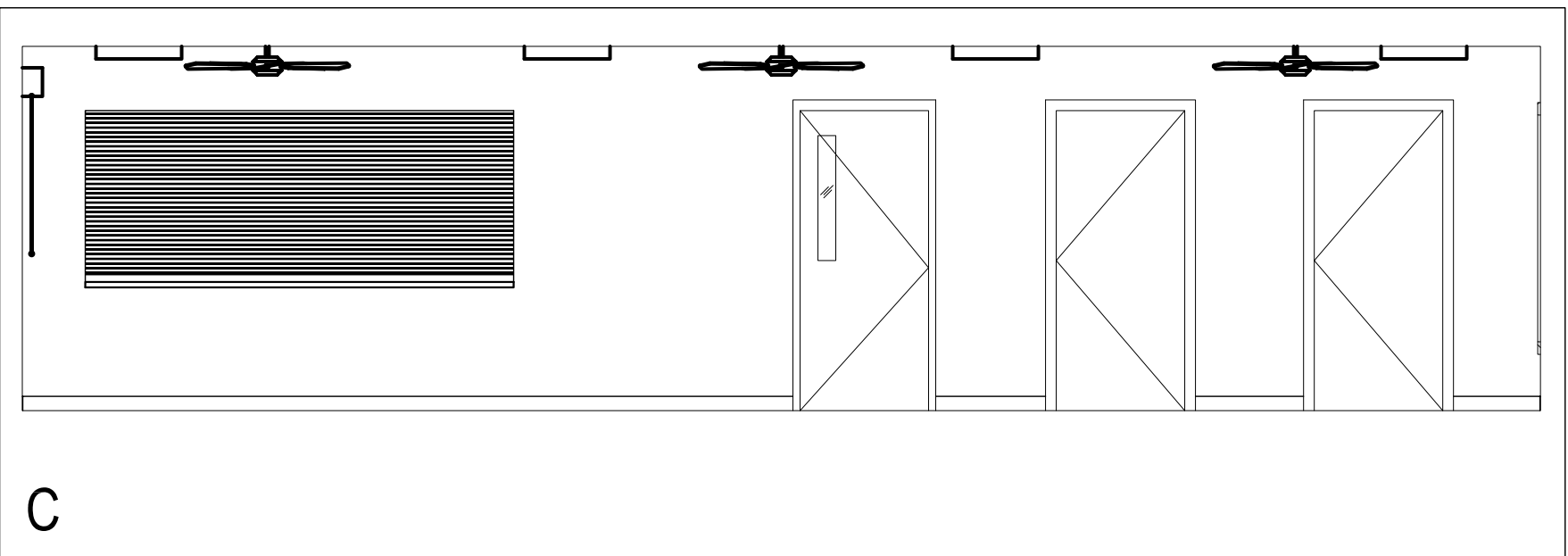
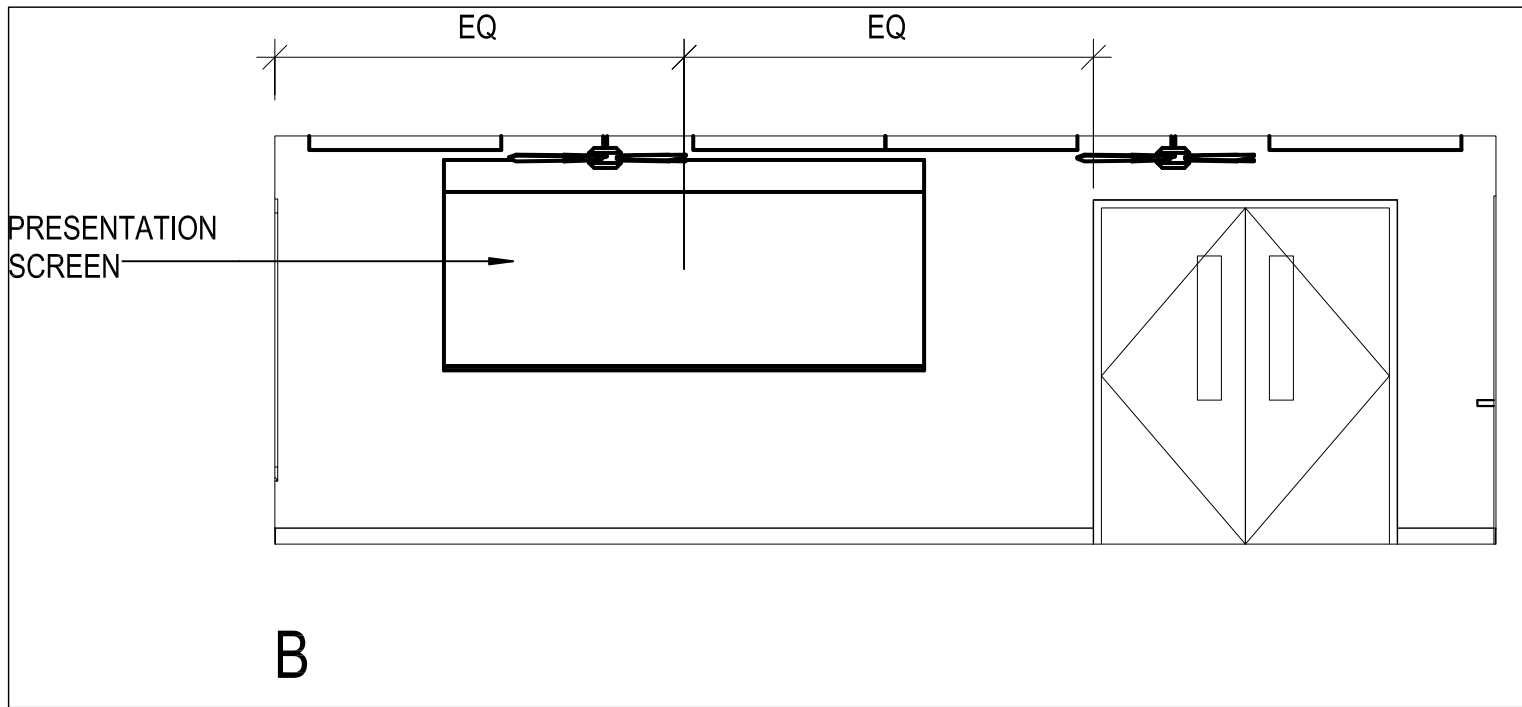
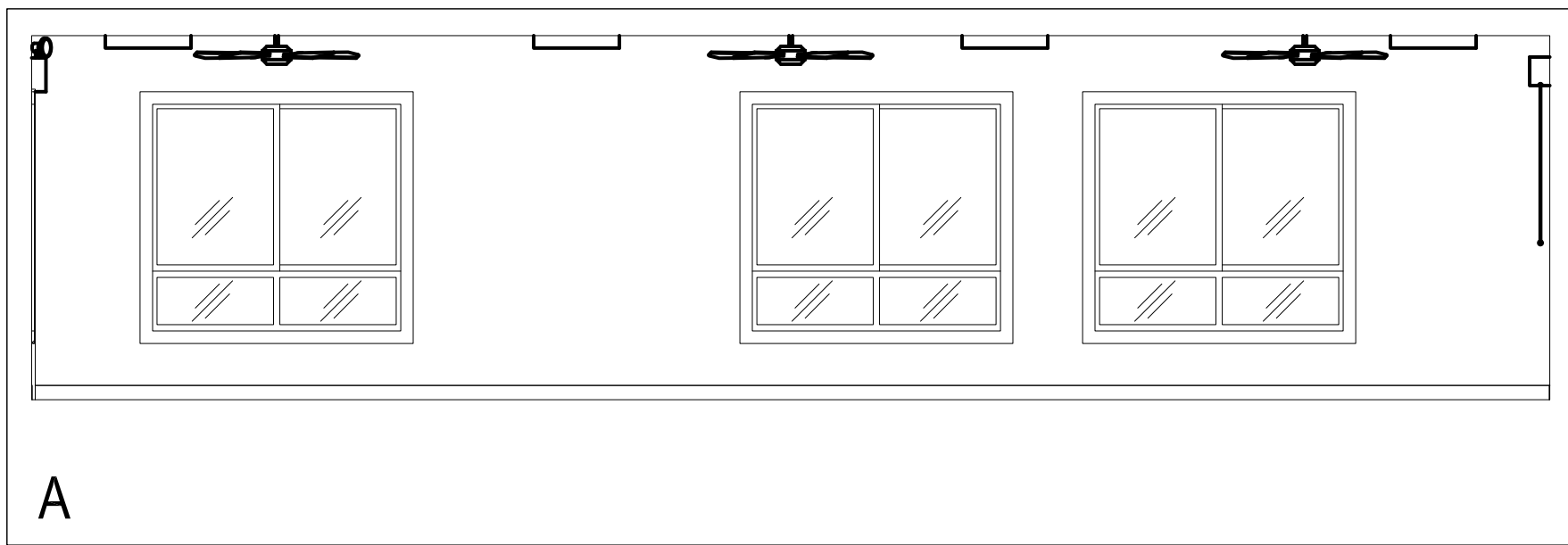
DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTD

11-06-18

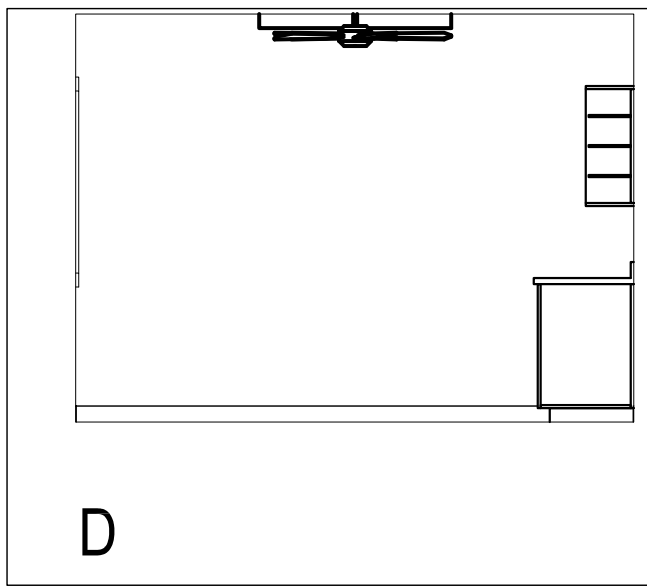
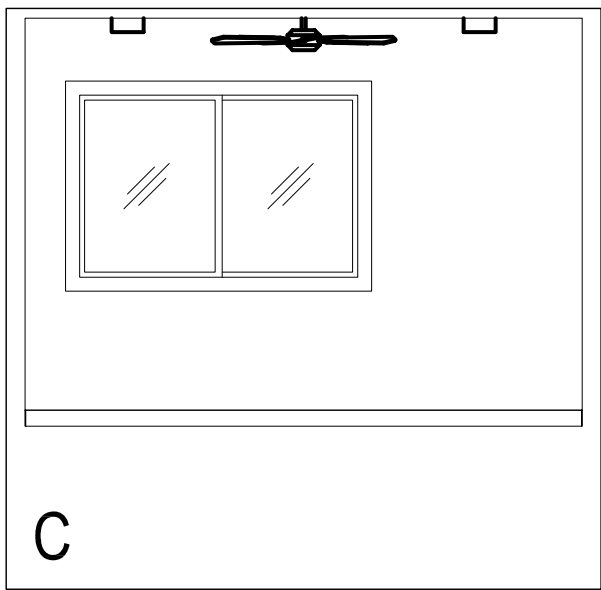
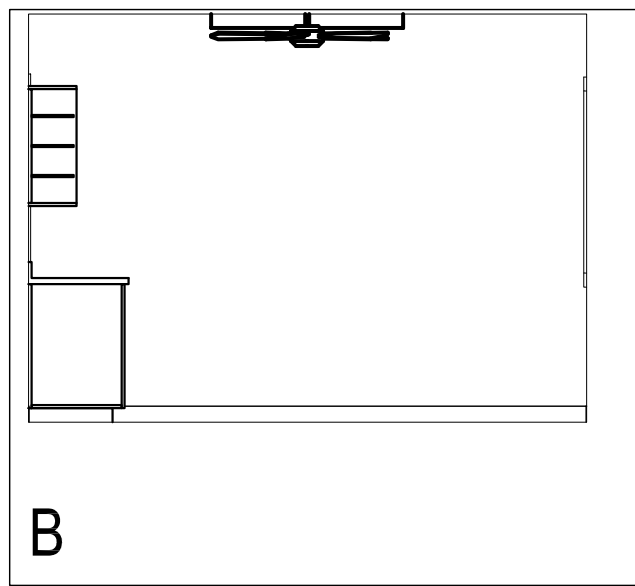
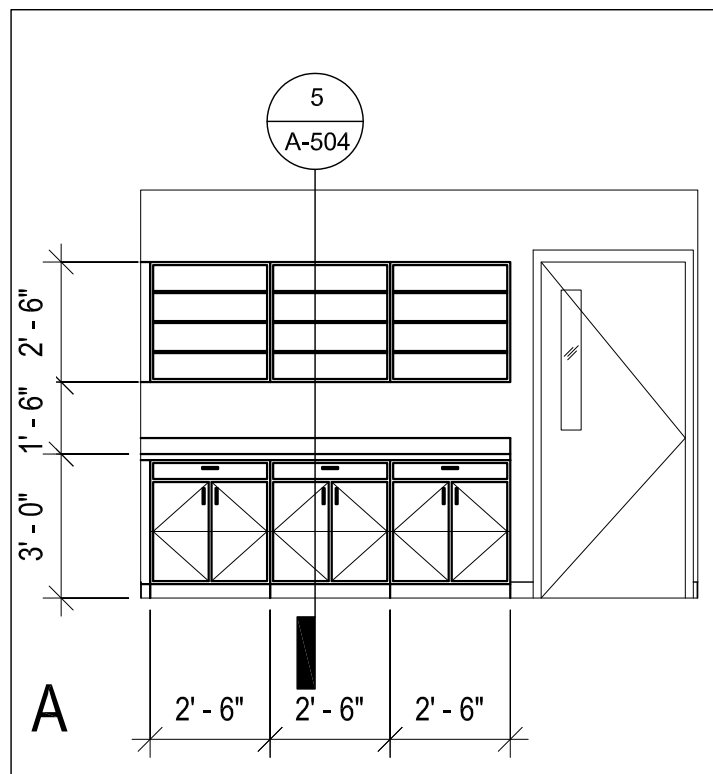
FILE	POCKET	FOLDER	NO.



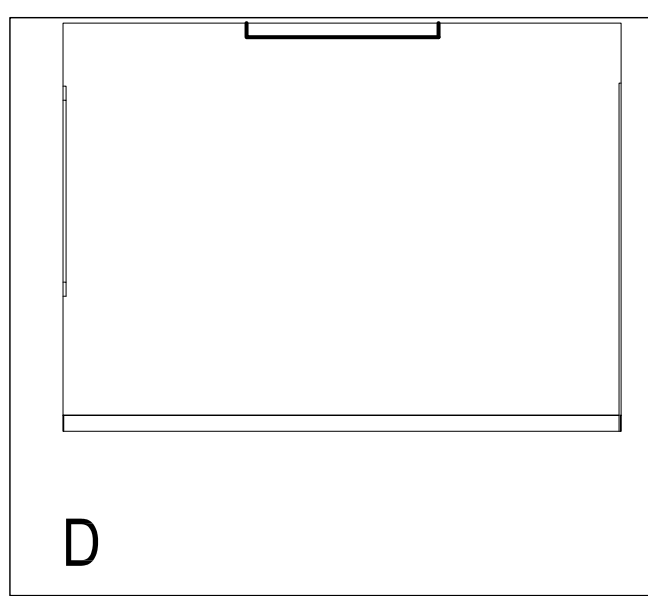
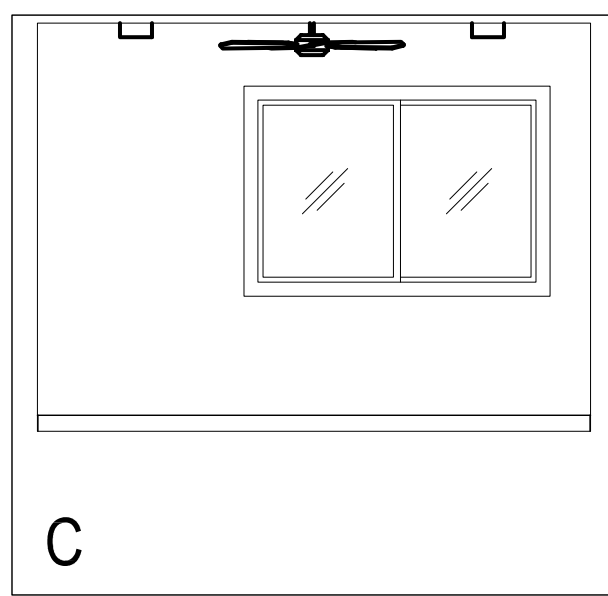
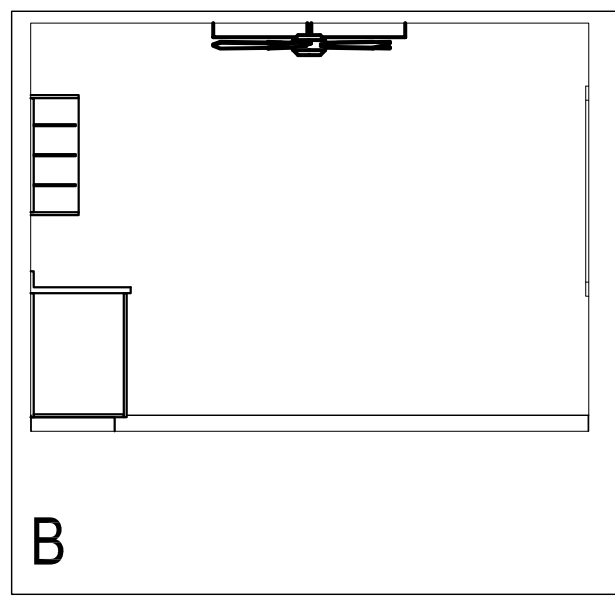
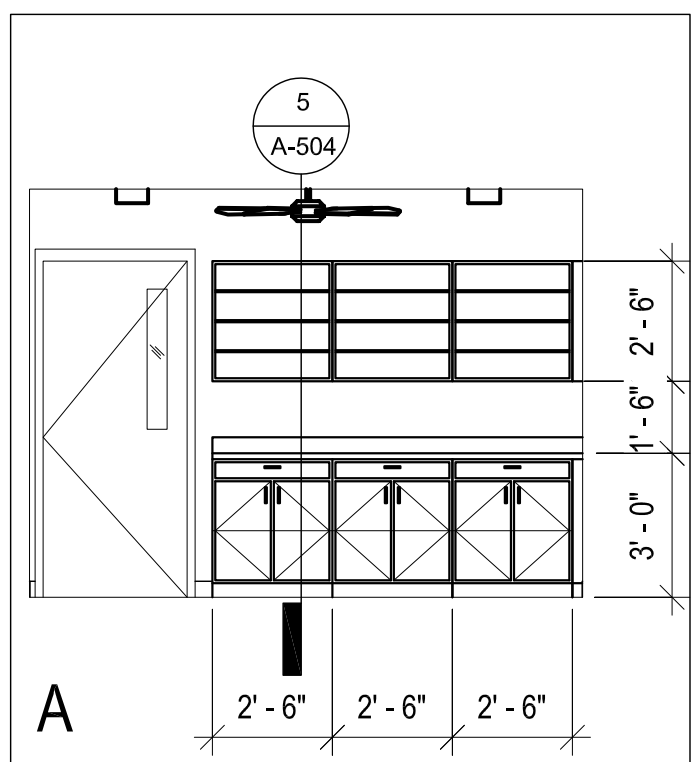
1 TELCOM ROOM 106
SCALE: 1/4" = 1'-0"



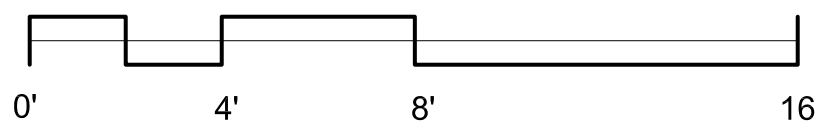
2 CLASSROOM 107
SCALE: 1/4" = 1'-0"



3 OFFICE 1 109
SCALE: 1/4" = 1'-0"



4 OFFICE 2 110
SCALE: 1/4" = 1'-0"

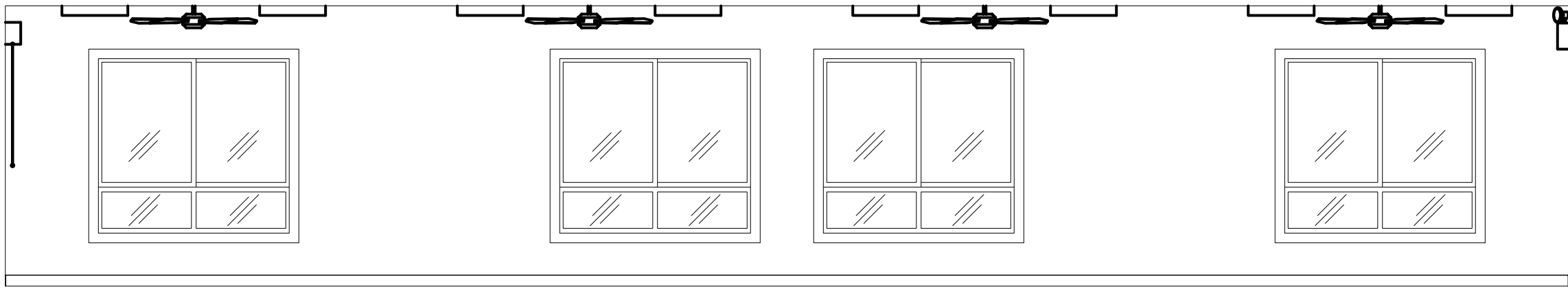


DWG. NO.
A-502
SHEET 15 OF 57

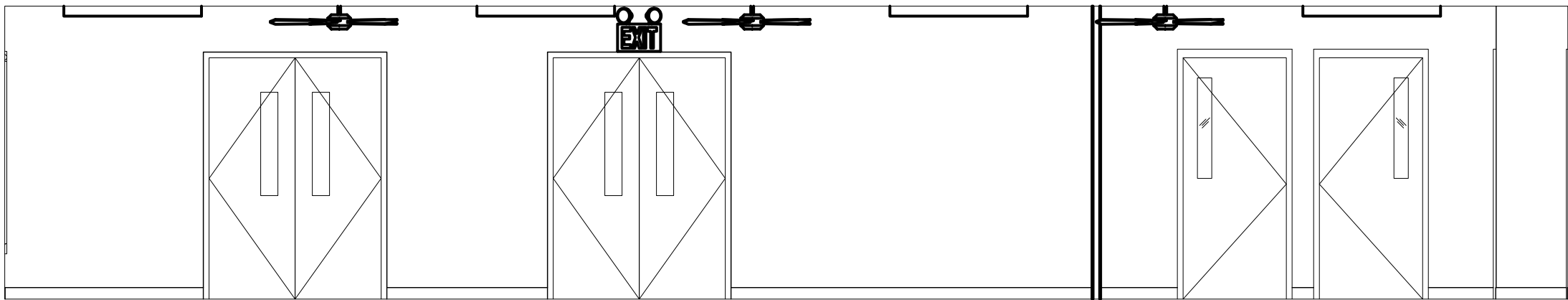


REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER				
INTERIOR ELEVATIONS				
DESIGNED BY: JS	CHECKED BY: RD	DRAWN BY: GTO		
				11-06-18

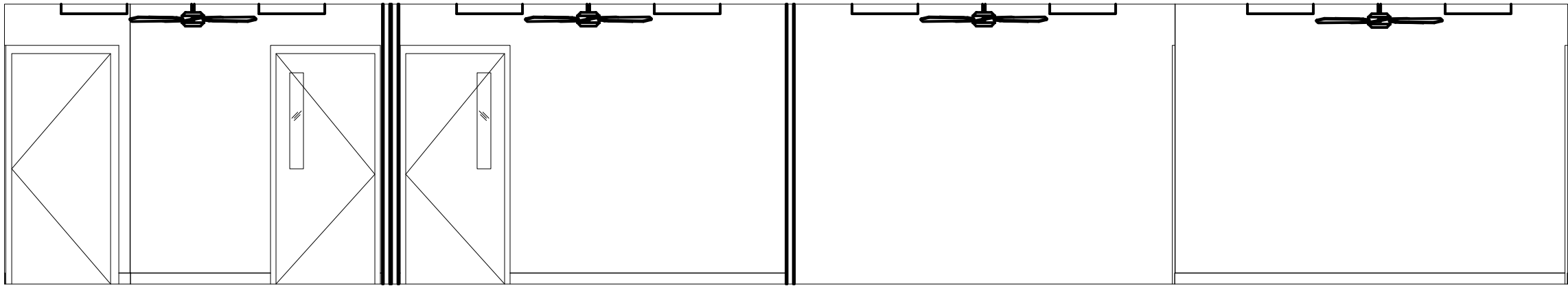
FILE	POCKET	FOLDER	NO.



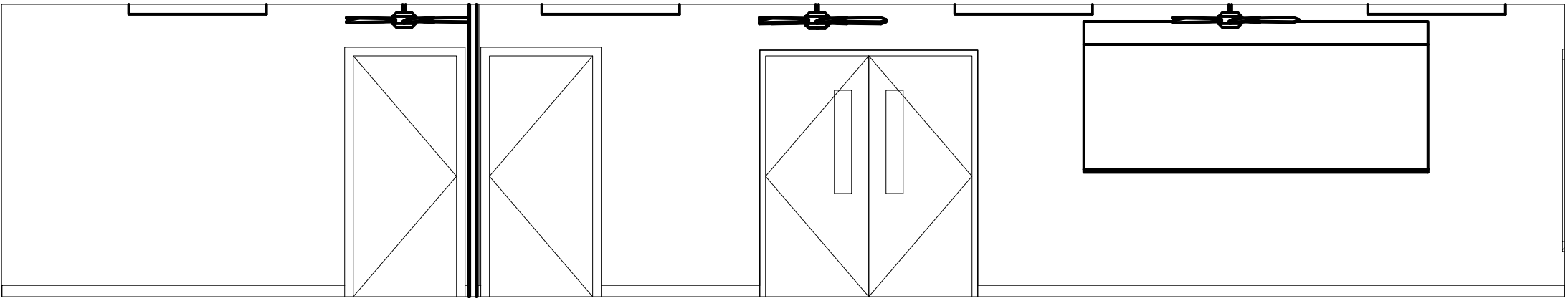
A



B



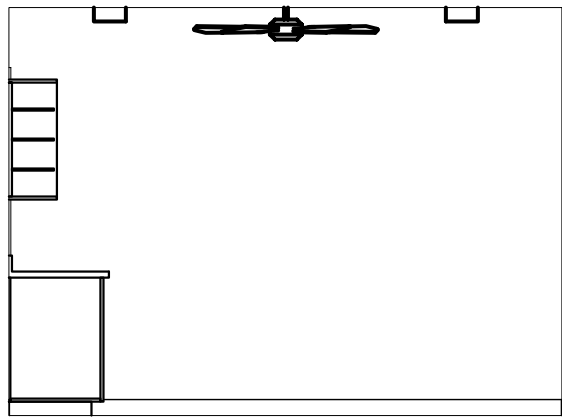
C



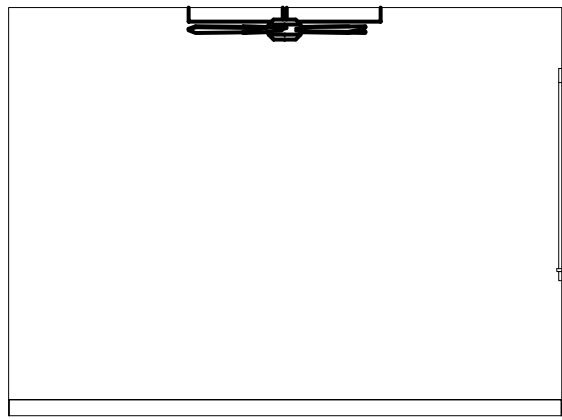
D

1 MEETING ROOM / DISPLAY ROOM 108

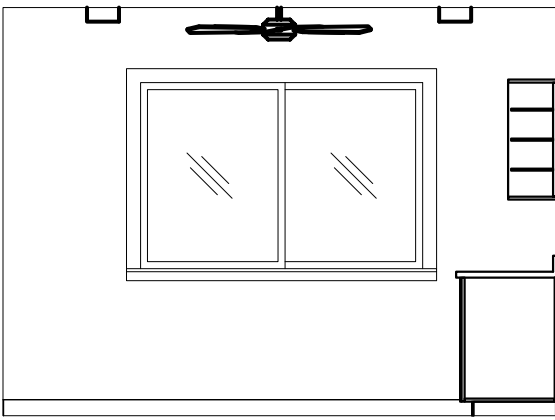
SCALE: 1/4" = 1'-0"



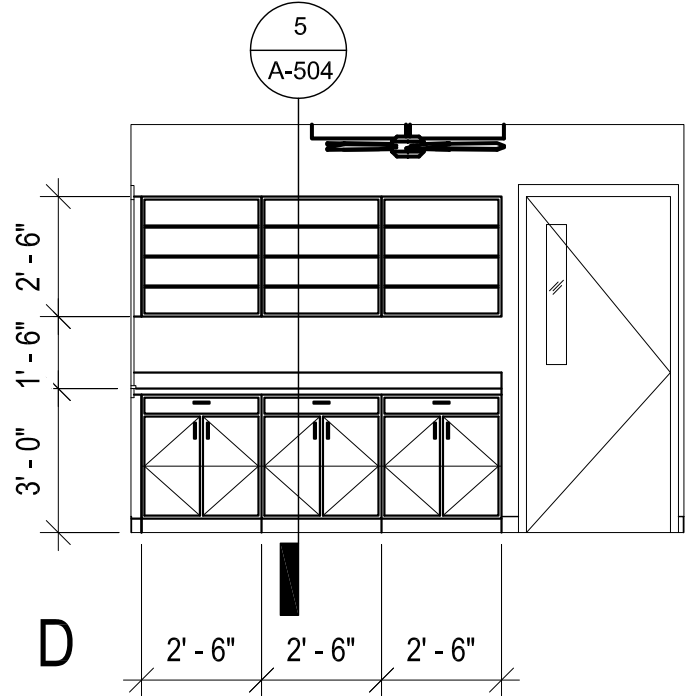
A



B



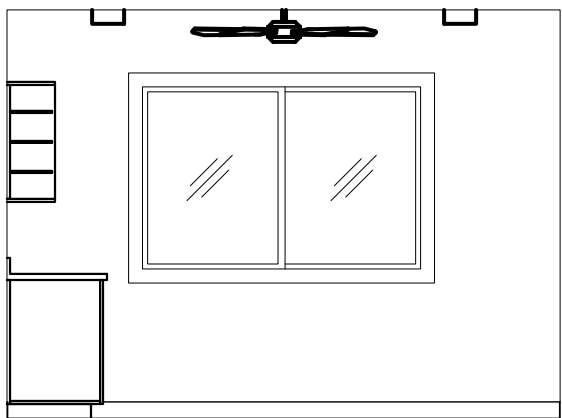
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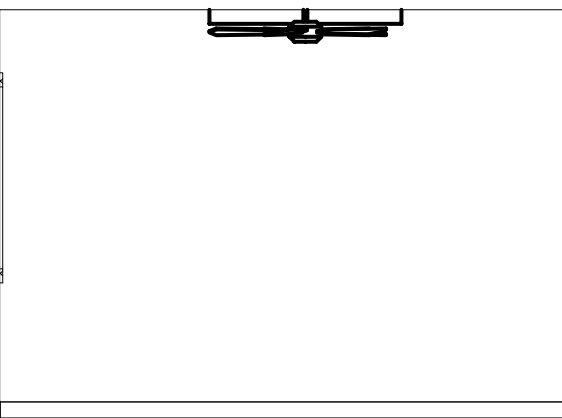
D

2 OFFICE 3 111

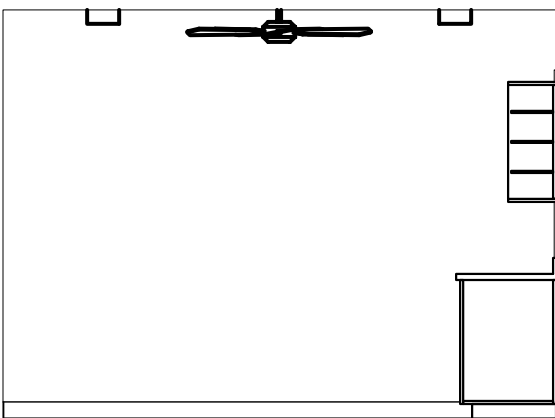
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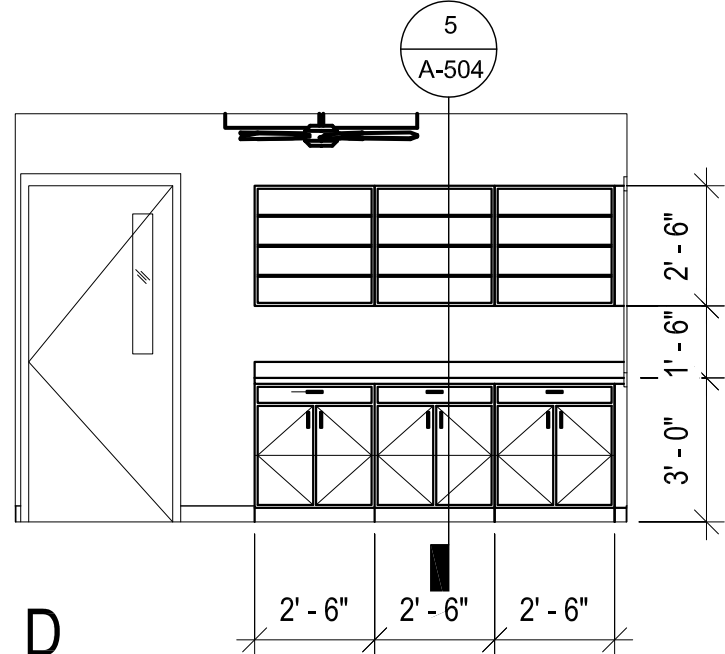
A



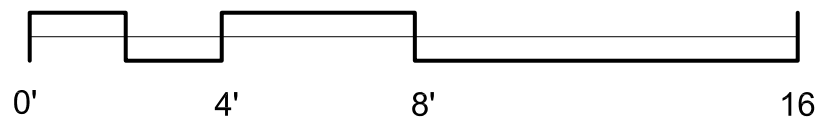
B



C



D



DWG. NO.
A-503
SHEET 16 OF 57



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SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

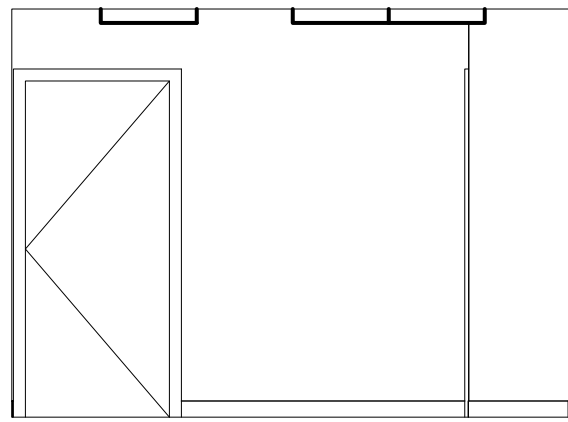
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

INTERIOR ELEVATIONS

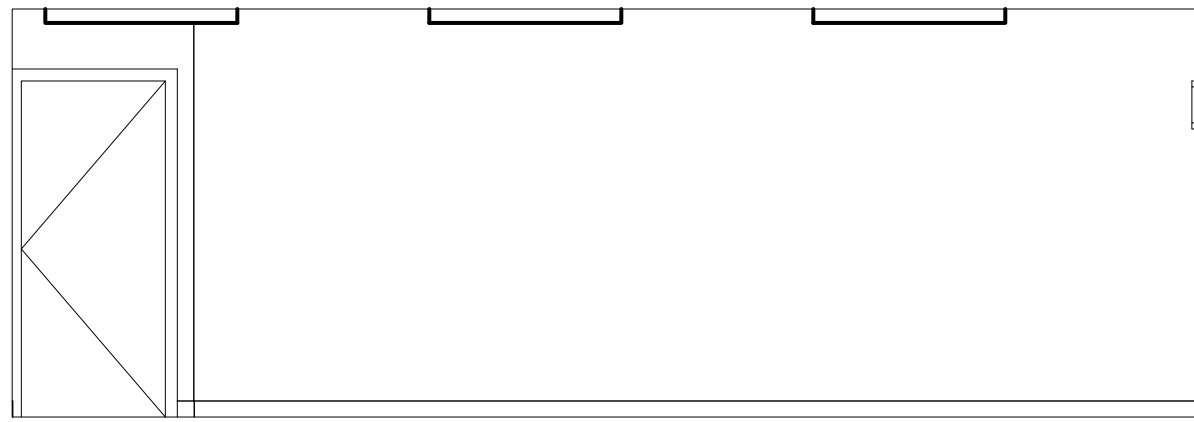
DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO

11-06-18

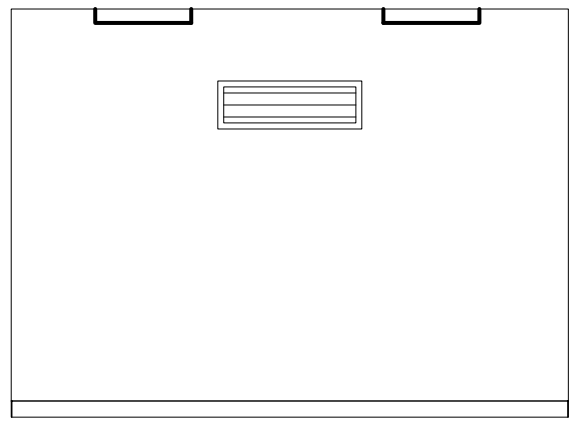
FILE	POCKET	FOLDER	NO.



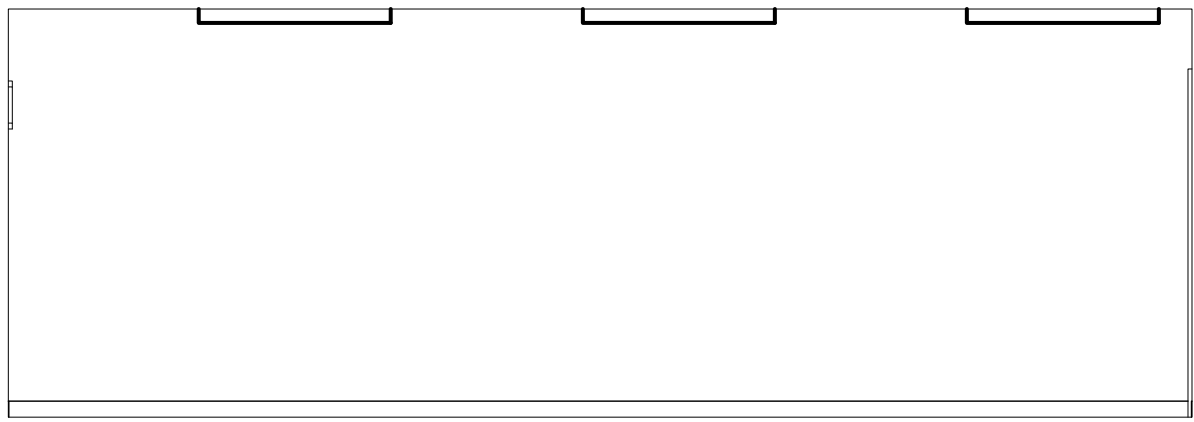
A



B



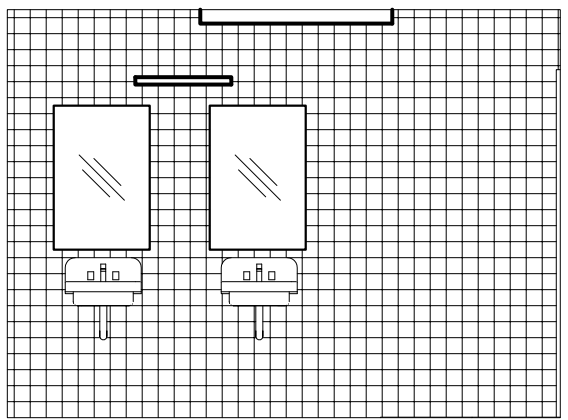
C



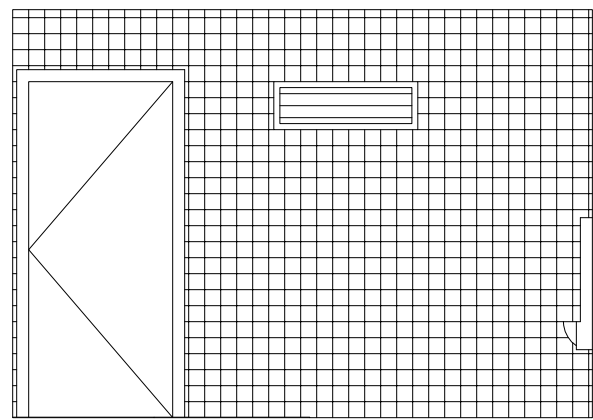
D

1 STORAGE 113

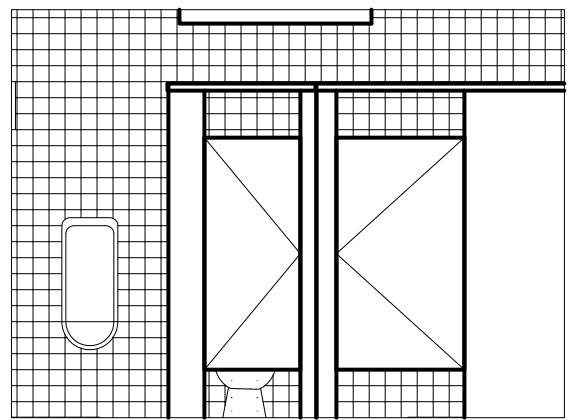
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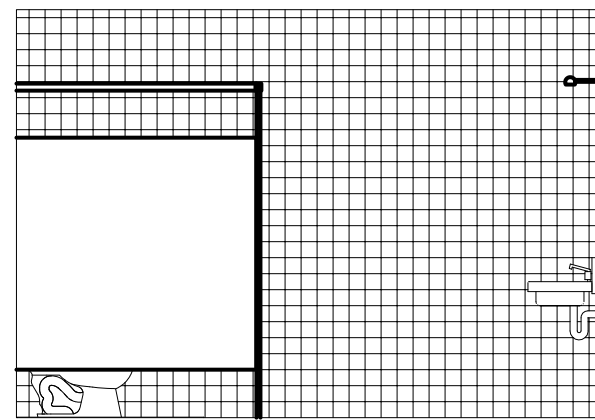
A



B



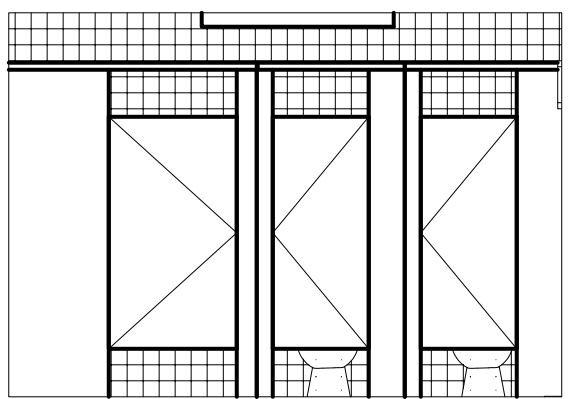
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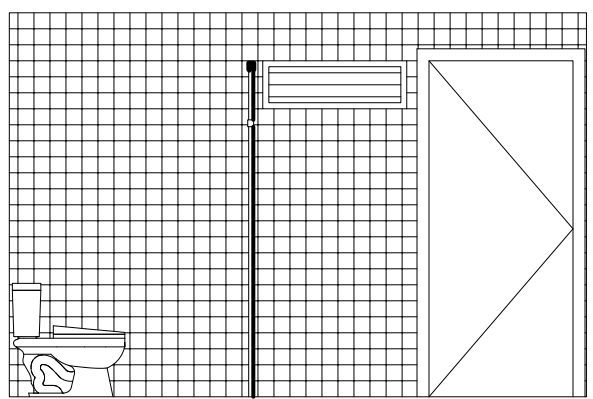
D

2 OUTDOOR MENS 114

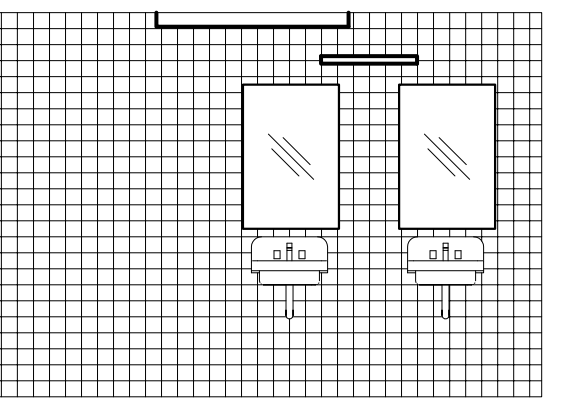
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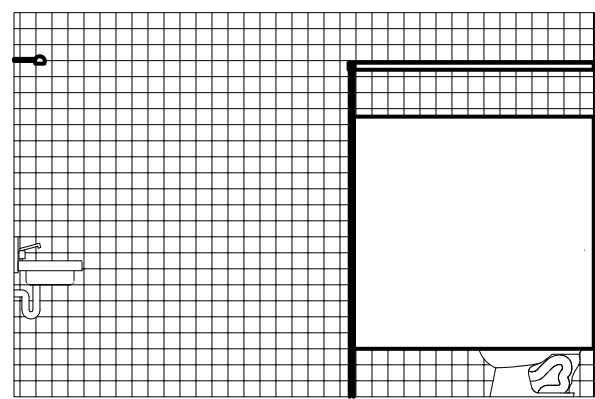
A



B



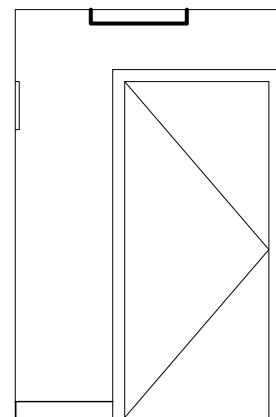
C



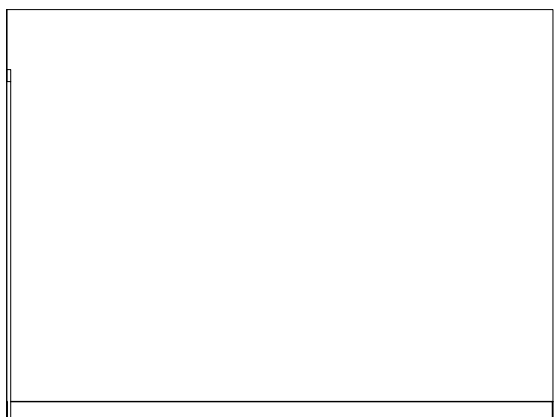
D

3 OUTDOOR WOMENS 115

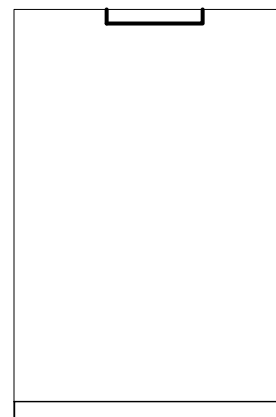
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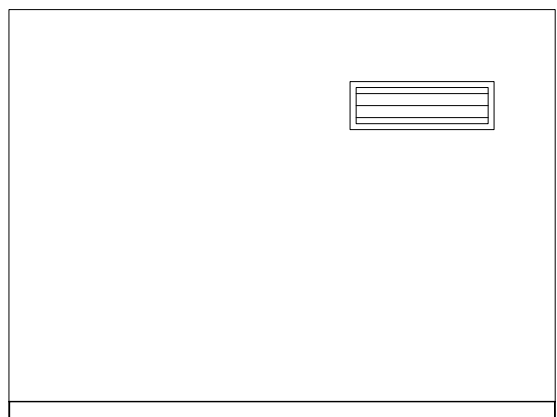
A



B



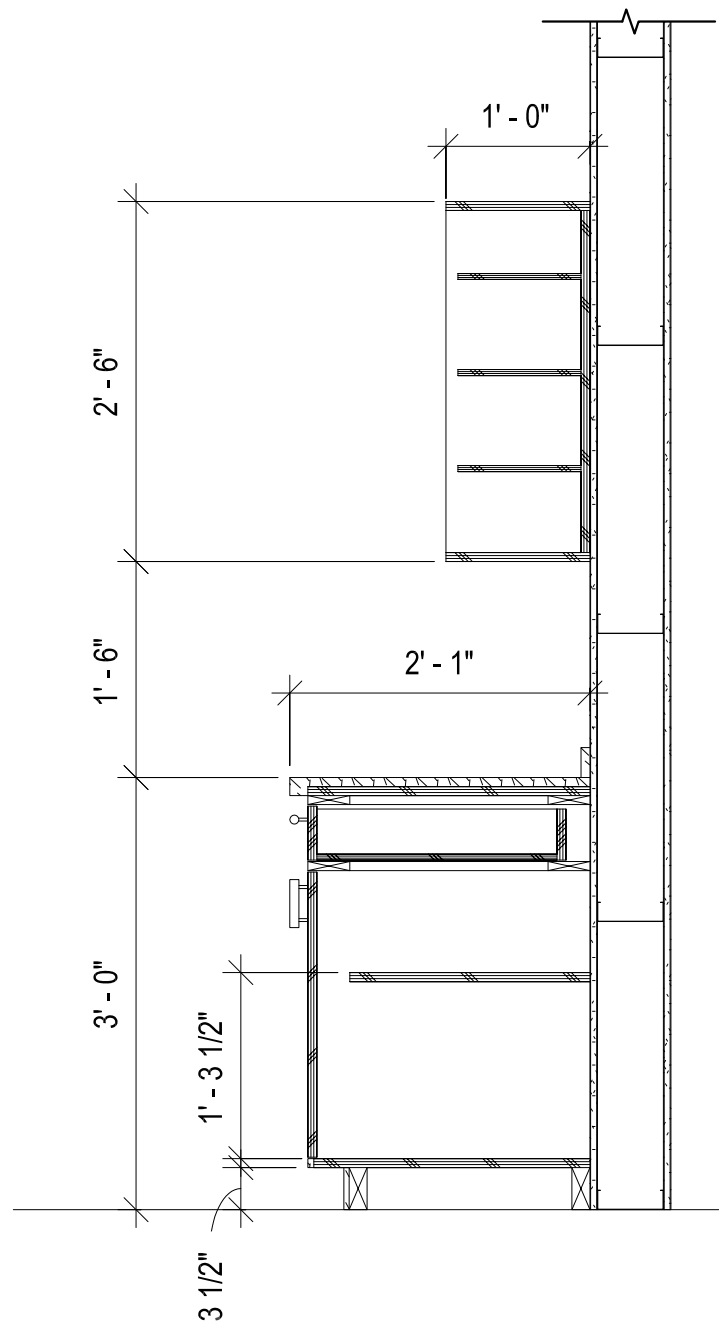
C



D

4 STORAGE 117

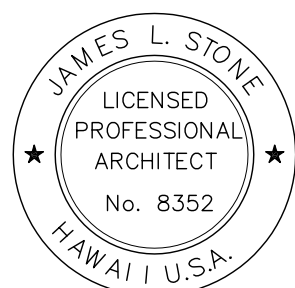
SCALE: 1/4" = 1'-0"



5 CABINET DETAIL

SCALE: 3/4" = 1'-0"

REVISION	DATE	BRIEF	MADE BY	APPROVED



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SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

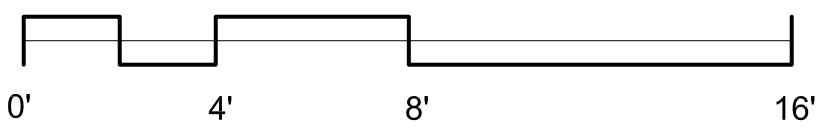
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

INTERIOR ELEVATIONS

DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO

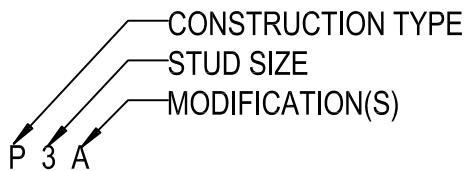
11-06-18

DWG. NO.
A-504
SHEET 17 OF 57



PARTITION TYPES

LEGEND:



NOTE: BLANK INDICATES NO FIRE RATING

CONSTRUCTION TYPE
F - FURRING
P - BASIC PARTITION
W - BASIC WOOD FRAMED PARTITION

STUD SIZE CODE
3 - 3 5/8" MET STUDS
4 - 4" MET STUDS
6 - 6" MET STUDS

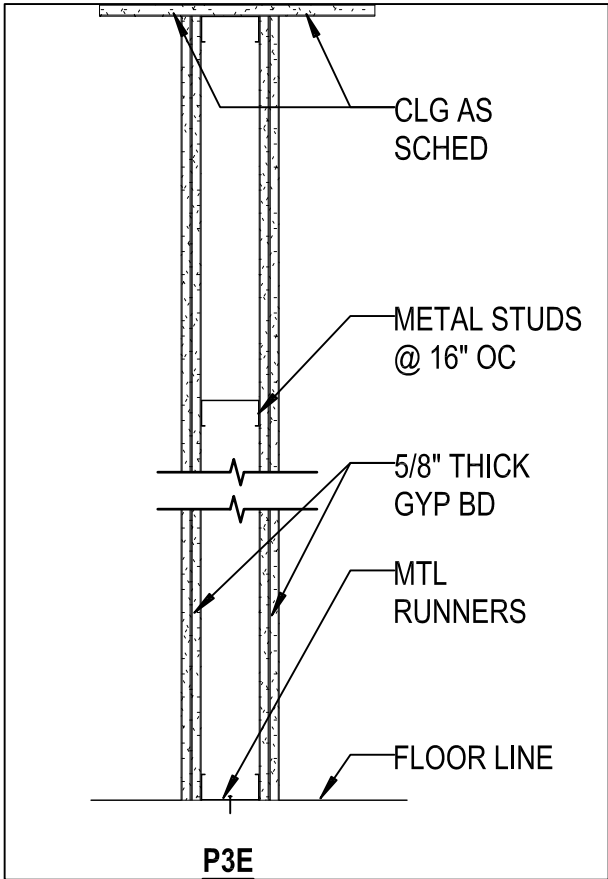
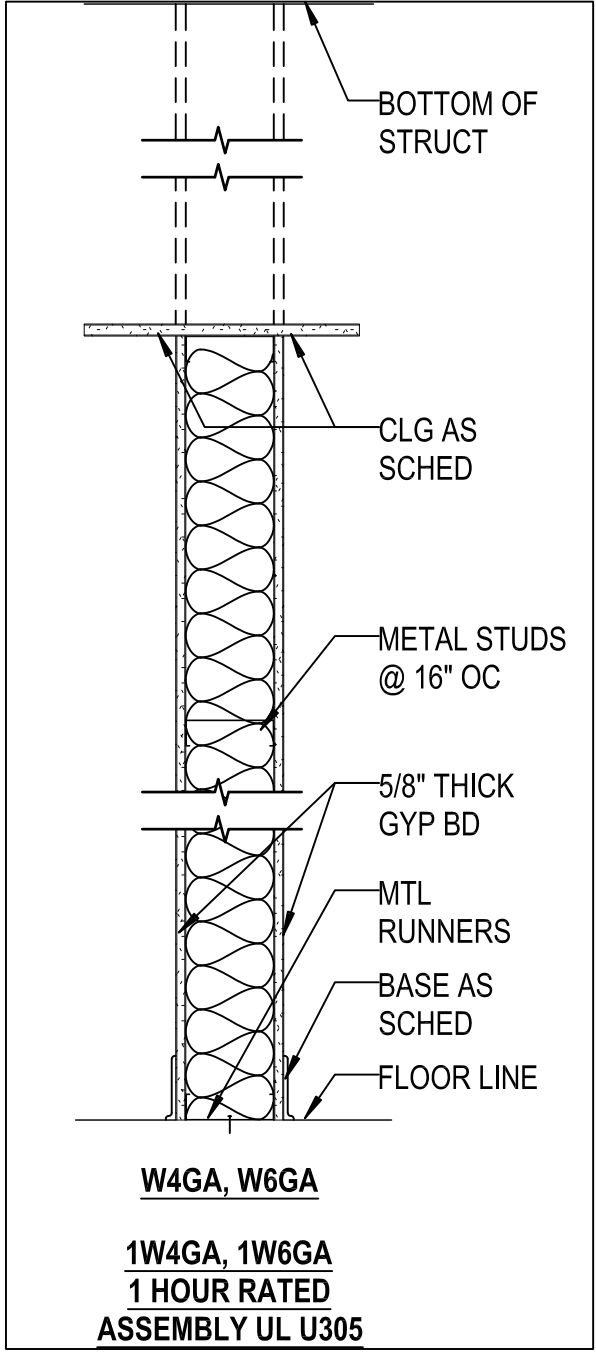
NOTE: BLANK INDICATES NO MODIFICATIONS

MODIFIERS
A - ACOUSTIC INSULATION
E - 2-LAYERS OF GYP BD, BOTH SIDES
G - FULL HT GYP BD, BOTH SIDES

- GENERAL NOTES:
- ALL GYP BD IS 1/2" THICK.
 - ALL PARTITIONS TO BE OF NON- COMBUSTIBLE CONSTRUCTION. . .
 - FOR ALL FIRE RATED PARTITIONS, THE FOLLOWING NOTES SHOULD APPLY:

A. ANY WALL OUTLETS FOR DATA, VOICE, VIDEO, POWER OR OTHER UTILITIES SHOULD BE SEPARATED BY AT LEAST ONE STUD CAVITY HORIZONTALLY TO AVOID BACK-TO-BACK OUTLETS.

B. ELEC. PANEL BOARDS, FEC, EYE WASH, ETC SHALL BE WRAPPED WITH FIRE RESISTIVE MATERIAL TO MAINTAIN FIRE RESISTIVE CONSTRUCTION.



REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER				
PARTITION TYPES				
DESIGNED BY:	JS	CHECKED BY:	RD	DRAWN BY: GTO
11-06-18				

JAMES L. STONE

LICENSED PROFESSIONAL ARCHITECT

No. 8352

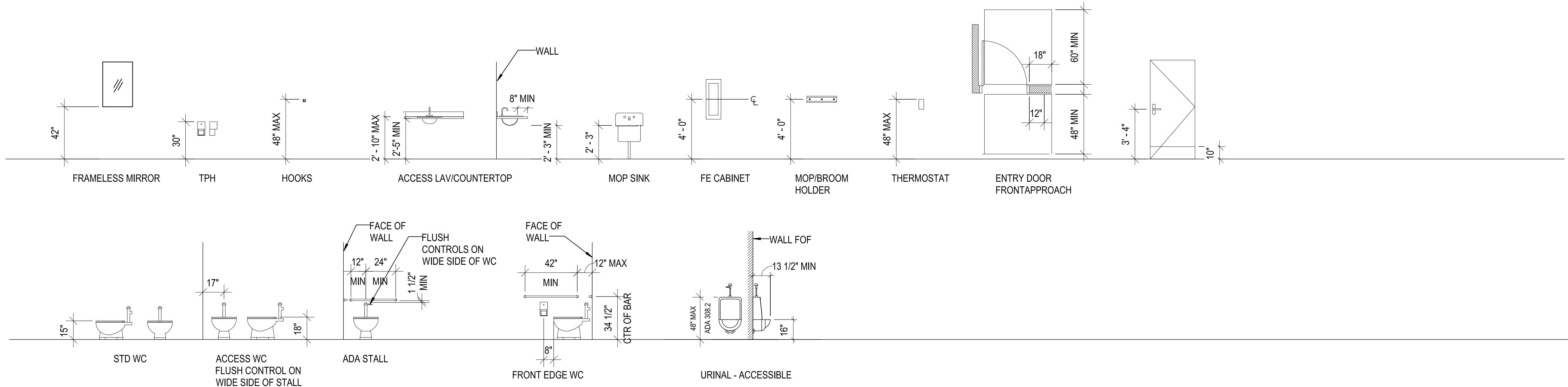
HAWAII U.S.A.

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LICENSE EXP. DATE: APRIL 30, 2020

DWG. NO.
A-601
SHEET 18 OF 57



1 ADA STANDARDS/FIXTURE MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"

REVISION	DATE	BRIEF	MADE BY	APPROVED



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SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

FIXTURE MOUNTING HEIGHTS

DESIGNED BY: Designer CHECKED BY: Checker DRAWN BY: Author

11-06-18

DWG. NO.
A-602
SHEET 19 OF 57

FILE	POCKET	FOLDER	NO.

DOOR SCHEDULE

DOOR SCHEDULE												
MARK	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	CONSTRUCTION	FINISH	HARDWARE GROUPS	FRAME MATERIAL	DET #/A-701			NOTE
									HEAD	JAMB	THRESHOLD	
101	6' - 0"	7' - 0"	0' - 1 3/4"	A	FRP	FF	001	FRP	3	3	1	PANIC HARDWARE & VISION PANEL
101A	5' - 0"	7' - 0"	0' - 1 3/4"	A2	FRP	FF	001	FRP	3	3	1	PANIC HARDWARE & VISION PANEL
101B	5' - 0"	7' - 0"	0' - 1 3/4"	A2	FRP	FF	001	FRP	3	3	1	PANIC HARDWARE & VISION PANEL
101C	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	007	MP	3	3	4	
102	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	003	MP	3	3	2	
103	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	003	MP	3	3	2	
104	6' - 0"	7' - 0"	0' - 1 3/4"	A	FRP	FF	004	MP	3	3	1	
104A	3' - 0"	7' - 0"	0' - 1 3/4"	B2	WP	WP	011	MP	3	3	2	
104B	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	011	MP	3	3	2	
104C	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	007	MP	3	3	4	DOOR LOUVER
104D	10' - 0"	4' - 0"		C	MP	MP	MANU	MANU	3	3	-	
105	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	007	MP	3	3	4	DOOR LOUVER
106	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	007	MP	3	3	4	
107	3' - 0"	7' - 0"	0' - 1 3/4"	B	FRP	FF	002	FRP	3	3	1	PANIC HARDWARE & VISION PANEL
107A	6' - 0"	7' - 0"	0' - 1 3/4"	A2	WP	WP	008	MP	3	3	4	
109	3' - 0"	7' - 0"	0' - 1 3/4"	B2	WP	WP	006	MP	3	3	2	
110	3' - 0"	7' - 0"	0' - 1 3/4"	B2	WP	WP	006	MP	3	3	2	
111	3' - 0"	7' - 0"	0' - 1 3/4"	B2	WP	WP	006	MP	3	3	2	
112	3' - 0"	7' - 0"	0' - 1 3/4"	B2	WP	WP	006	MP	3	3	2	
113	3' - 0"	7' - 0"	0' - 1 3/4"	B	FRP	FF	009	MP	3	3	1	
113A	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	007	MP	3	3	4	DOOR LOUVER
114	3' - 0"	7' - 0"	0' - 1 3/4"	B	FRP	FF	003	FRP	3	3	1	
115	3' - 0"	7' - 0"	0' - 1 3/4"	B	FRP	FF	003	FRP	3	3	1	
117	3' - 0"	7' - 0"	0' - 1 3/4"	B	WP	WP	007	MP	3	3	4	DOOR LOUVER
118	3' - 0"	7' - 0"	0' - 1 3/4"	D	FRP	FF	010	MP	3	3	1	FULL LOUVER

DOOR DETAILS

EXTERIOR CONDITION
SEE WALL SECTION
FOR CEMENTITIOUS
BOARD AND BATTEN,
FLASHING TYP.

INTERIOR

SEE PARTITION TYPE

SEALANT, TYP

TRIM PER ID DWGS

NO TRIM ON
CLOSET SIDE

1/2"

DOOR SIZE

1/2"

HOLLOW METAL FRAME

DOOR AS SCHED

3 INT JAMB (HEAD SIM)

SCALE: 3" = 1'-0"

SEE PARTITION
TYPE

HOLLOW METAL
FRAME

DOOR AS SCHED

FIN FLR AS SCHED

DOOR SIZE

4 INT DR THRESHOLD

SCALE: 3" = 1'-0"

EXTERIOR

INTERIOR

DOOR AS SCHED

DOOR BOTTOM

ALUM THRESHOLD,
SET IN BED OF
SEALANT

FINISH FLOOR AS SCHED

PLYWOOD

RIM JOIST FOR
MODULAR UNIT

DECKING

DECK
JOIST

FLASHING

EXT TRIM

DOOR SIZE

1 EXT DR THRESHOLD

SCALE: 3" = 1'-0"

SEE PARTITION
TYPE

DOOR AS SCHED

MIN 3/4" THK STONE
THRESHOLD ON MORTAR
BED, BEVEL EDGES

FLOORING AS
SCHEDULED

IMPACT SOUND
UNDERLAYMENT

1/2"

1"

1"

1/2"

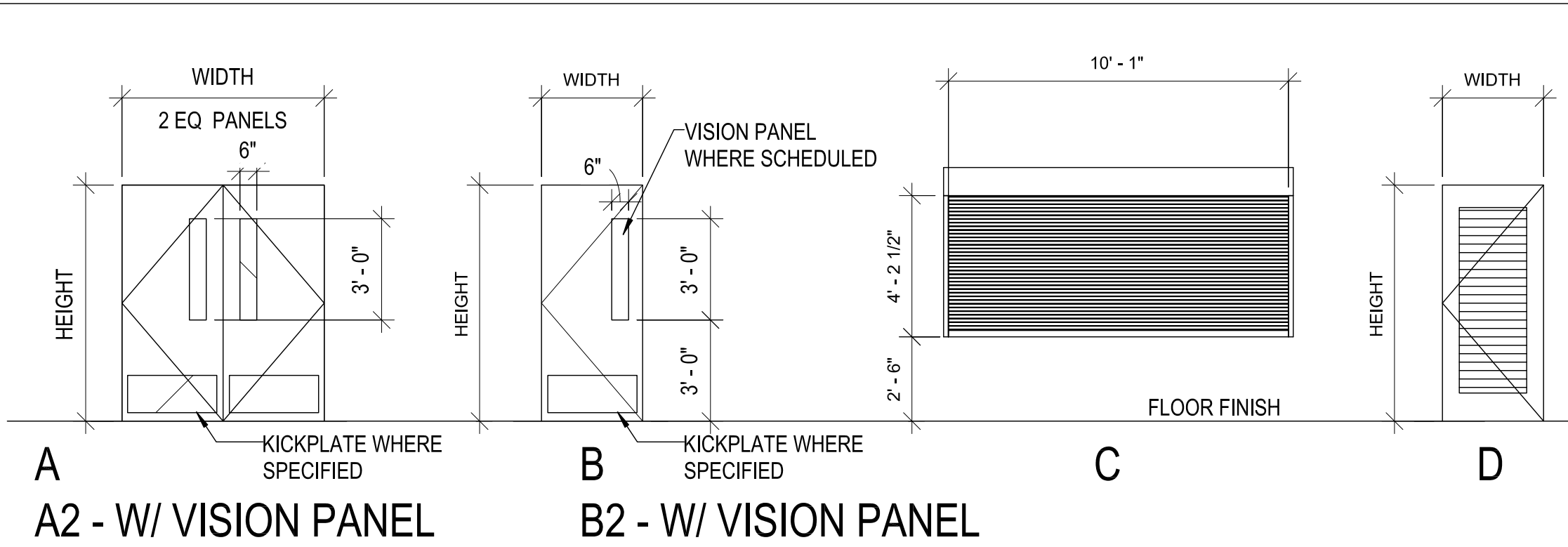
ALIGN THRESHOLD
WITH CASING TRIM

DOOR SIZE

2 INT DR THRESHOLD

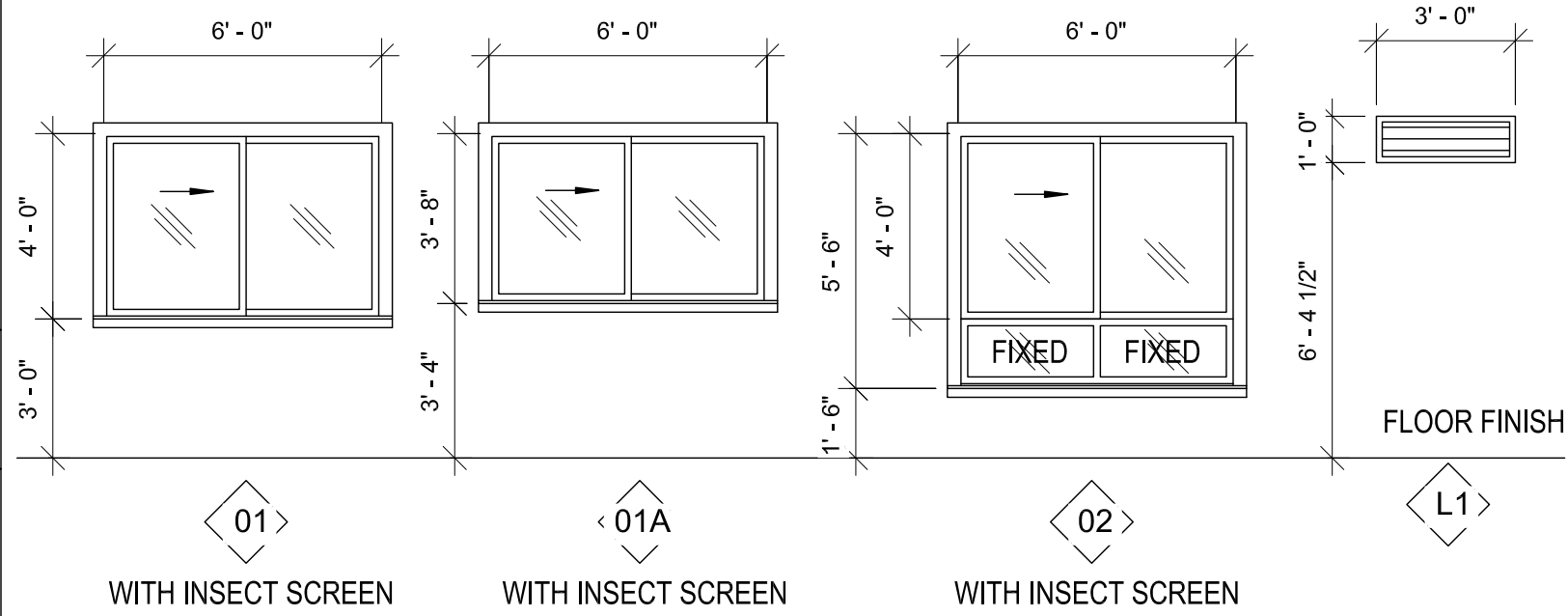
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DOOR TYPES



WINDOW TYPES

FOR WINDOW/LOUVER (SIM.) DETAILS SEE 4&5/A-802



DOOR REFERENCE NOTES

DOOR SCHEDULE HEADINGS WITH "()" NUMBER IN PARENTHESIS CORRESPOND TO REFERENCE NOTES BELOW.

1. DOOR TYPES

OD - OVERHEAD COILING DOOR
F - FLUSH
FL - FLUSH W/ LOUVER
FV - FLUSH W/ VISION

2. DOOR CONSTRUCTION & FINISH:

FF - FACTORY FINISH
FRP - FIBERGLASS ON METAL-INSULATED CORE
HM - HOLLOW METAL, METAL PAINTED
WP - WOOD, PAINTED

3. FRAME CONSTRUCTION & FINISH:

SEE INTERIOR DRAWINGS FOR FINISH DESIGNATIONS.

MP - METAL PAINTED

4. GLASS TYPES/LOUVER TYPES:

GLASS TYPES:
ALL GLASS SHALL BE AS SCHEDULED

TG - TEMPERED GLASS

	REVISION	DATE	BRIEF	MADE BY
				APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

DOOR SCHEDULE AND DETAILS
WINDOW SCHEDULE AND DETAILS
FINISH SCHEDULE AND LEGEND

DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO



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CONSTRUCTION AS DEFINED IN SECTION 16-1152 OF THE STATE OF
HAWAII, DEPARTMENT OF COMMERCE
AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE
RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS,
AND LANDSCAPE ARCHITECTS (8294).

SIGNATURE

LICENSE EXP. DATE: APRIL 30, 2020

DWG. NO.
A-701
SHEET 20 OF 57

FILE	POCKET	FOLDER	NO.

COLOR AND MATERIAL FINISH SCHEDULE



MARK	MATERIAL DESCRIPTION	MATERIAL MANUFACTURER	MATERIAL NAME	MATERIAL SIZE	MATERIAL NO/COLOR	MATERIAL FINISH	MATERIAL LOCATION USED/REMARKS
EXTERIOR FINISHES							
EXPT-1	EXTERIOR PAINT-WALLS	BENJAMIN MOORE	PAINT		BEIGE SUPREME	EGG SHELL	WALLS
EXPT-2	EXTERIOR PAINT-TRIM	BENJAMIN MOORE	PAINT		GOLDEN YELLOW	EGG SHELL	
EXPT-3	EXTERIOR PAINT-WINDOW/DOOR TRIM	BENJAMIN MOORE	PAINT		OCHER	EGG SHELL	
EXPT-4	EXTERIOR PAINT-DOORS/FRAMES	BENJAMIN MOORE	PAINT		MEDIUM BROWN	SEMI-GLOSS	
EXPT-5	WINDOW/LOUVERS FRAMES	WINDOW MANUF.	VARIES		OFF WHITE	SEMI-GLOSS	
EXPT-6	EXTERIOR SOFFITS/CEILING	BENJAMIN MOORE	PAINT		OFF WHITE	EGG SHELL	
EXPT-7	METAL ROOF, GUTTER, VENT & FLASHING	KLOCKNERS METALS	PAINT		PATINA GREEN 872GS		ROOF COLOR
EXPT-8	RAILINGS	KYNAR	KYNAR		SIENNA BROWN		
FLOORING							
CPT	CARPET TILE	SHAW	PATCRAFT	24" X 24"	BIG SPLASH MODULAR	202	OFFICE
CT-1	CERAMIC TILE-FLOORS	DAL TILE	KEYSTONES	1"X1" MESH			COVE BASE
DCK	DECKING SYSTEM	RESYSTA	DECKING PLATINUM		SIAM		DECKS AND RAMPS
DPT	CONCRETE DECK PAINT	INSL-X	SURE STEP		LIGHT GREY SU-0310		ADA RAMPS-CONCRETE
GT-1	BATHROOM FLOOR TILE GROUT	MAIPEI COMMERCIAL	MEDIUM GRAY				PROVIDE SEALER
GT-2	QUARRY TILE GROUT	MAIPEI COMMERCIAL	DARK GRAY				PROVIDE SEALER
QT	QUARRY TILE	DAL TILE	KITCHEN QUARRY TILE & COVE BASE		0Q42 ARID GRAY		PROVIDE SEALER
SVF	SHEET VINYL	ARMSTRONG FLOORING	DECORART REJUVINATIONS TIMBERLINE	6' WIDE	BAMBOO MINK	37367	CLASSROOM & MEETING
VCT	VINYL COMPOSITE TILE	ARMSTRONG FLOORING	STANDARD EXCELOP IMPERIAL TEXTURE	12" X 12"	PEWTER 51908		STORAGE
MISCELLANEOUS FINISHES							
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	CALLA 2821	24" X 48"	WHITE	WHITE	AS SCHEDULED
ACT-2	ACOUSTIC CEILING TILE	ARMSTRONG	KITCHEN ZONE 672	24" X 48"	WHITE	WHITE	KITCHEN
PLAM-1	PLASTIC LAMINATE	WILSONART	WOOD VENEER 1	N/A		N/A	KITCHEN CABINETS
PLAM-2	PLASTIC LAMINATE	WILSONART	WOOD VENEER 2	N/A		N/A	OFFICE CABINETS
RB	ROLLER BLINDS	MECHO SHADE	SOHO		CANAL 1102 CORNSILK		OFFICE AND CLASSROOM WINDOWS
SS-1	SOLID SURFACE	CORIAN	-	N/A	ANTARTICA		KITCHEN COUNTERTOPS
SS-2	SOLID SURFACE	CORIAN	-	N/A	FOSSIL		RESTROOM COUNTERTOPS
STS	STAINLESS STEEL	VARIES	-				KITCHEN SINK COUNTER
WALLS							
CT-2	CERAMIC TILE-WALLS	DAL TILE	KEYSTONES	4" X 4"			ACCENT STRIP
FRP	FIBERGLASS REINFORCED PLASTIC	MARLITE	INDURO	PANEL	4143 NEUTRAL GLACE		KITCHEN WALLS
GT-3	BATROOM WALLS	MAIPEI COMMERCIAL	GRAY				PROVIDE SEALER
PT-1	PAINT-WALLS	BENJAMIN MOORE	PAINT	-		EGG SHELL	WALLS
PT-2	PAINT-ACCENT WALL	BENJAMIN MOORE	PAINT	-		EGG SHELL	ACCENT WALL
PT-3	PAINT-CEILING	BENJAMIN MOORE	PAINT	-		EGG SHELL	CEILING
PT-4	PAINT-CEILING BATHROOMS	BENJAMIN MOORE	PAINT	-		SEMI-GLOSS	CEILING-BATHROOMS
PT-5	PAINT-DOORS/FRAMES	BENJAMIN MOORE	PAINT	-		SEMI-GLOSS	DOORS/FRAMES
PT-6	PAINT-TRIM	BENJAMIN MOORE	PAINT	-		SEMI-GLOSS	TRIM
RB-1	RUBBER BASE	JOHNSONITE	RUBBER BASE	4"			PUBLIC ROOMS-VINYL
RB-2	RUBBER BASE	JOHNSONITE	RUBBER BASE	4"			OFFICES-CARPET
RB-3	RUBBER BASE	JOHNSONITE	RUBBER BASE	4"			BOH-VCT

NOTE: ALL MANUFACTUERS LISTED ARE ALLOWED TO BE SUBSTITUTED WITH EQUAL MATERIAL OR BETTER

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME/DESCRIPTION	FLOOR	BASE	WALL	CEILING	CASEWORK	WINDOW
101	ENTRY	SVF	RB-1	PT-1	ACT-1	-	-
102	WOMENS	CT-1/GT-1	CT-1/GT-1	CT-2/GT-3	PT-4	SS-2	-
103	MENS	CT-1/GT-1	CT-1/GT-1	CT-2/GT-3	PT-4	SS-2	-
104	KITCHEN	QT/GT-2	QT/GT-2	FRP	ACT-2	SS-1/PLAM-1/STS	-
105	STORAGE 1	VCT	RB-3	PT-1	ACT-1	-	-
106	TELCOM ROOM	VCT	RB-3	PT-1	ACT-1	-	-
107	CLASSROOM	SVF	RB-1	PT-1/PT-2	ACT-1/PT-3	-	RB
108	MEETING ROOM / DISPLAY ROOM	SVF	RB-1	PT-1/PT-2	ACT-1/PT-3	-	-
109	OFFICE 1	CPT	RB-2	PT-1	ACT-1	PLAM-2	RB
110	OFFICE 2	CPT	RB-2	PT-1	ACT-1	PLAM-2	RB
111	OFFICE 3	CPT	RB-2	PT-1	ACT-1	PLAM-2	RB
112	OFFICE 4	CPT	RB-2	PT-1	ACT-1	PLAM-2	RB
113	STORAGE	VCT	RB-3	PT-1	ACT-1	-	-
114	OUTDOOR MENS	CT-1/GT-1	CT-1/GT-1	CT-2/GT-3	PT-4	SS-2	-
115	OUTDOOR WOMENS	CT-1/GT-1	CT-1/GT-1	CT-2/GT-3	PT-4	SS-2	-
116	COVERED OUTDOOR SPACE	DKK	EXPT-2	EXPT-1,2&8	EXPT-6	-	-
117	STORAGE	VCT	RB-3	PT-1	ACT-1	-	-
118	WH CLOSET	DPT	-	PT-1	EXPT-6	-	-
-	EXTERIOR DECK/STAIR/ADA RAMP	DKK/DPT	-	EXPT-8	-	-	-

NOTE: SCHEDULED FINISHES EXTEND INTO CLOSETS WITHIN ROOMS

				
				
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DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

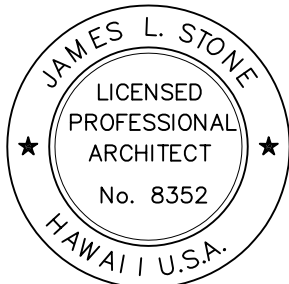
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER

COLOR, MATERIAL AND ROOM FINISH SCHEDULE

DESIGNED BY: Designer CHECKED BY: Checker DRAWN BY: Author

11-06-18

FILE	POCKET	FOLDER	NO.

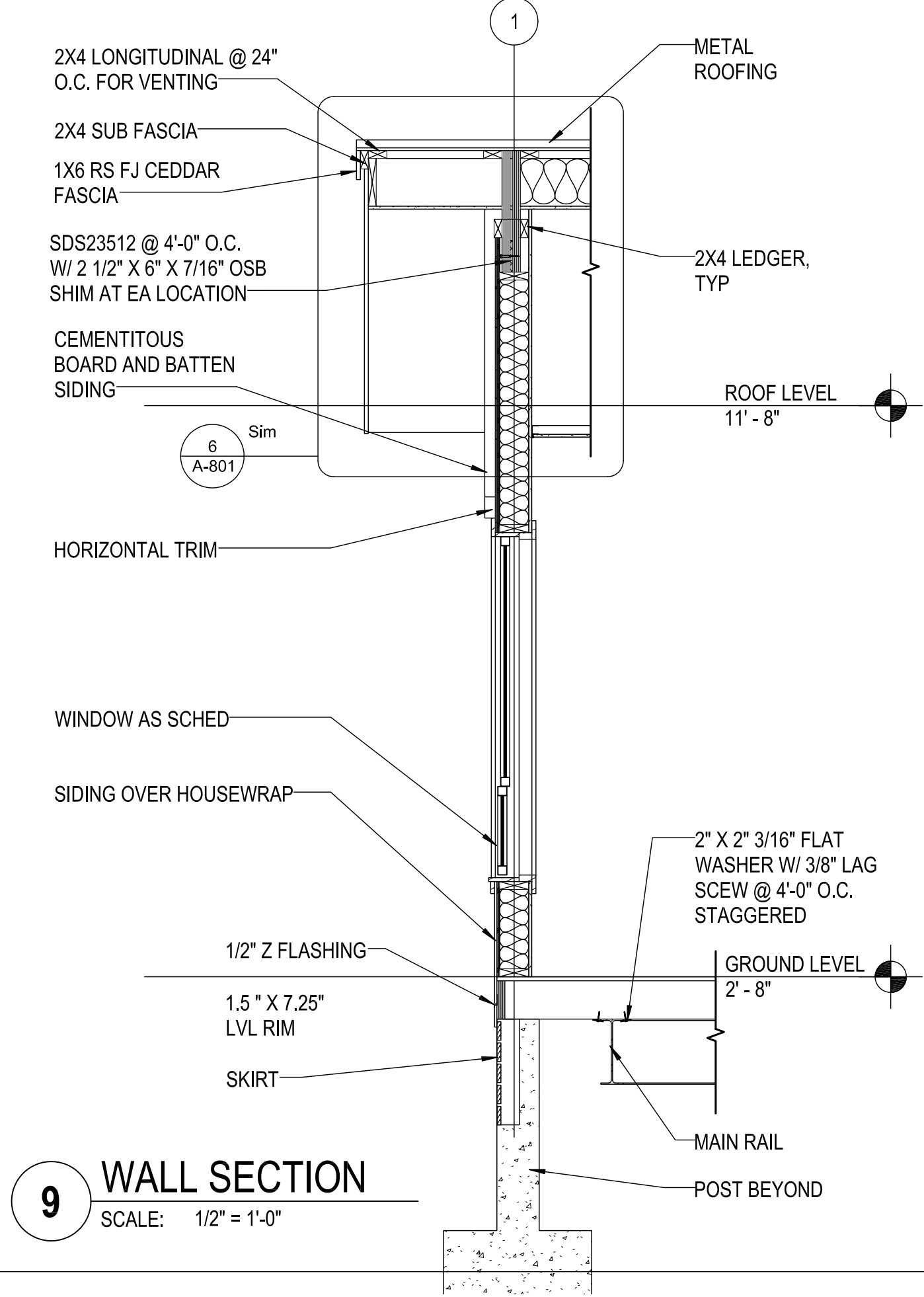


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AND LANDSCAPE ARCHITECTS (8/29/94).

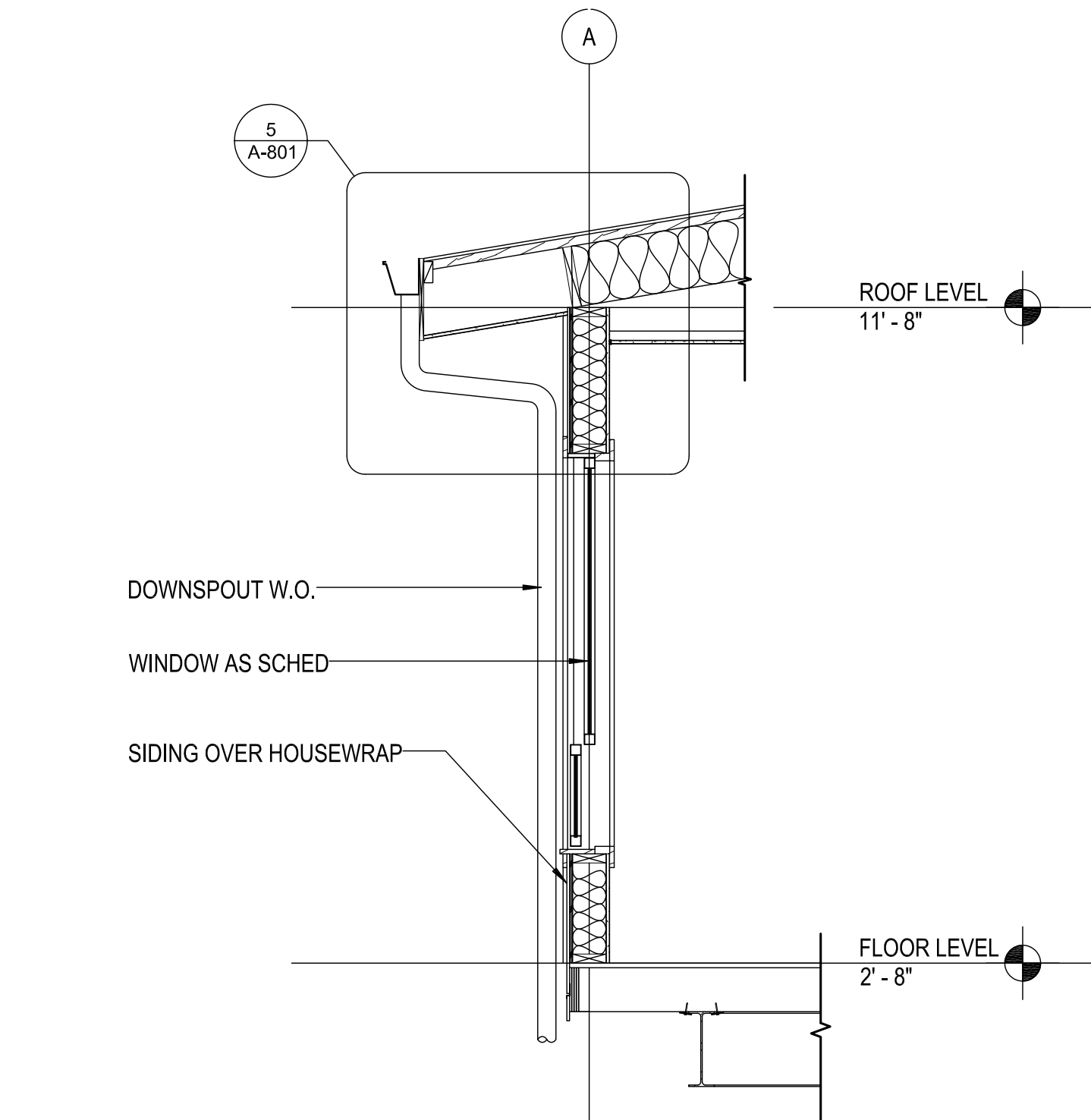

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LICENSE EXP. DATE: APR 2011

DWG. NO.
A-702
SHEET 21 OF 57

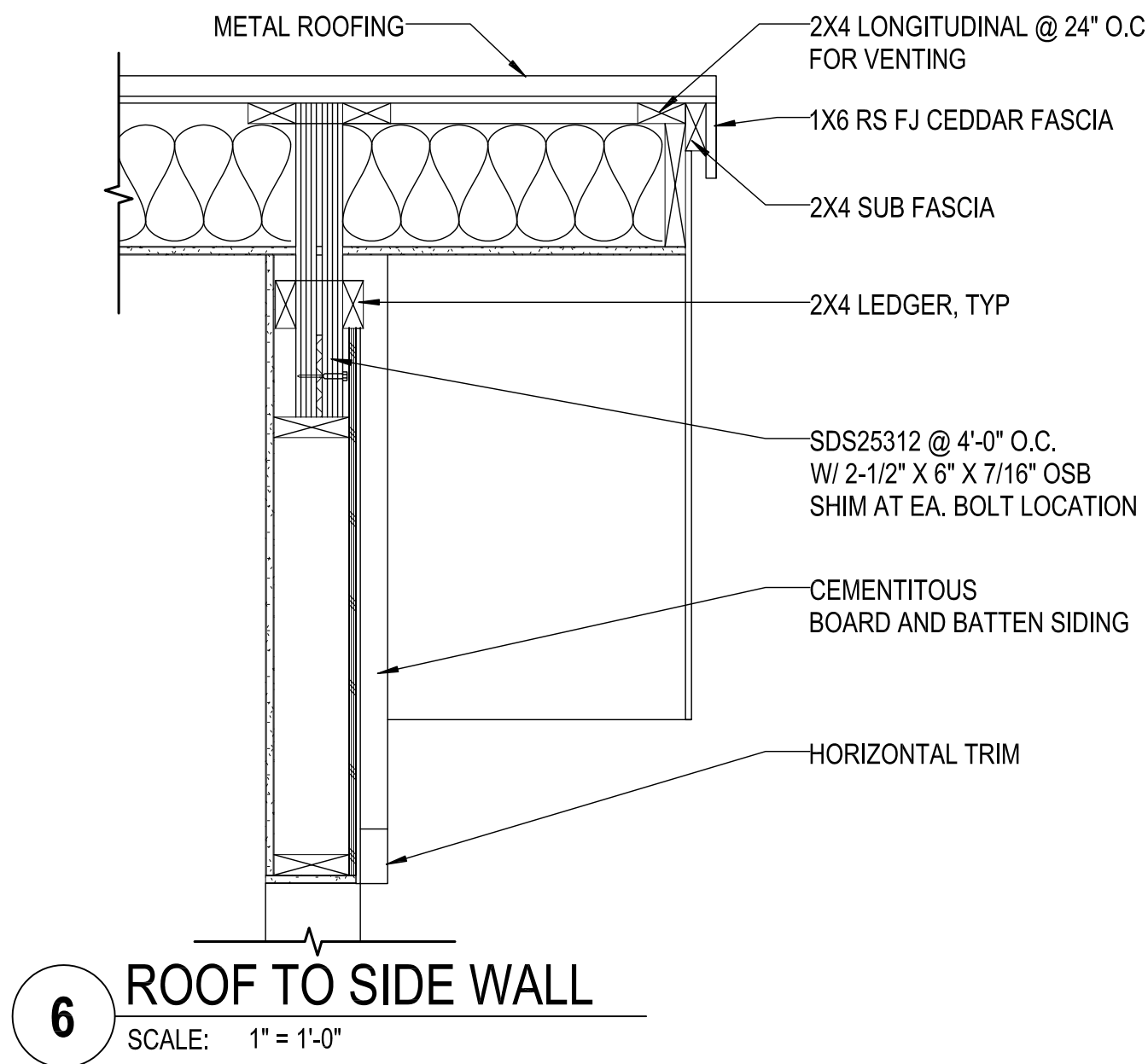
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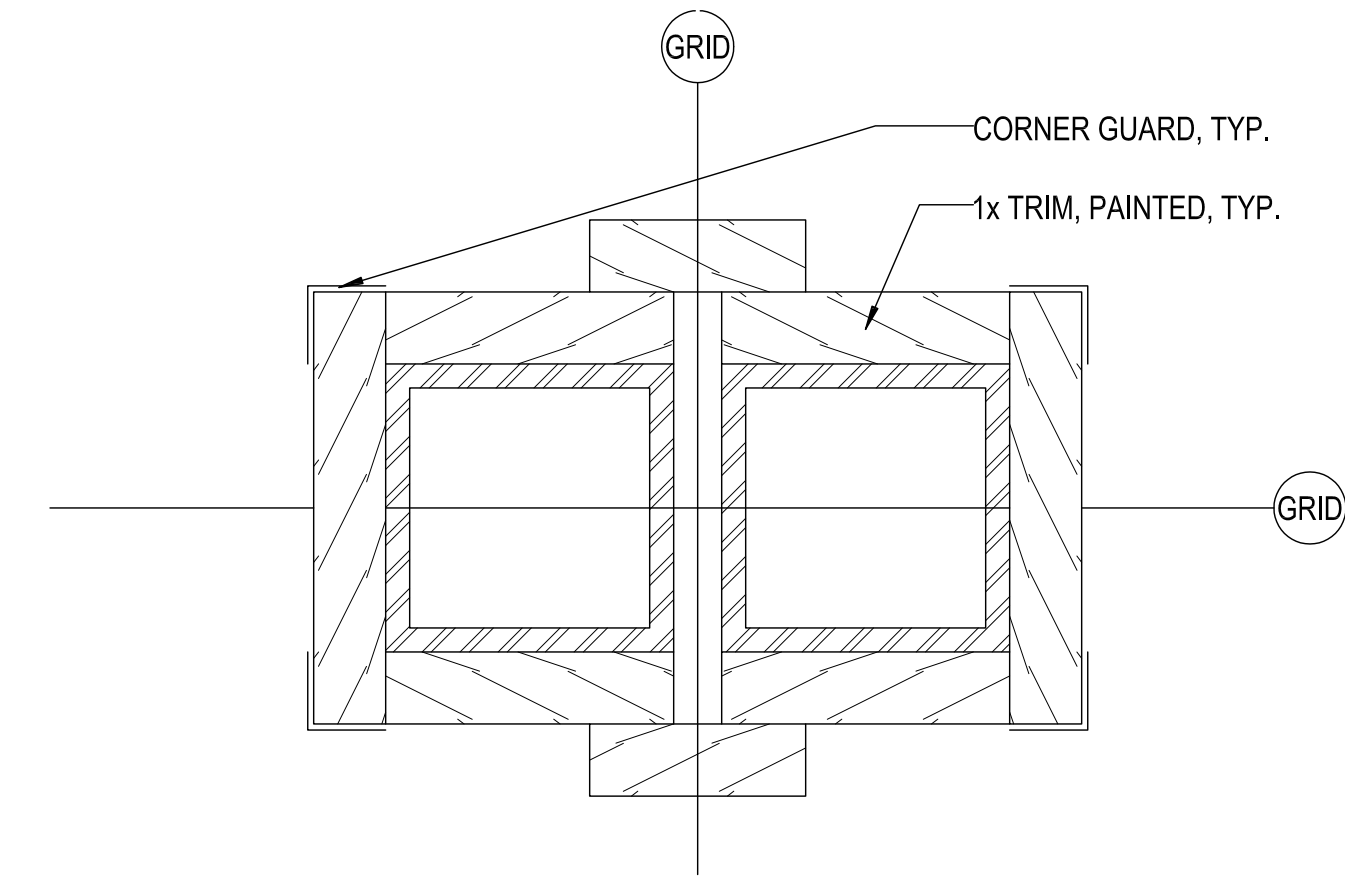
9 WALL SECTION
SCALE: 1/2" = 1'-0"



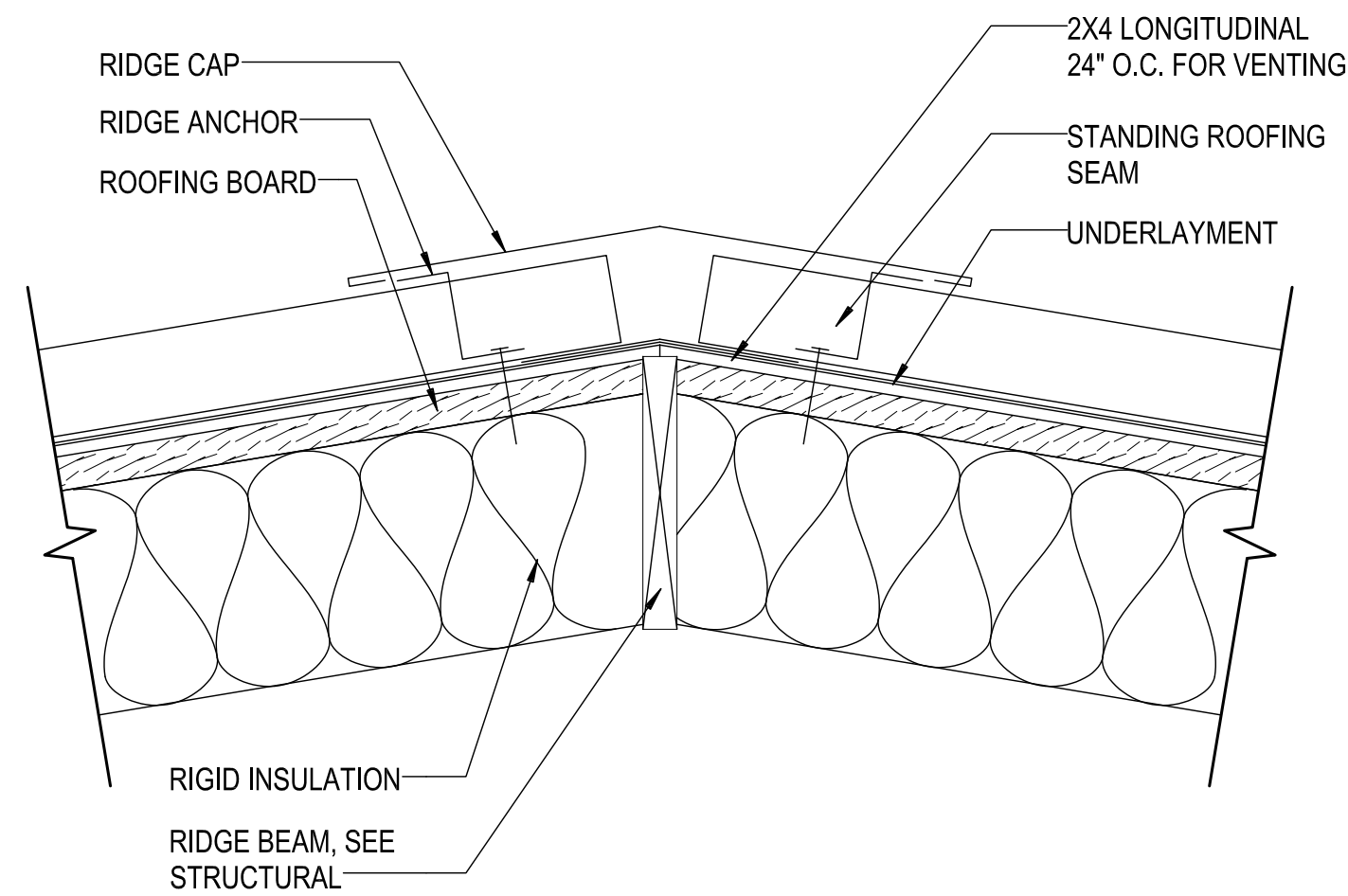
10 WALL SECTION
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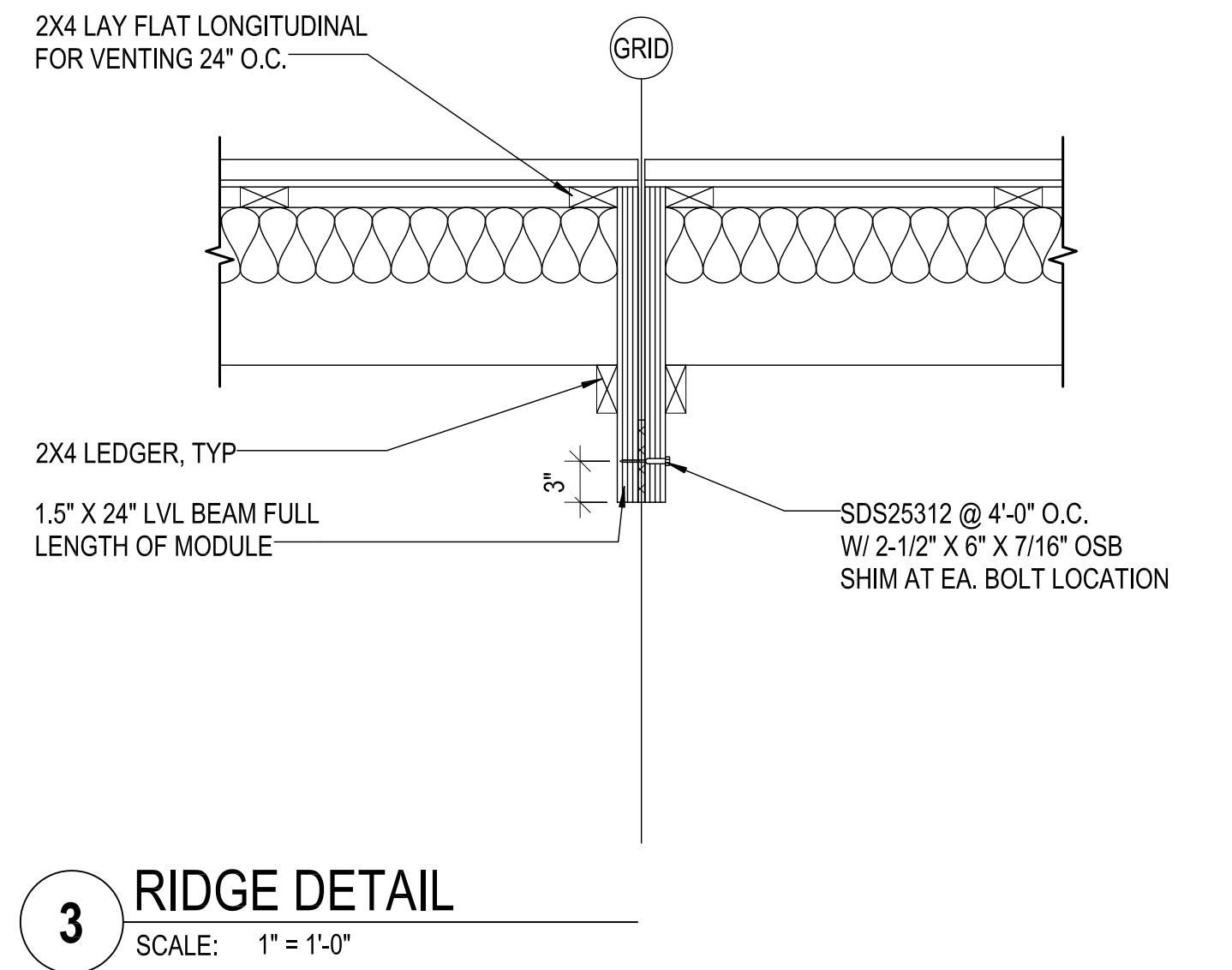
6 ROOF TO SIDE WALL
SCALE: 1" = 1'-0"



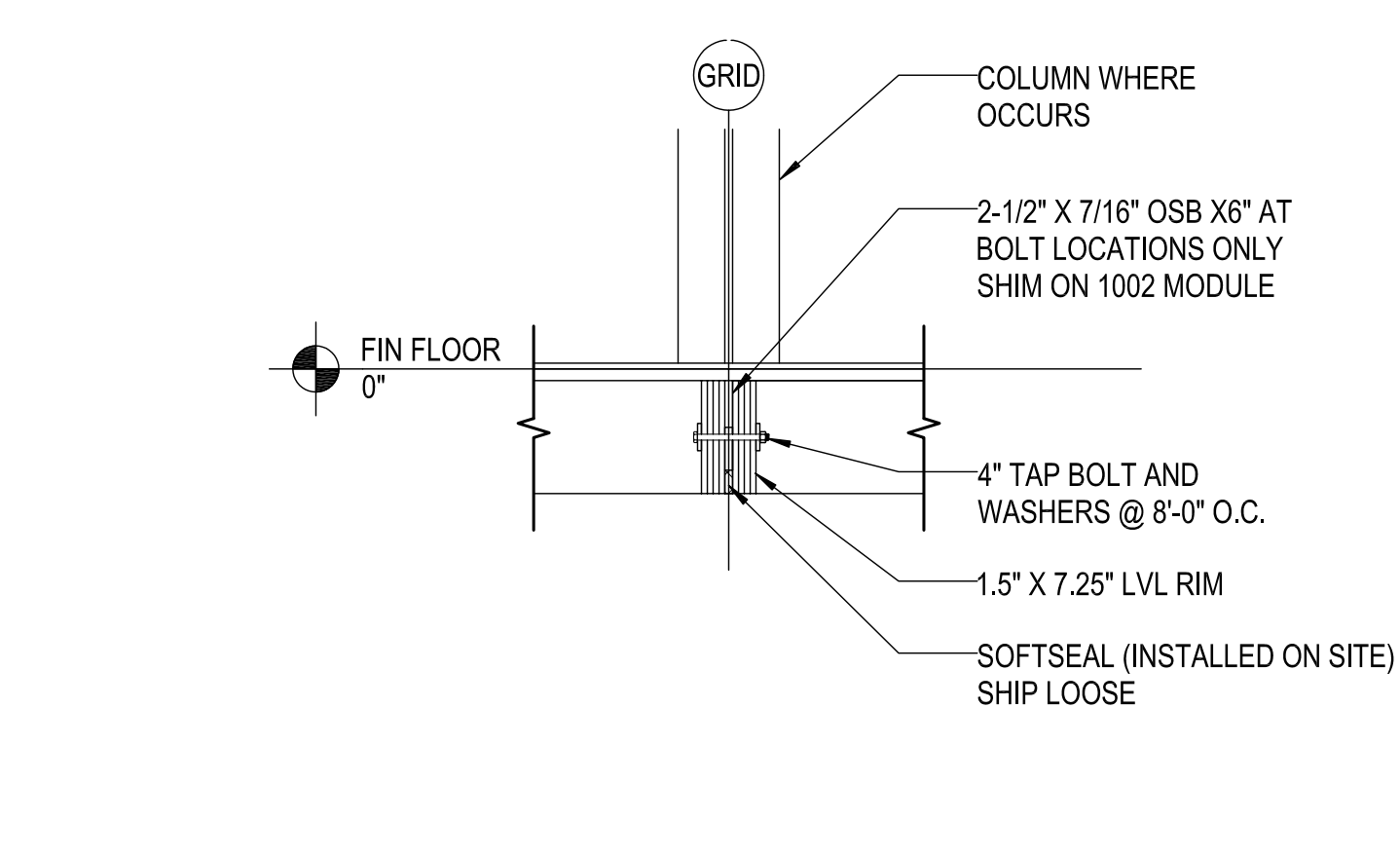
8 DOUBLE COLUMNS AT MODULAR JOINT
SCALE: 6" = 1'-0"



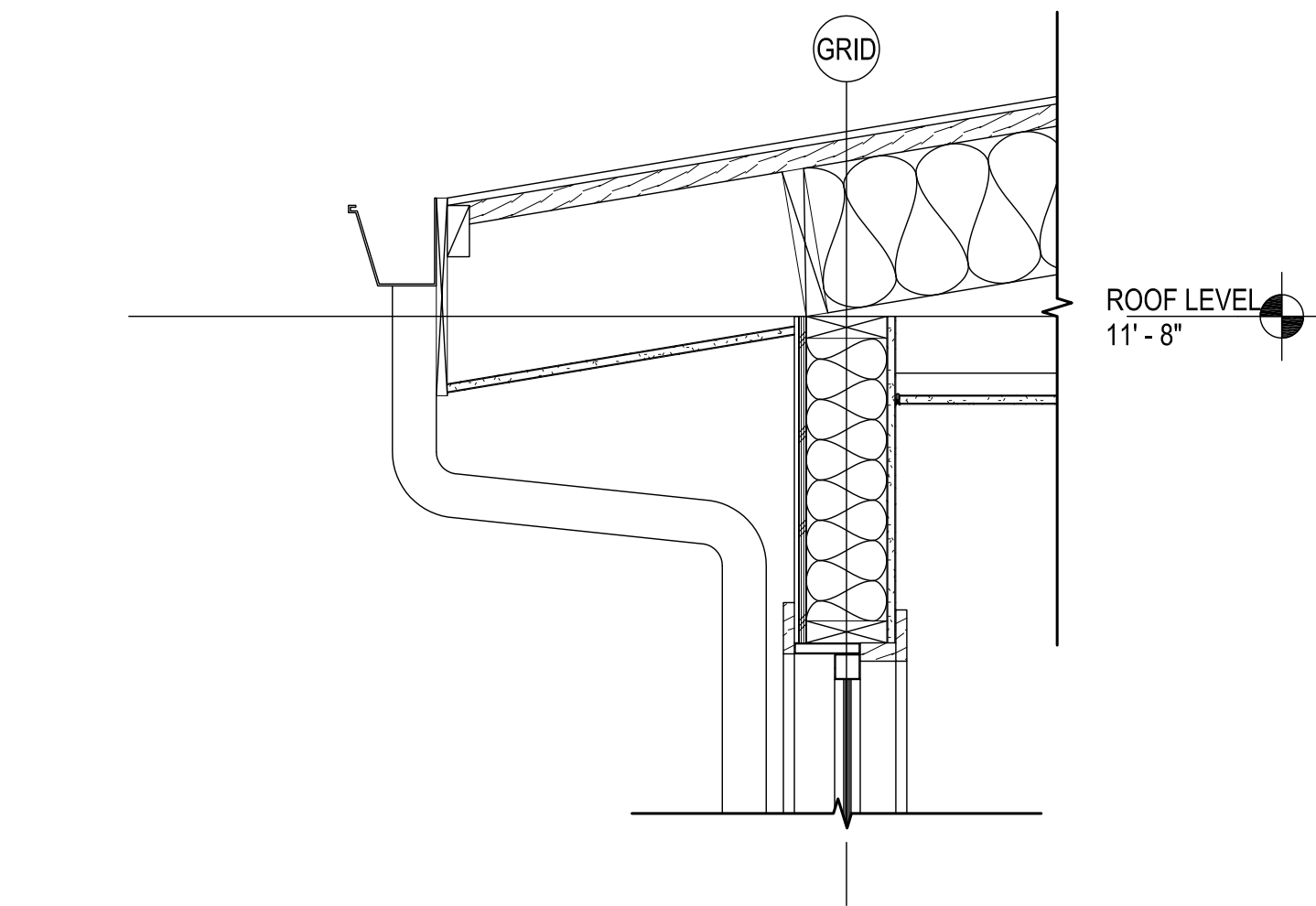
7 RIDGE DETAIL
SCALE: 1 1/2" = 1'-0"



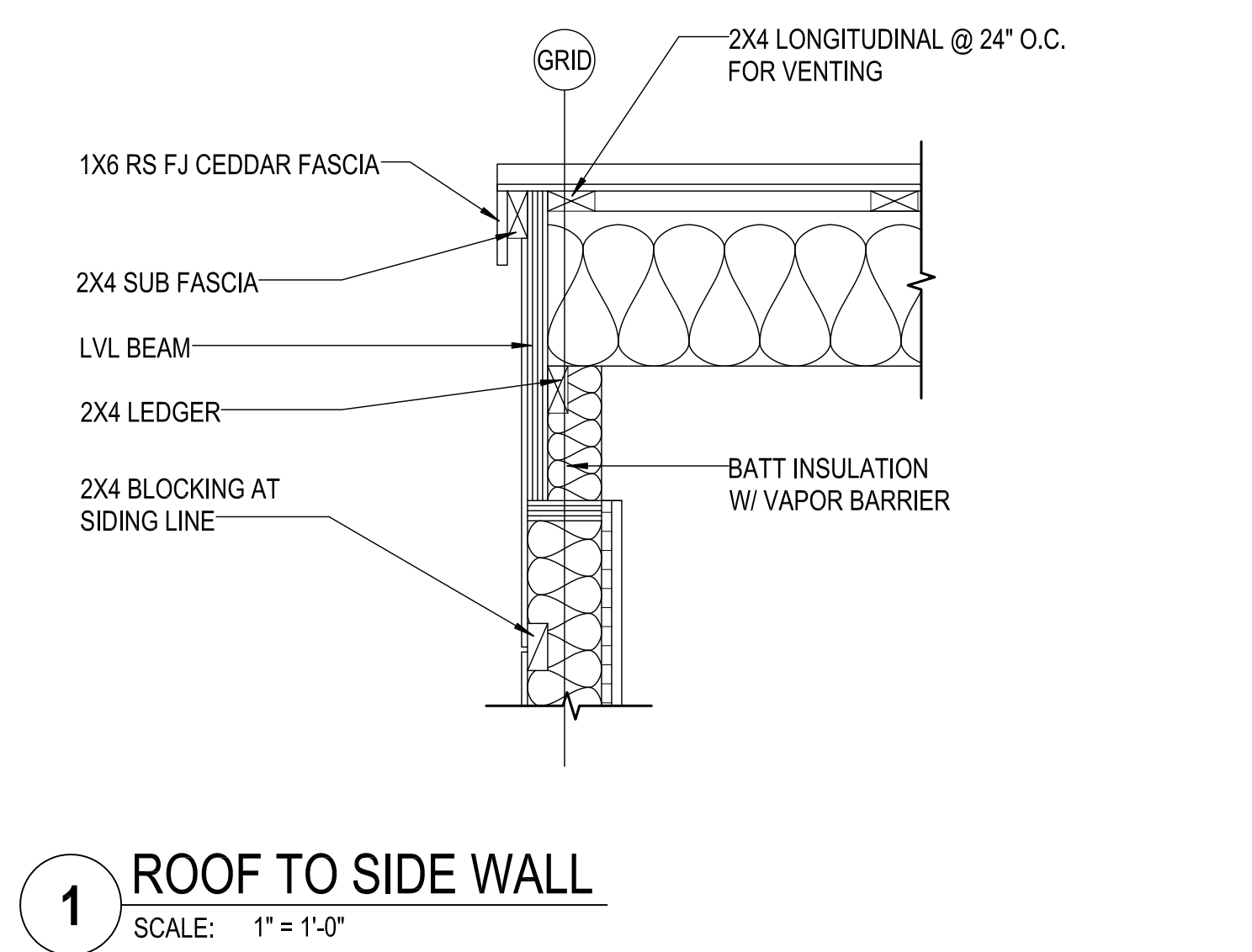
3 RIDGE DETAIL
SCALE: 1" = 1'-0"



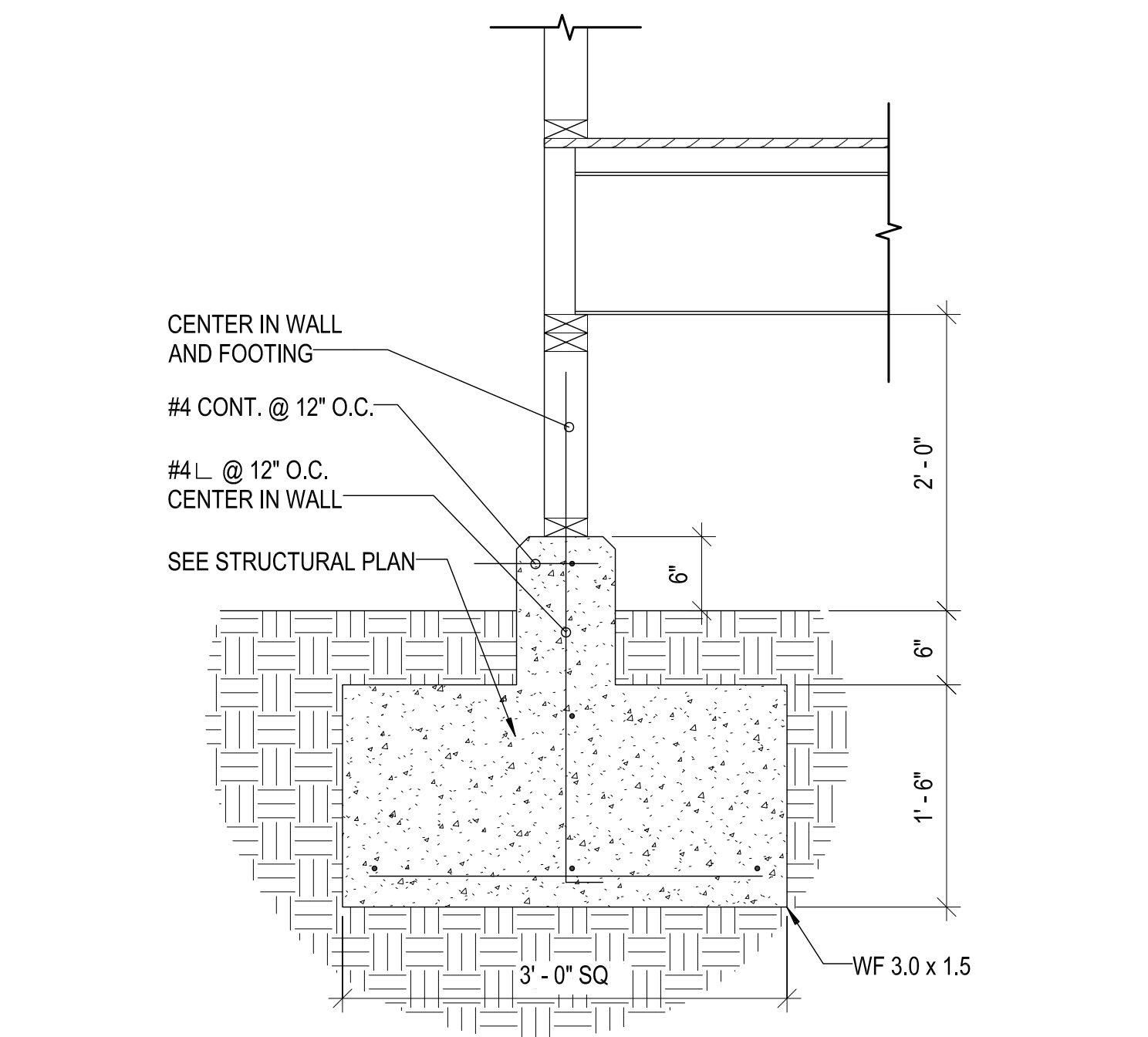
4 FLOOR AT MATELINE
SCALE: 1" = 1'-0"



5 ROOF TO END WALL
SCALE: 1" = 1'-0"



1 ROOF TO SIDE WALL
SCALE: 1" = 1'-0"



2 TYPICAL PERIMETER WALL FOOTING
SCALE: 1" = 1'-0"

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LICENSE EXP. DATE: APRIL 30, 2020

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

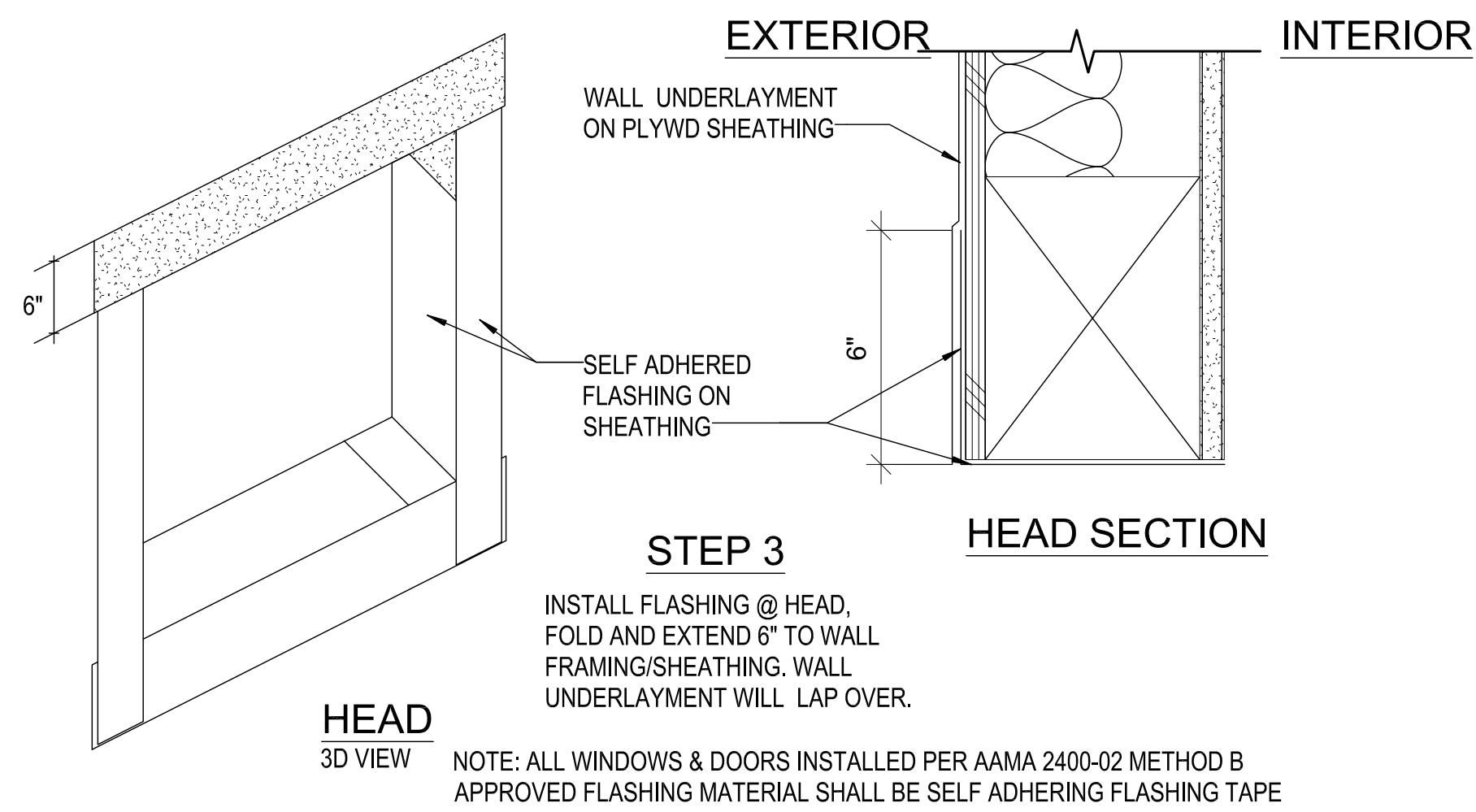
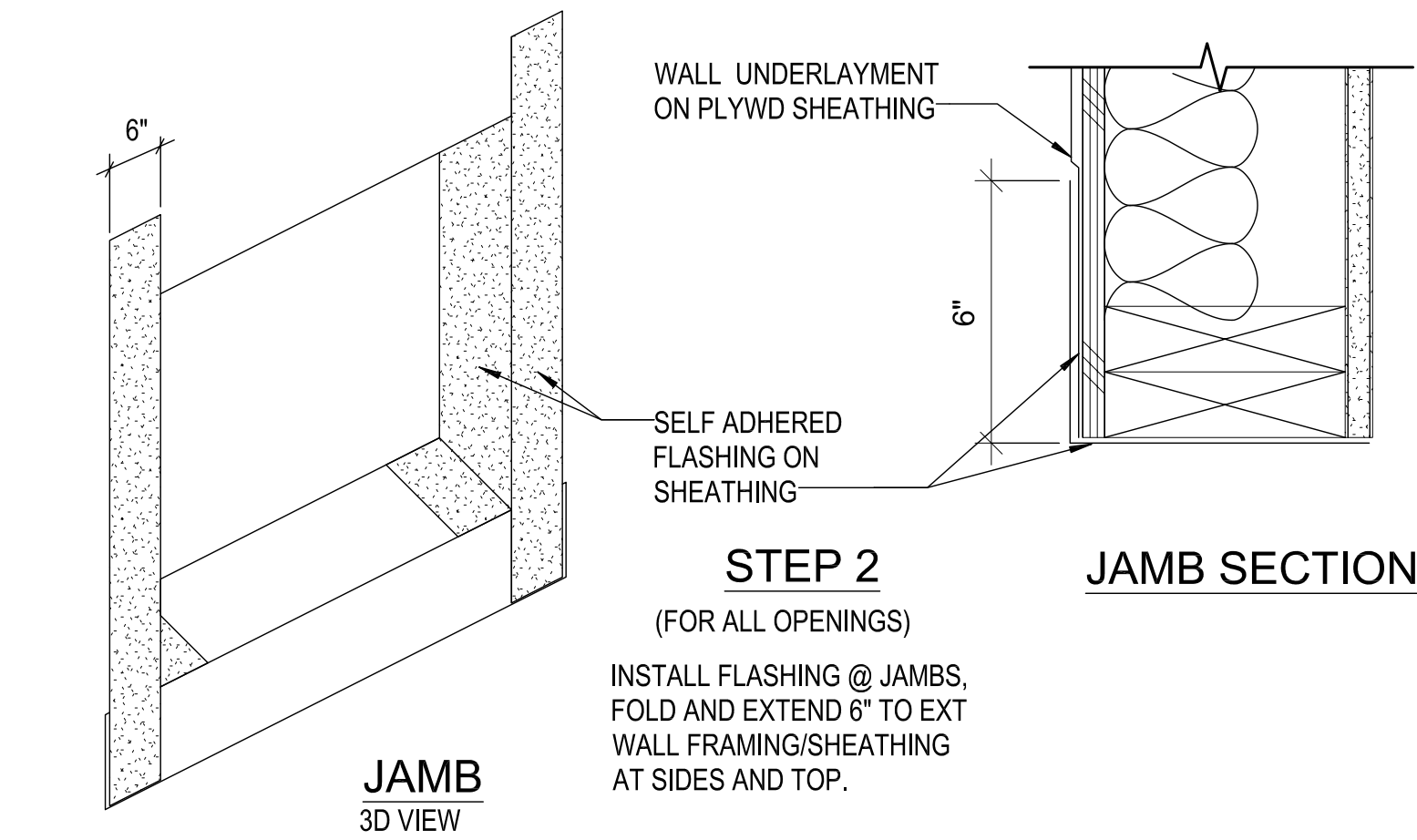
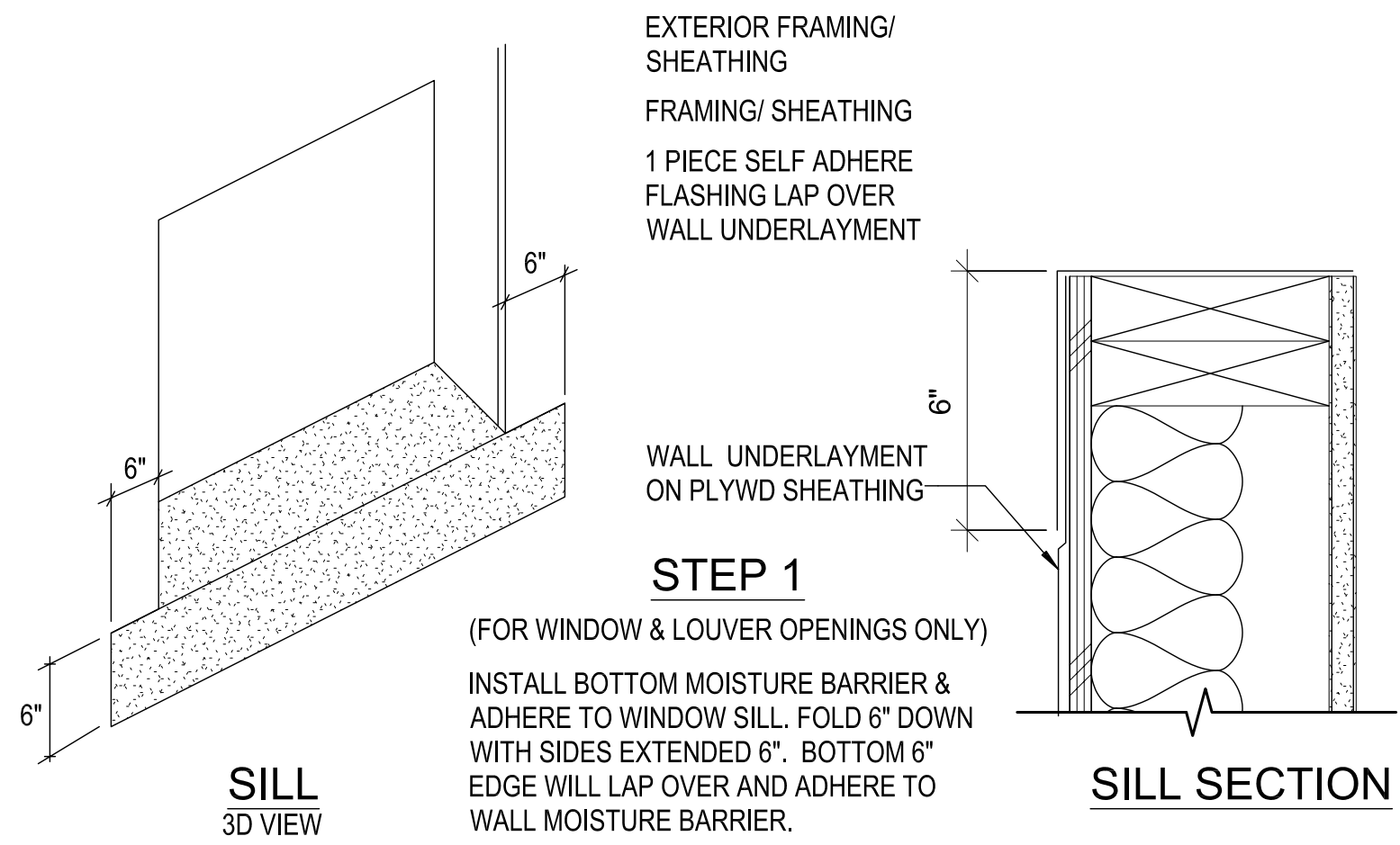
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER

DETAILS

DESIGNED BY: JS CHECKED BY: RD DRAWN BY: GTO

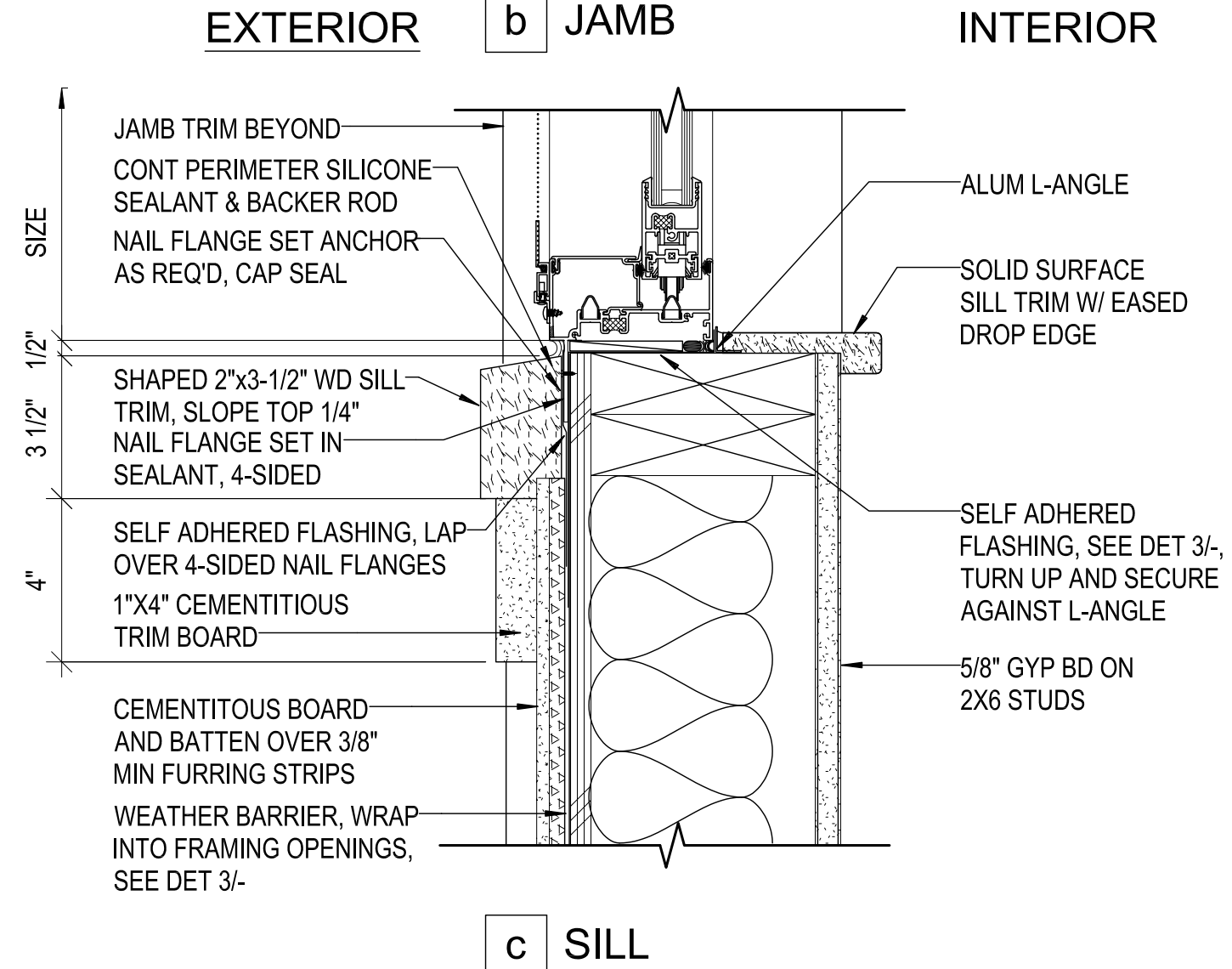
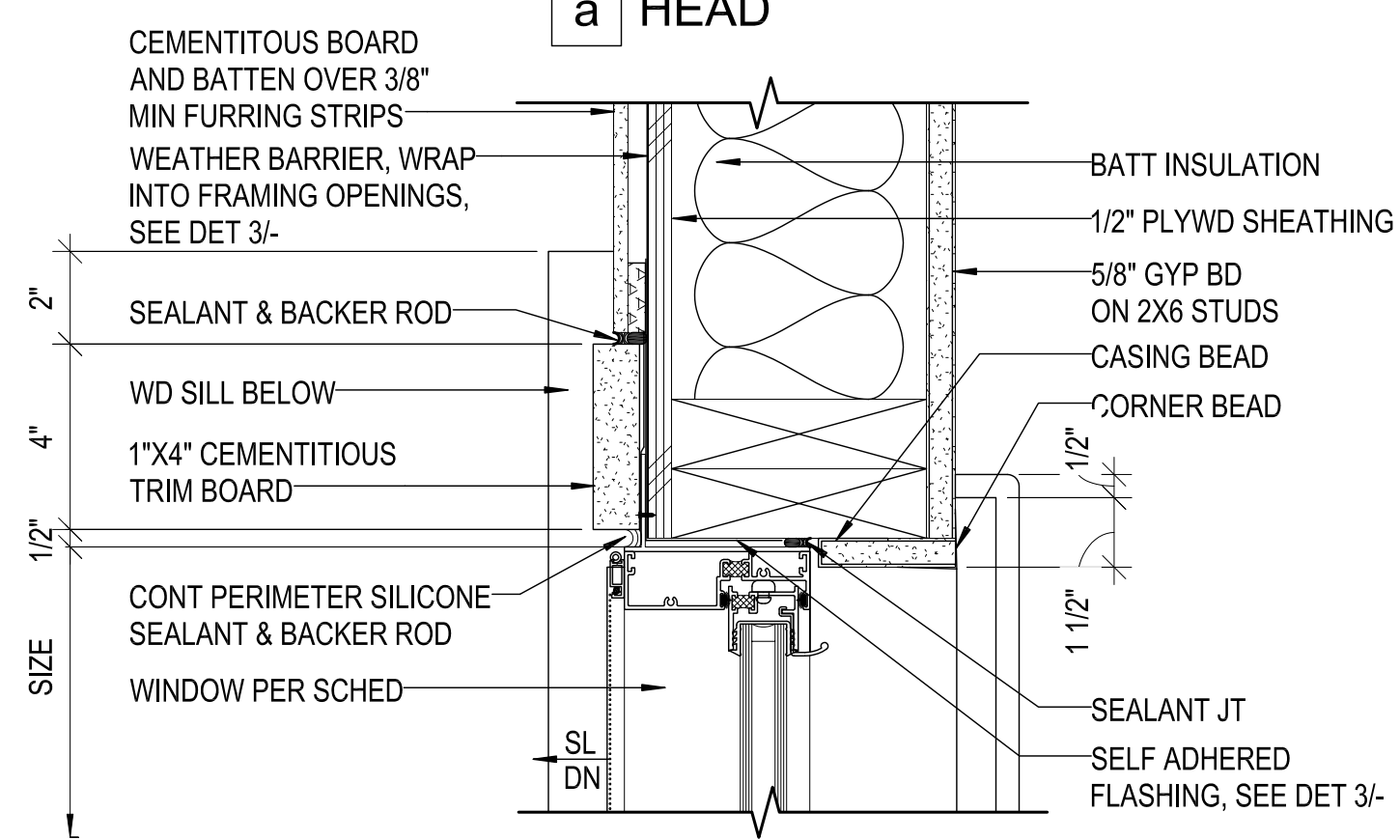
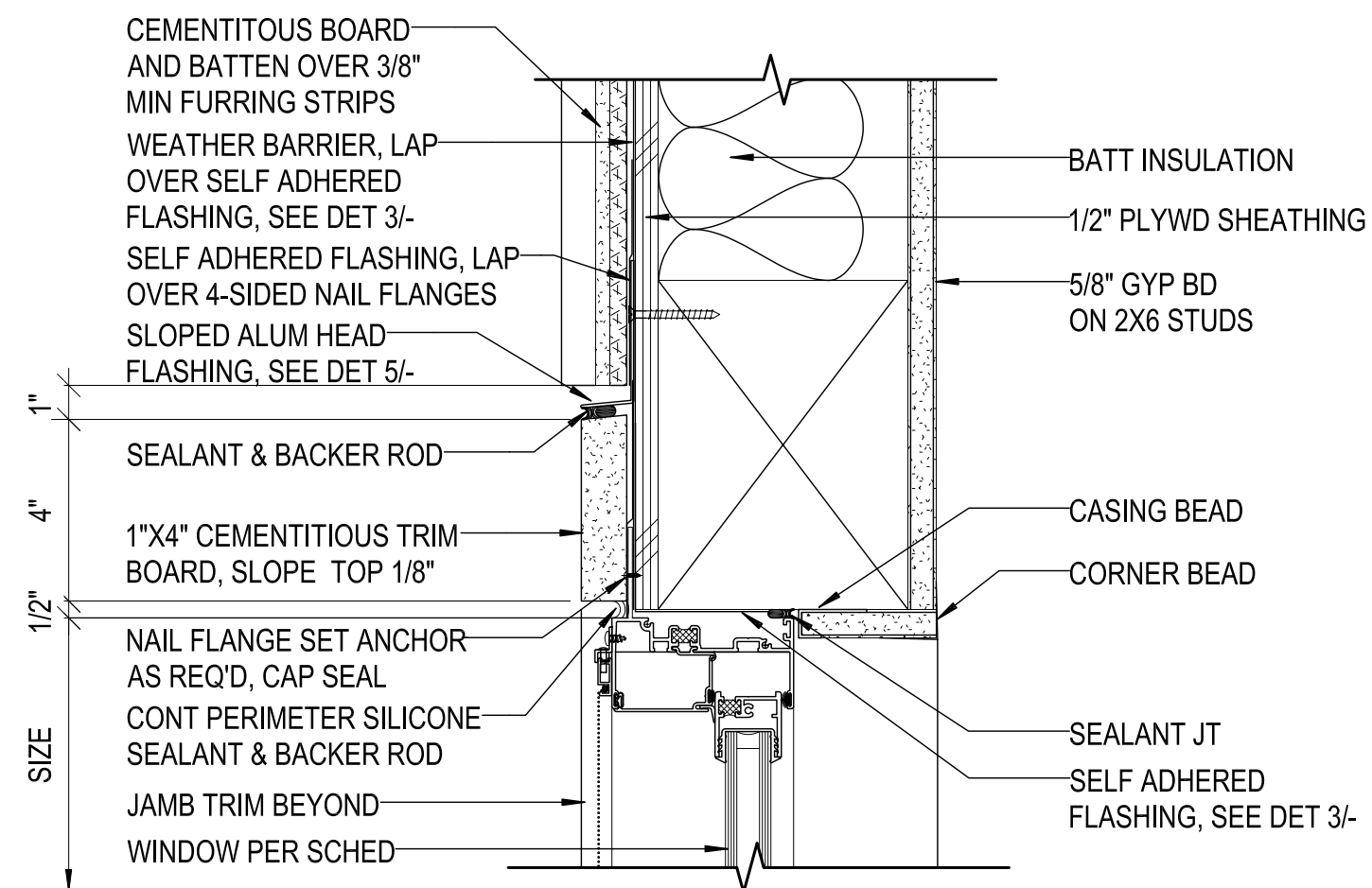
11-06-18

FILE	POCKET	FOLDER	NO.



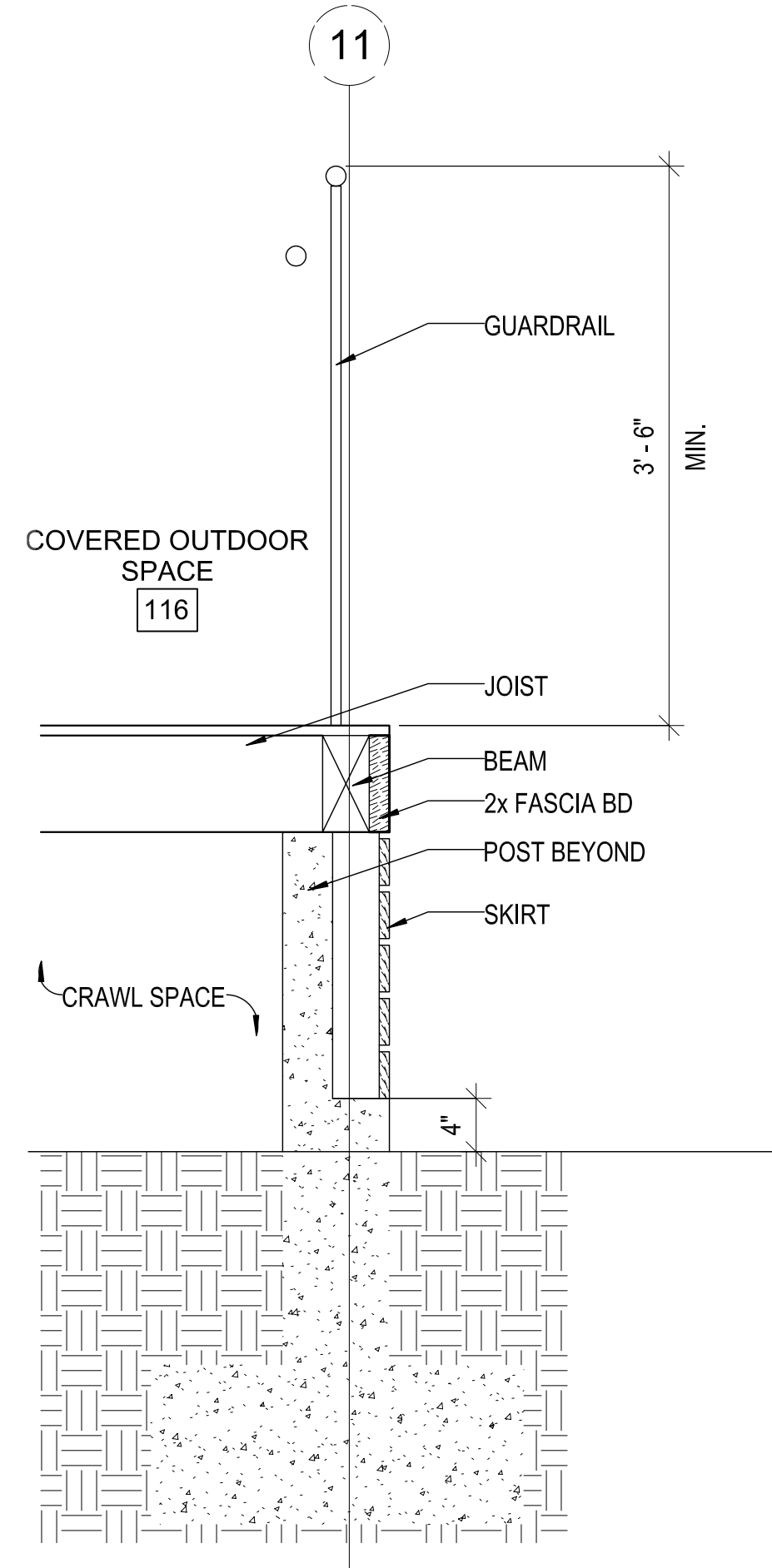
5 FLASHING DETAIL AROUND EXTERIOR OPENINGS

SCALE: 3" = 1'-0"



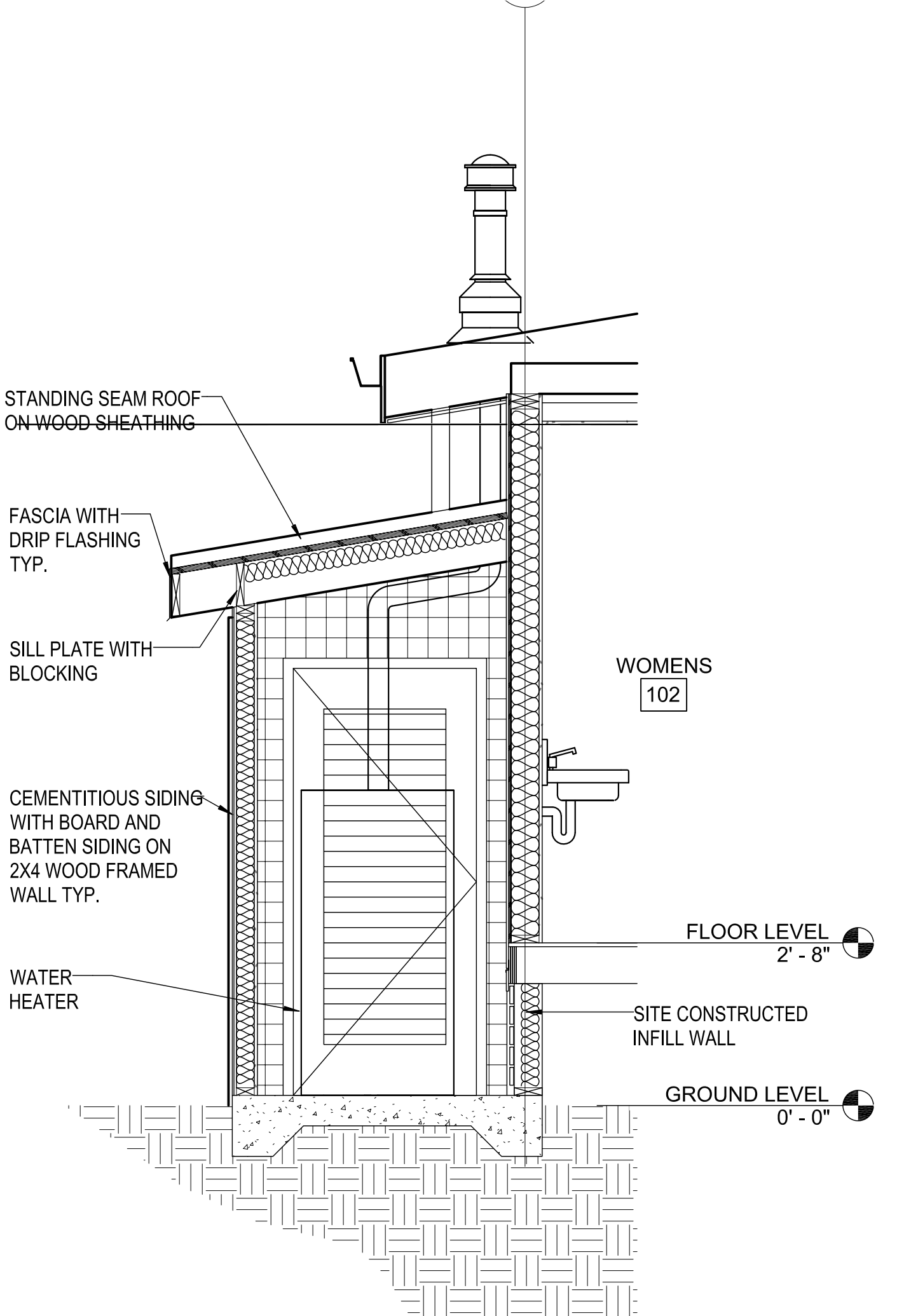
4 SLIDING WINDOW DETAILS

SCALE: 3" = 1'-0"



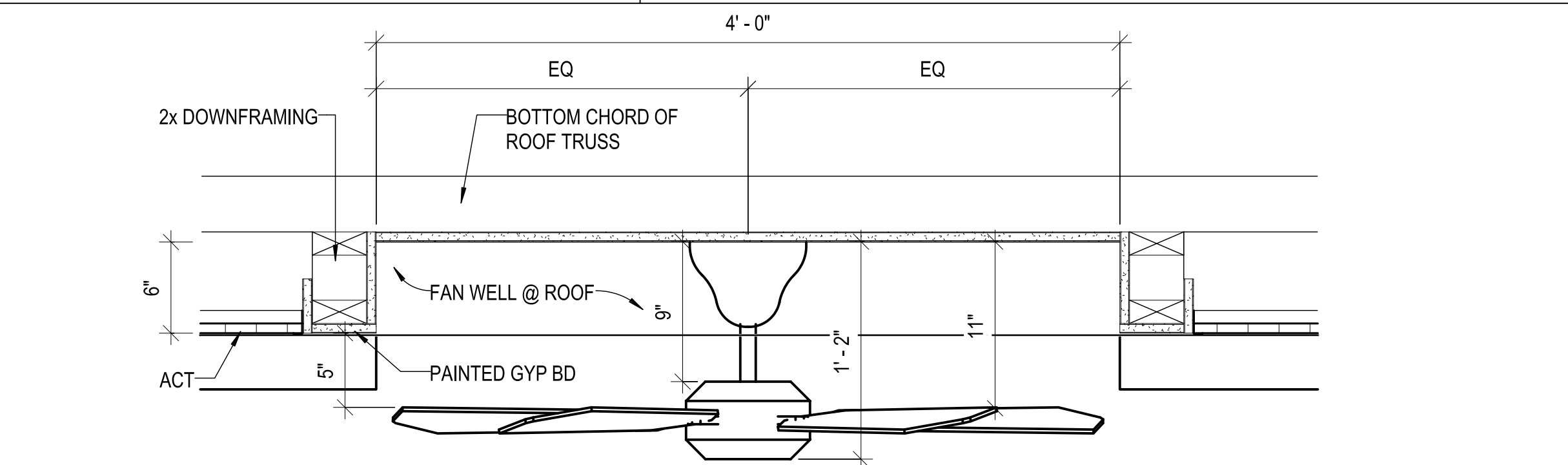
2 SECTION AT DECK

SCALE: 1" = 1'-0"



1 SECTION AT WH CLOSET

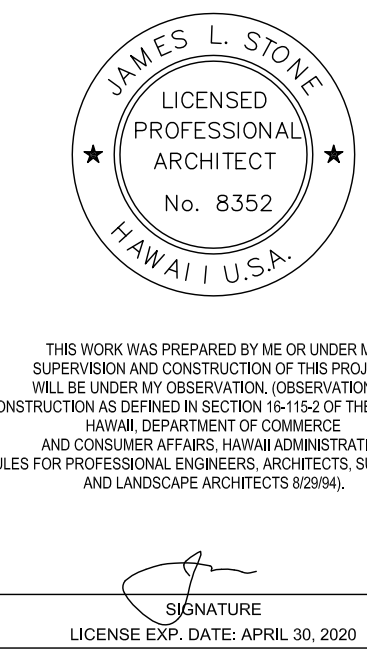
SCALE: 1/2" = 1'-0"



3 CEILING FAN DETAIL

SCALE: 1 1/2" = 1'-0"

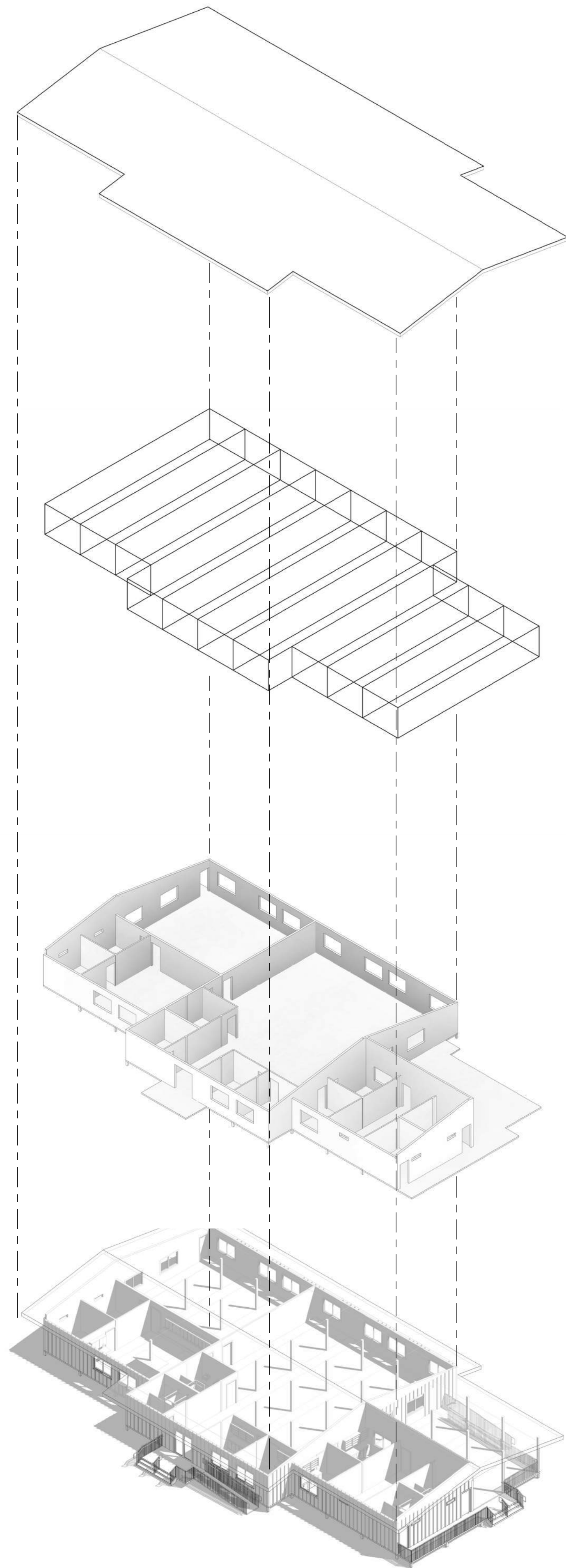
REVISION	DATE	BRIEF	MADE BY	APPROVED
1				



DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII			
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER			
DETAILS			
DESIGNED BY: Designer	CHECKED BY: Checker	DRAWN BY: Author	
11-06-18			

FILE	POCKET	FOLDER	NO.

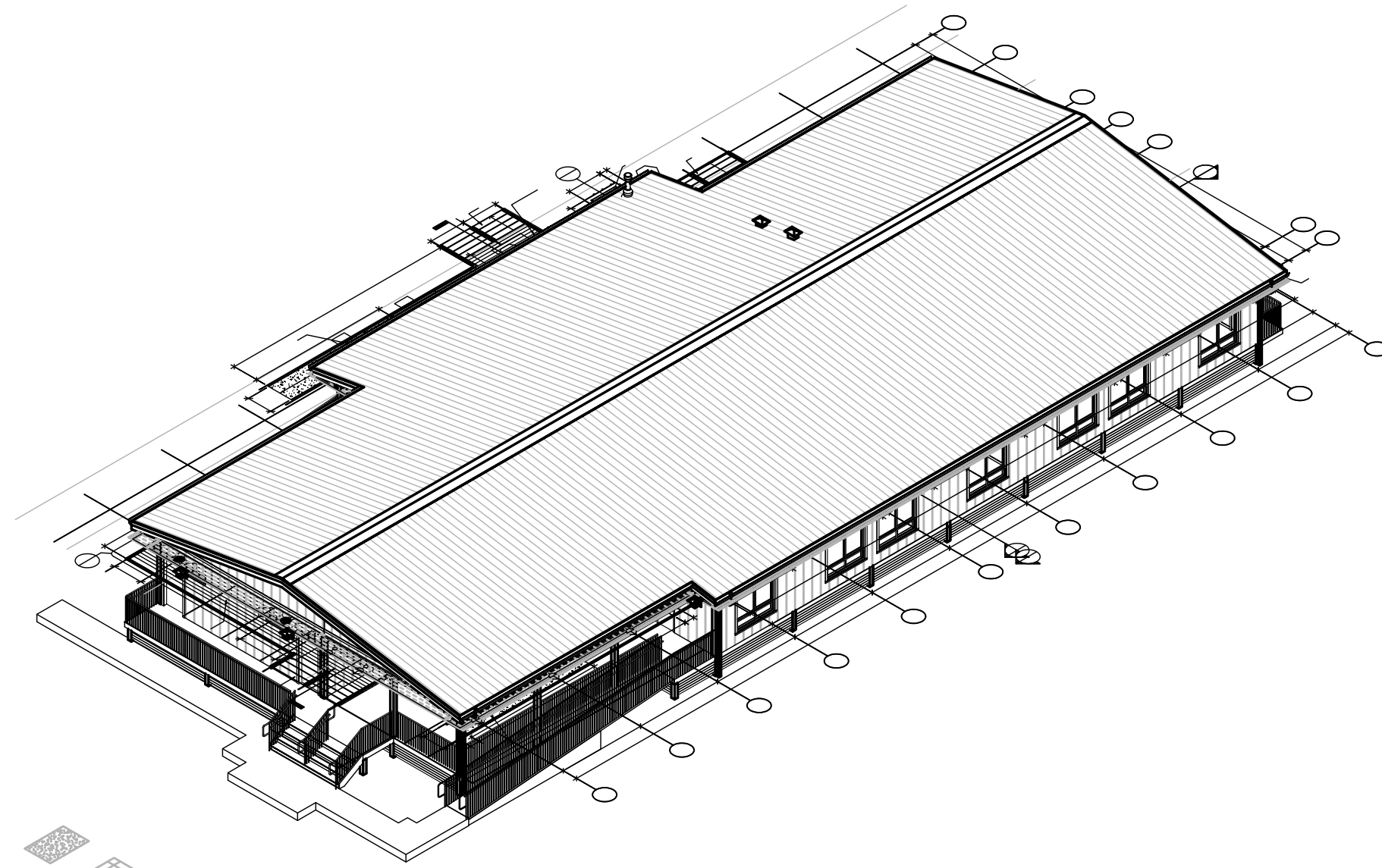
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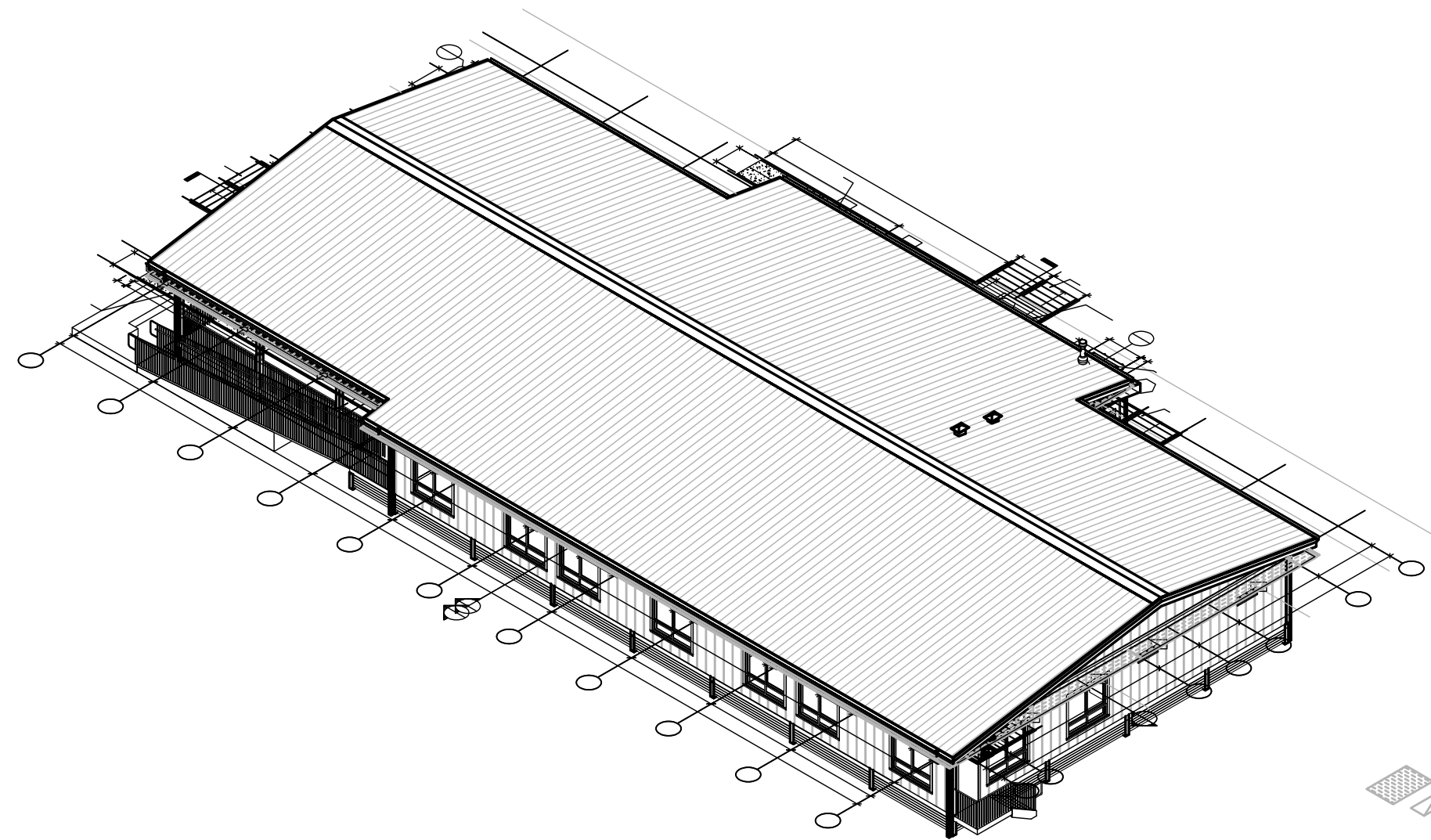
ROOF

MODULE UNITS

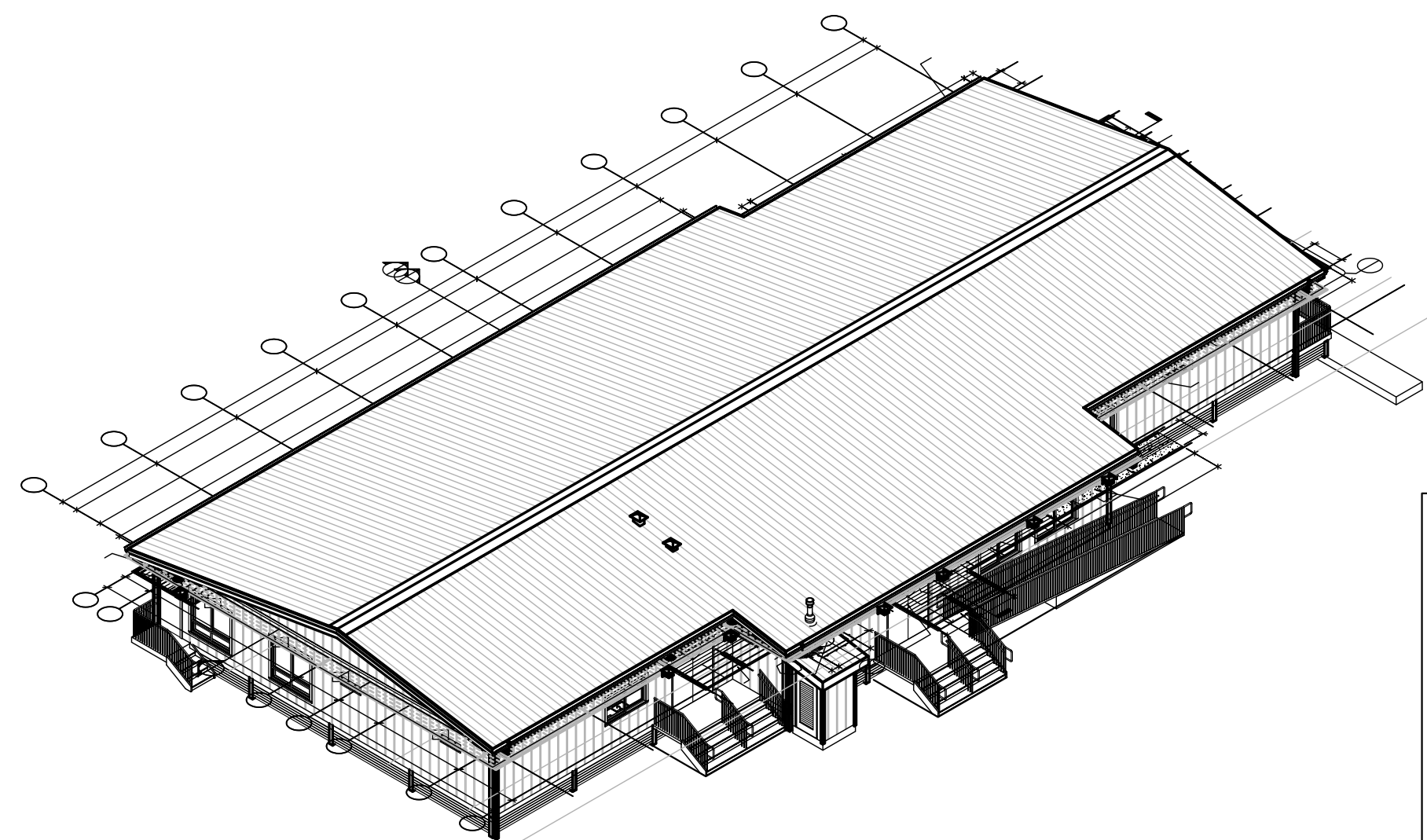
WALLS



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE

DWG. NO.
A-904
SHEET 24 OF 57

JAMES L. STONE

LICENSED PROFESSIONAL ARCHITECT



No. 8352

HAWAII, U.S.A.

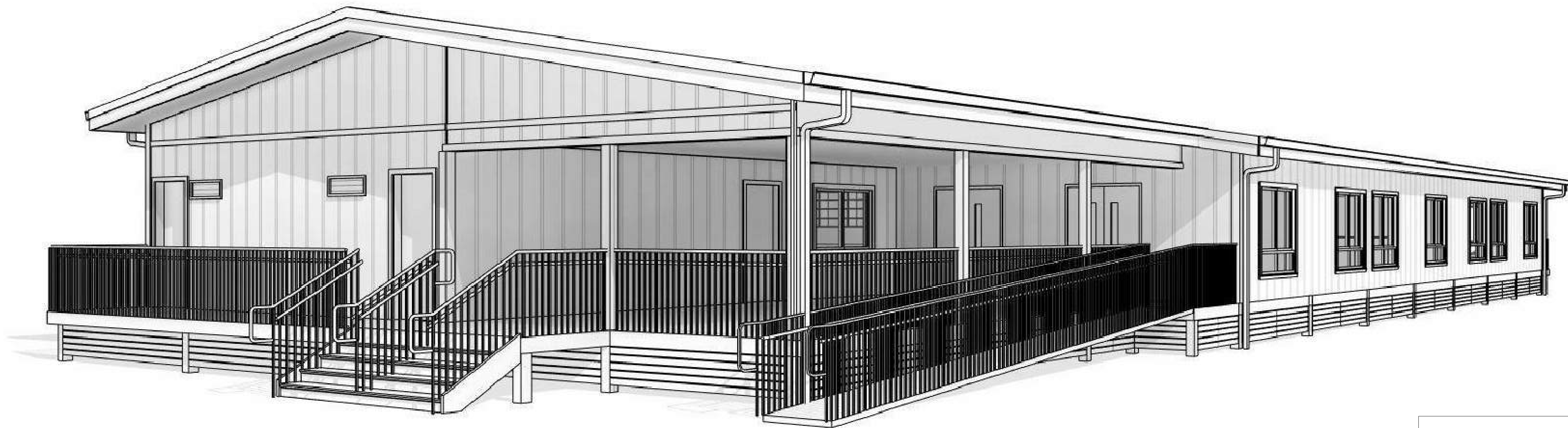
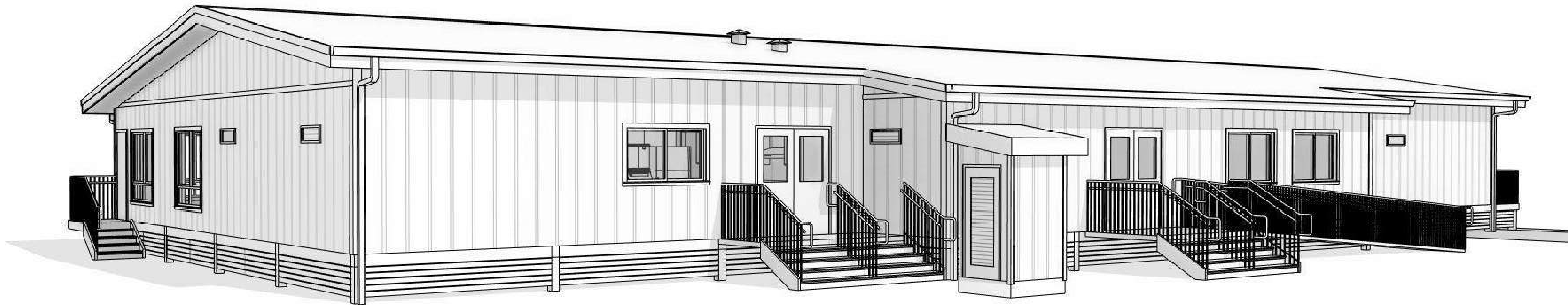
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SIGNATURE



11-06-18



				
				
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DEPARTMENT OF HAWAIIAN HOME LANDS				
STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD				
RESIDENT'S CENTER				
ISOMETRIC VIEWS				
DESIGNED BY: JS				
CHECKED BY: RO		DRAWN BY: G70		
11-06-18				

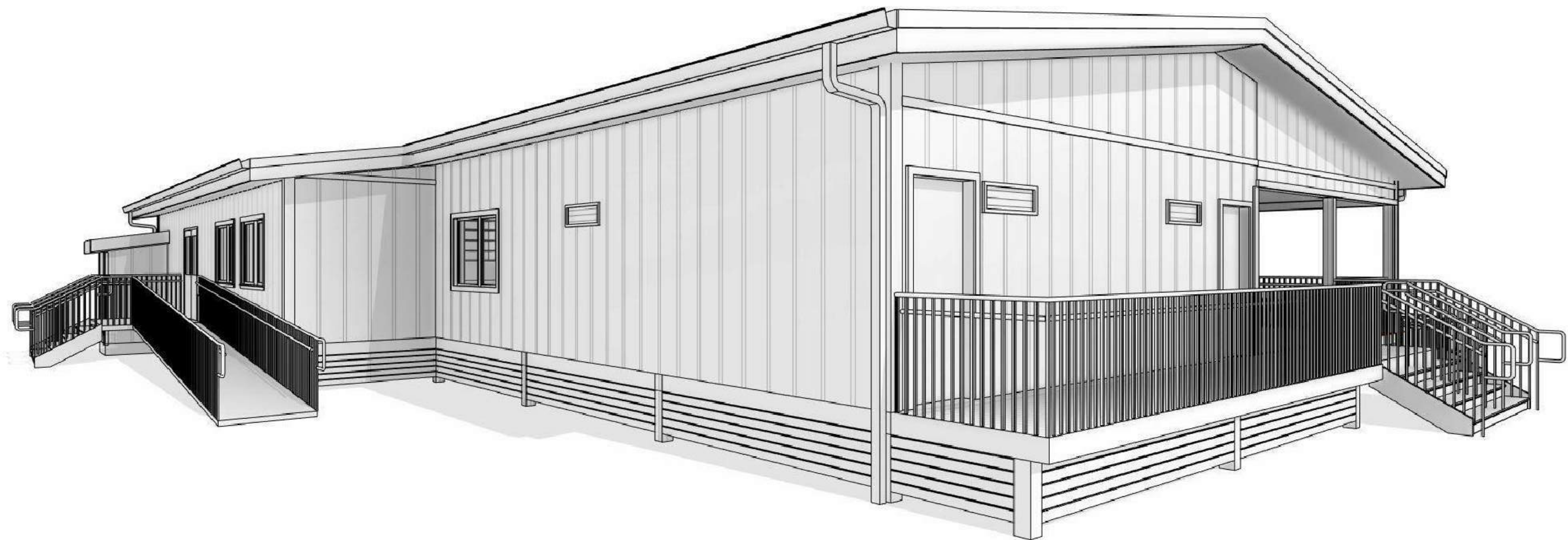
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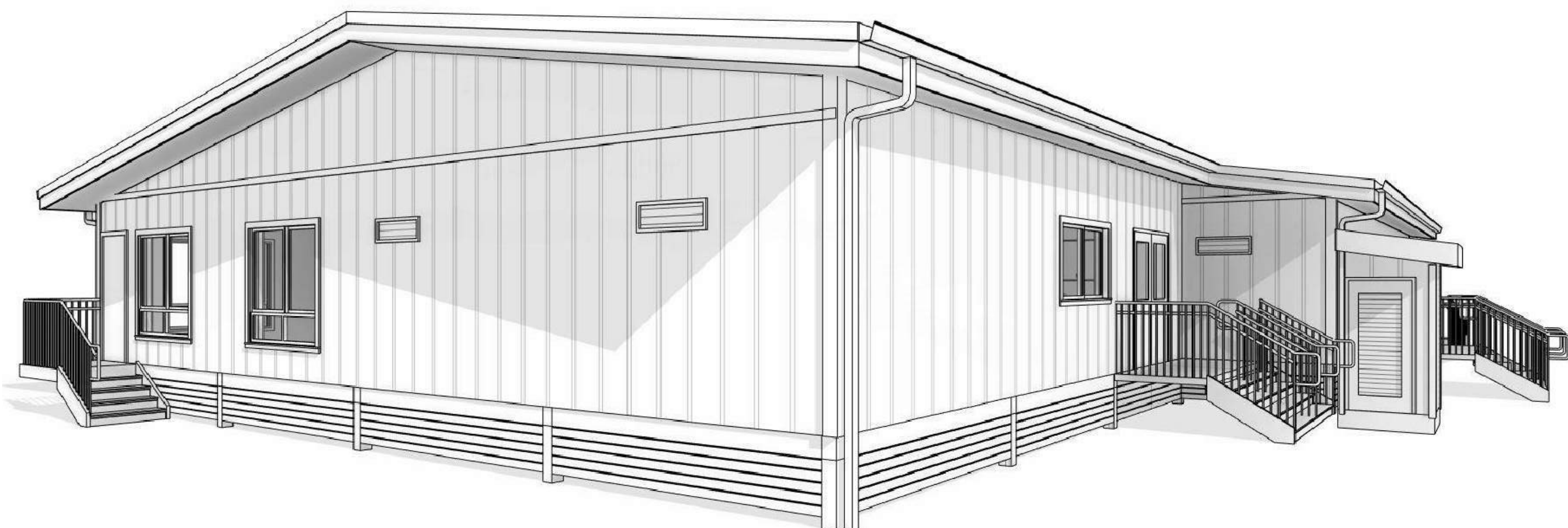
DWG. NO.
A-905
SHEET 25 OF 57


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LICENSE EXP. DATE: APRIL 30, 2020

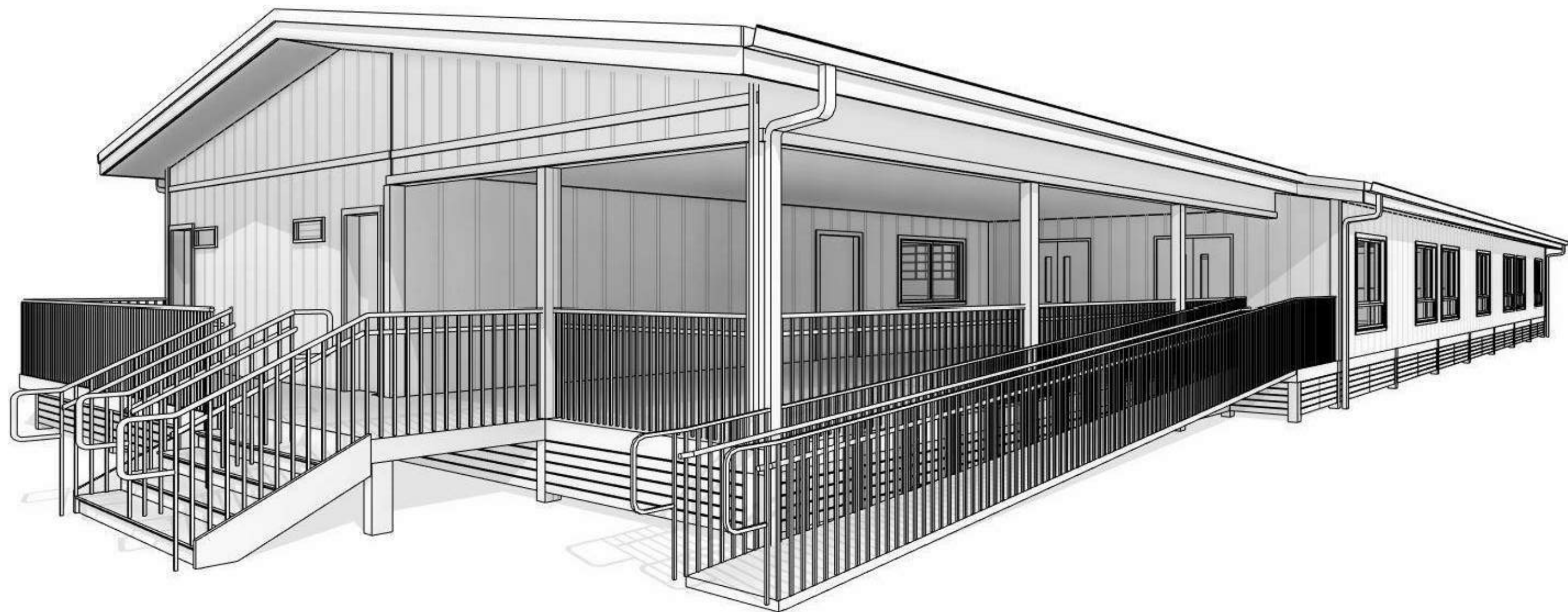
				
				
REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS				
STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD				
RESIDENT'S CENTER				
PROSPECTIVE VIEWS				
DESIGNED BY: JS		CHECKED BY: RO		DRAWN BY: GTO
11-06-18				



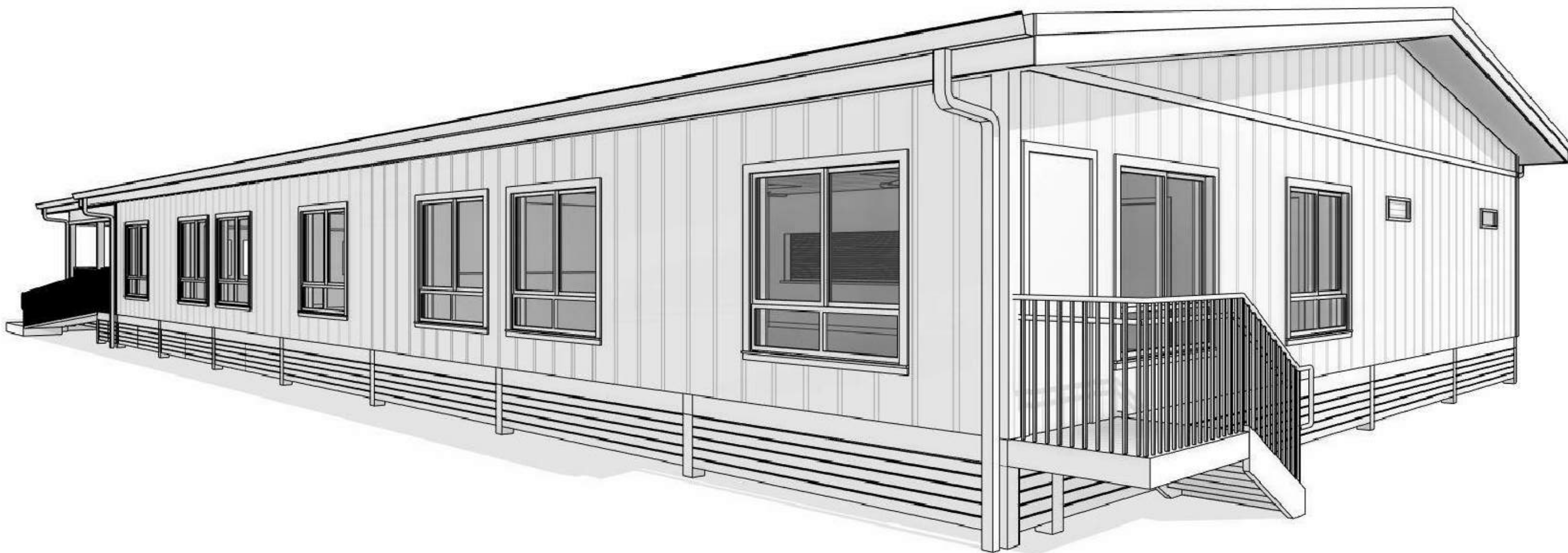
SOUTHEAST PERSPECTIVE



SOUTHWEST PERSPECTIVE



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE

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DWG. NO.
A-906
SHEET 26 OF 57

JAMES L. STONE

LICENSED PROFESSIONAL ARCHITECT

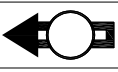

No. 8352

HAWAII, U.S.A.

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LICENSE EXP. DATE: APRIL 30, 2020

				
				
REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER				
PERSPECTIVE VIEWS				
DESIGNED BY: Designer	CHECKED BY: Checker	DRAWN BY: Author		
				11-06-18
FILE	POCKET	FOLDER	NO.	

STATE OF HAWAII
DEPARTMENT OF HAWAIIAN HOME LANDS

CONSTRUCTION PLANS FOR
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER

HOOLEHUA, MOLOKAI, HAWAII

TAX MAP KEY: (2) 5-2-15: 53

GENERAL NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED ON AVAILABLE "AS-BUILT" OF RECORD CONSTRUCTION PLANS AND ARE APPROXIMATE ONLY AND THEIR ACCURACY IS NOT GUARANTEED.
- EXISTING CONTOURS AND FEATURES ARE BASED ON "TOPOGRAPHIC SURVEY MAP MOLOKAI LANIKEHA/HOOLEHUA COMMUNITY CENTER, HOOLEHUA-PALAAU HOMESTEADS" PREPARED BY CONTROL POINT SURVEYING INC. DATED AUGUST 21, 2016.
- ELEVATIONS SHOWN WERE ESTABLISHED ONSITE USING GPS OBSERVATIONS AND ARE BASED HORIZONTAL DATUM: NAD 83 HI ZONE 2 STATE PLANE COORDINATES, U.S. FEET.
- EXISTING GRADES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH GRADING WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED IN THE EXISTING GRADES OR DIMENSIONS GIVEN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER BEFORE PROCEEDING ANY FURTHER WITH THE WORK, OTHERWISE HE WILL BE HELD RESPONSIBLE FOR ANY COST INVOLVED IN THE CORRECTION OF CONSTRUCTION PLACED DUE TO SUCH DISCREPANCIES.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE PROPOSED PLAN TO THE OWNER'S REPRESENTATIVE AND SHALL DEMOLISH, REMOVE, OR RELOCATE ALL EXISTING UTILITIES, IMPROVEMENTS, ETC. INCONSISTENT WITH THE PROPOSED PLAN AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND AT THE CONTRACTOR'S EXPENSE.
- THE LATEST REVISIONS OF THE "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION," SEPTEMBER 1984 AND THE "HAWAII STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," 2005 SHALL BE INCLUDED AS PART OF THESE CONSTRUCTION PLANS. THE CONTRACTOR SHALL OBTAIN THE LATEST REVISIONS BEFORE COMMENCING CONSTRUCTION.
- SHOULD HISTORIC SITES SUCH AS WALLS, PLATFORMS, PAVEMENTS AND MOUNDS, OR REMAINS SUCH AS ARTIFACTS, BURIALS, CONCENTRATION OF CHARCOAL OR SHELLS BE ENCOUNTERED DURING CONSTRUCTION WORK, WORK SHALL CEASE IN THE IMMEDIATE VICINITY OF THE FIND AND THE FIND SHALL BE PROTECTED FROM FURTHER DAMAGE. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE STATE HISTORIC PRESERVATION DIVISION (PH: 243-1285 OR 243-4640), WHICH WILL ASSESS THE SIGNIFICANCE OF THE FIND AND RECOMMEND MITIGATION MEASURES, IF NECESSARY.
- PURSUANT TO CHAPTER 6E OF THE HAWAII REVISED STATUTES, ALL CONTRACTORS SHALL ENSURE THAT IN THE EVENT THAT ANY HUMAN SKELETAL REMAINS ARE INADVERTENTLY DISCOVERED DURING CONSTRUCTION, THE REMAINS SHALL NOT BE MOVED AND ANY ACTIVITY IN THE IMMEDIATE AREA THAT COULD DAMAGE THE REMAINS OR THE POTENTIAL HISTORIC SITE SHALL CEASE AND THE DEPARTMENT OF LAND AND NATURAL RESOURCES' HISTORIC PRESERVATION DIVISION (PH: 243-1285 OR 243-4640), THE APPROPRIATE MEDICAL EXAMINER OR CORONER, AND THE POLICE DEPARTMENT (TELEPHONE: 244-6400), SHALL BE CONTACTED. ALL LESSEES USING EXISTING DIRT ROADS TO ACCESS THEIR PROPERTY SHALL CONTINUE TO BE PROVIDED ACCESS TO THEIR PROPERTY AT ALL TIMES DURING CONSTRUCTION ACTIVITIES BY THE CONTRACTOR.

PUBLIC HEALTH, SAFETY AND
CONVENIENCE NOTES

- THE CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE AND COUNTY LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH AND SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND ITS SURROUNDING AREAS FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH. THE COUNTY MAY REQUIRE SUPPLEMENTARY MEASURES AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

ARCHAEOLOGICAL NOTE

IN THE EVENT THAT ANY HISTORICAL RESOURCES, INCLUDING HUMAN SKELETAL REMAINS, STRUCTURAL REMAINS, CULTURAL DEPOSITS, OR LAVA TUBES ARE IDENTIFIED DURING CONSTRUCTION ACTIVITIES, CEASE WORK IN THE IMMEDIATE VICINITY OF THE FIND, PROTECT THE FIND FROM DISTURBANCE, AND CONTACT THE STATE HISTORIC PRESERVATION DIVISION AT (808) 243-1285.

ABBREVIATIONS

Z	ANGLE	MAX	MAXIMUM
A	AREA	MECH	MECHANICAL
AC	ASPHALT CONCRETE OR ACRE	MEP	MECHANICAL, ELECTRICAL AND PLUMBING
ACS	ACRES	MB	MAILBOX OR METER BOX
A/C	AIR CONDITIONING	MH	MANHOLE
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	MON	MONUMENT
ARV	AIR RELEASE VALVE	M/N	METER NUMBER
ATT	AT&T CABLE	NO.	NUMBER
AVE	AVENUE	NON-POT	NON-POTABLE
B	BASELINE	O.C.	ON CENTER
BC	BOTTOM OF CURB	OH, O/H	OVERHEAD
BFP	BACK FLOW PREVENTER/(ASSEMBLY)	PAVT	PAVEMENT
BLDG	BUILDING	PC	POINT OF CURVATURE
BOT	BOTTOM	PCC	POINT OF COMPOUND CURVE
BW	BOTTOM OF WALL	PERF	PERFORATED
C&C	CITY AND COUNTY OF HONOLULU	PI	POINT OF INTERSECTION
E	CENTERLINE	PVC	POINT OF INTERSECTION ON VERTICAL CURVE
C	CHORD		
CATV	CABLE TELEVISION	PM	PARKING METER
CB	CATCH BASIN	POC	POINT ON CURVE
CHWS	CHILL WATER SERVICE	POT	POTABLE
CHWR	CHILL WATER RETURN	PP	POWER POLE
CF	CURB FACE	PRC	POINT OF REVERSE CURVE
A.L.	CHAIN LINK	PRV	PRESSURE REDUCING VALVE
CMU	CONCRETE MASONRY UNIT	PSL	PEDESTRIAN SIGNAL LIGHT
CO	CLEAN OUT	PT	POINT OF TANGENCY
COL	COLUMN	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVE
COMM	COMMUNICATION	PVI	POINT OF VERTICAL INTERSECTION
CONC	CONCRETE	PVT	POINT OF VERTICAL TANGENCY
CONN	CONNECTION	R	RADIUS
CRM	CONCRETE RUBBLE MASONRY	REF, REFL	REFLECTOR
CW	COLD WATER	ROW, R/W	RIGHT-OF-WAY
COTG	CLEAN OUT TO GRADE	S	SEWER, SLOPE OR SPREAD
D	DIAMETER, DEPTH OR DRAIN	SC	SIGNAL CORPS
DI	DRAIN INLET	SCH 40	SCHEDULE 40
DIA, Ø	DIAMETER	SCH 80	SCHEDULE 80
DCV	DETECTOR CHECK VALVE	SCMH	SIGNAL CORPS MANHOLE
DEFL	DEFLECTION	SDMH	STORM DRAIN MANHOLE
DET	DETAIL	SF	SQUARE FOOT, SQUARE FEET
DMH	DRAIN MANHOLE	SL	STREET LIGHT
D.P.P	DEPT OF PLANNING AND PERMITTING	SLB	STREET LIGHT BOX
DS	DOWNSPOUT	SMH	SEWER MANHOLE
DSP	DRY STAND PIPE	SPR	SPRINKLER
DWGS	DRAWINGS	ST	STREET
DWY	DRIVEWAY	STA	STATION
E,ELEC	ELECTRIC	STD	STANDARD
ELEV, EL	ELEVATION	STRUCT	STRUCTURAL
EG	EXISTING GROUND	SW, S/W	SIDEWALK
EOP	EDGE OF PAVEMENT	TC	TOP OF CURB
EP	ELECTRICAL POLE	TDC	TOP OF DROP CURB
EX, EXIST, (E)	EXISTING	T	TANGENT OR TELEPHONE
FA	FIRE ALARM	TEL	TELEPHONE
FDC	FIRE DEPT CONNECTION	TG	TOP OF GRATE
FG	FINISH GRADE	THRU	THROUGH
FH	FIRE HYDRANT	TMK	TAX MAP KEY
FL	FLOW LINE	TP	TOP OF PIPE
FM	FORCE MAIN	TRC	TOP OF ROLLED CURB
FS	FINISH SURFACE	TS	TOP OF STEM
FT	FEET	TSL	TRAFFIC SIGNAL LIGHT
G	GAS	TSLB	TRAFFIC SIGNAL LIGHT BOX
GB	GRADE BREAK	TV	TOP OF VALVE
GI	GRATED INLET	TW	TOP OF WALL
GMH	GAS MANHOLE	TYP	TYPICAL
GND	GROUND	UP	UTILITY POLE
GP	GUARD POST/GUY POLE/GATE POST	UP/SL	UTILITY POLE WITH STREET LIGHT
GV	GATE VALVE	VAR	VARIES OR VARIABLE
GW	GUY WIRE	VB	VALVE BOX
H, HT	HEIGHT	W	WATER
HB	HOSE BIBB	WL	WATER LINE
HECO	HAWAIIAN ELECTRIC COMPANY	WM	WATER METER
HDPE	HIGH DENSITY POLYETHYLENE	WMB	WATER METER BOX
HP	HIGH POINT	WMH	WATER MANHOLE
HW	HOT WATER	WSE	WATER SERVICE ELEVATION
ICV	IRRIGATION CONTROL VALVE	WV	WATER VALVE
INV	INVERT	X-WALK	CROSSWALK
IRR	IRRIGATION		
JTS	JOINT TRUNKING SYSTEM		
JKT	JACKET		
L	LENGTH OR LENGTH OF CURVE		
LD	LOW IMPACT DEVELOPMENT		
LP	LAMP OR LIGHT POLE		
LPT	LOW POINT		

APPROVED:

CHAIR, HAWAIIAN HOMES COMMISSION
STATE OF HAWAII

DATE

DIRECTOR, DEPARTMENT OF PUBLIC WORKS
COUNTY OF MAUI
(APPROVAL GRANTED FOR GRADING ONLY)

DATE

DEPARTMENT OF WATER SUPPLY
COUNTY OF MAUI

DATE

CHIEF, ENVIRONMENTAL MANAGEMENT DIVISION
STATE DEPARTMENT OF HEALTH

DATE

DWG. NO.

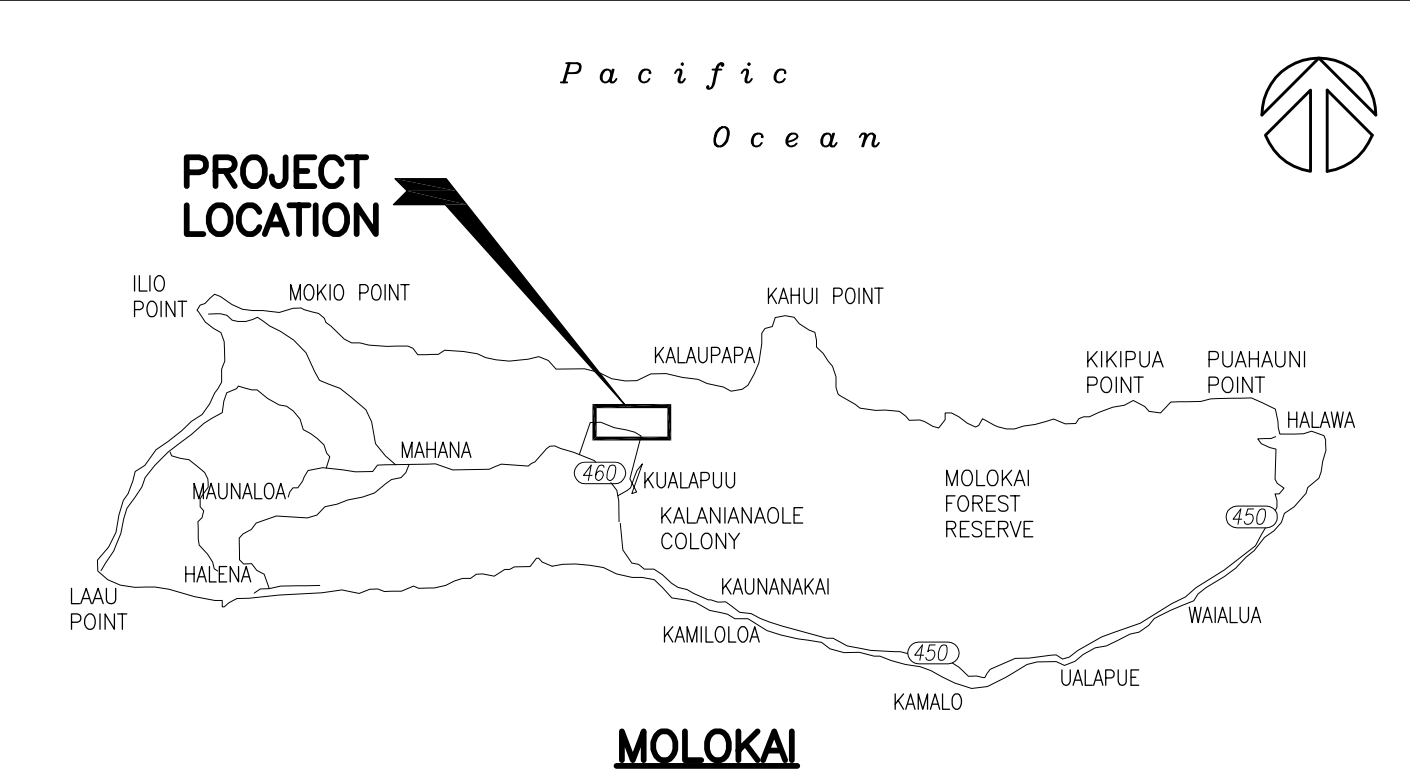
C001

SHEET 27 OF 57

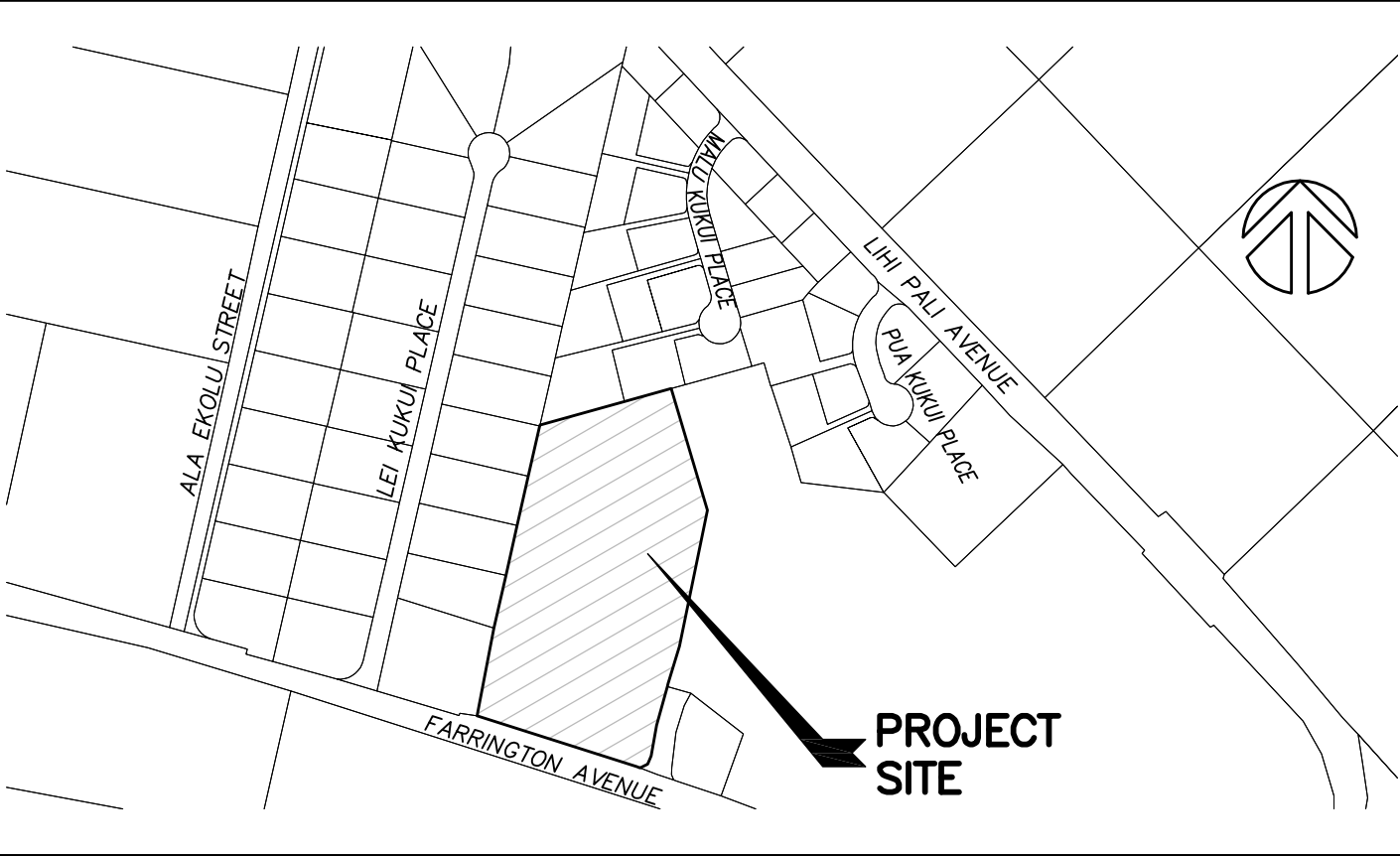
INDEX TO DRAWINGS

SHEET NO.	DWG NO.	DESCRIPTION
1	C001	TITLE SHEET
2	C002	NOTES 1
3	C003	NOTES 2
4	C100	DEMOLITION PLAN
5	C200	TYPICAL SECTIONS
6	C201	SITE PLAN
7	C300	FINISH GRADE PLAN
8	C301	EROSION CONTROL PLAN
9	C302	EROSION CONTROL DETAILS
10	C500	UTILITY PLAN
11	C501	UTILITY PROFILES
12	C502	UTILITY DETAILS
13	C503	UTILITY DETAILS 2
14	C600	MISCELLANEOUS DETAILS

LOCATION MAP



VICINITY MAP



REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
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THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/29/94).

SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HOOLEHUA VETERAN AND
HOMESTEAD RESIDENT'S CENTER
JOB NO.

TITLE SHEET

DESIGNED BY: PLM CHECKED BY: PLM DRAWN BY: PLM

111 S. KING STREET, SUITE 170
HONOLULU, HAWAII 96813
808.523.5866
WWW.G7O.DESIGN

G7O MAY 2018

FILE	POCKET	FOLDER	NO.
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GRADING NOTES

1. FINISH SPOT ELEVATIONS AND FINISH CONTOURS, AS SHOWN ON PLAN REPRESENTS FINISH GRADING. THE SITE WORK CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE CONTRACTOR THE LOCATION AND DEPTH OF TOPSOIL. THE FINISH SUBGRADE SHALL REFLECT THE FINISH GRADE LESS SPECIFIED TOPSOIL DEPTH.
2. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE MEASURES OF THE BEST MANAGEMENT PRACTICE (BMP) PLAN. ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS CONTAINED IN THE PUBLIC HEALTH REGULATIONS, STATE DEPARTMENT OF HEALTH, ON WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS.
3. THE CONTRACTOR SHALL REMOVE ALL SILT AND DEBRIS RESULTING FROM HIS WORK AND DEPOSITED IN DRAINAGE FACILITIES, ROADWAYS, AND OTHER AREAS. THE COSTS INCURRED FOR ANY NECESSARY REMEDIAL ACTION BY THE STATE DEPARTMENT OF HEALTH SHALL BE PAYABLE BY THE CONTRACTOR.
4. THE CONTRACTOR, AT HIS EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE OF DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
5. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE ENGINEER OF THE LOCATION OF DISPOSAL SITES. THE DISPOSAL SITE MUST ALSO FULFILL REQUIREMENTS OF THE GRADING ORDINANCES.
6. THE CONTRACTOR SHALL NOT DEMOLISH OR CLEAR ANY STRUCTURE, SITE OR VACANT LOT WITHOUT FIRST ASCERTAINING THE PRESENCE OR ABSENCE OF RODENTS WHICH MAY ENDANGER THE PUBLIC HEALTH BY DISPERSAL FROM SUCH PREMISES. SHOULD SUCH INSPECTION REVEAL THE PRESENCE OF SUCH RODENTS, THE CONTRACTOR SHALL ERADICATE SUCH RODENTS BEFORE DEMOLISHING OR CLEARING SAID STRUCTURE, SITE OR VACANT LOT.
7. THE FOLLOWING MEASURES SHALL BE TAKEN TO CONTROL DUST AND EROSION DURING THE SITE DEVELOPMENT PERIOD:
 - A. MINIMIZE TIME OF CONSTRUCTION.
 - B. RETAIN EXISTING GROUND COVER UNTIL THE LATEST DATE TO COMPLETE CONSTRUCTION.
 - C. CONSTRUCT REMAINING PERMANENT EROSION AND DRAINAGE CONTROL FEATURES AS EARLY AS POSSIBLE.
 - D. USE TEMPORARY AREA SPRINKLERS IN NON-ACTIVE CONSTRUCTION AREAS WHEN GROUND COVER IS REMOVED.
 - E. STATION WATER TRUCK ON-SITE DURING CONSTRUCTION PERIOD TO PROVIDE FOR IMMEDIATE SPRINKLING, AS NEEDED, IN ACTIVE CONSTRUCTION AREAS (WEEKENDS AND HOLIDAYS INCLUDED).
 - F. USE TEMPORARY BERMS AND CUT-OFF DITCHES, WHERE NEEDED, FOR CONTROL OF EROSION. IMPLEMENT AND MAINTAIN THE MEASURES OF THE BMP PLAN.
 - G. GRADED AREAS SHALL BE THOROUGHLY WATERED AFTER CONSTRUCTION ACTIVITY HAS CEASED FOR THE DAY AND ON WEEKENDS.
 - H. ALL CUT AND FILL SLOPES SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER GRADING WORK HAS BEEN COMPLETED.

DEPARTMENT OF PUBLIC WORKS NOTES

1. THE CONTRACTOR SHALL ALLOW FOUR WEEKS TO OBTAIN A GRADING PERMIT FROM THE DEVELOPMENT SERVICES ADMINISTRATION PRIOR TO COMMENCEMENT OF ANY CLEARING AND GRUBBING. A SATISFACTORY DRAINAGE AND EROSION CONTROL PLAN SHALL BE SUBMITTED IN THE EVENT THE GRUBBING AREA EXCEEDS ONE ACRE OR THE PROPOSED CUT OR FILL IS GREATER THAN 15 FEET IN HEIGHT. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL BEST MANAGEMENT PRACTICE MEASURES.
2. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, AND OTHER PROTECTIVE DEVICES FOR THE PROTECTION, SAFETY AND CONVENIENCE OF THE PUBLIC AND IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAY, 2009 EDITION WITH REVISIONS NO. 1 AND 2 INCORPORATED, DATED MAY 2012". THE CONTRACTOR SHALL PREPARE AND OBTAIN NECESSARY APPROVALS OF TRAFFIC CONTROL PLANS IF REQUIRED BY THE DEVELOPMENT SERVICES ADMINISTRATION.
3. STANDARD DETAIL DRAWINGS OF THE 2005 HAWAII STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE SEPTEMBER 1984 "STANDARD DETAILS" FOR PUBLIC WORKS CONSTRUCTION OF THE DEPARTMENT OF PUBLIC WORKS, AS AMENDED, SHALL BE INCLUDED AS PART OF THE CONSTRUCTION PLANS.
4. ALL CONSTRUCTION WORK SHALL STRICTLY CONFORM TO THE APPLICABLE SECTIONS OF THE 2005 HAWAII STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE SEPTEMBER 1984 "STANDARD DETAILS" FOR PUBLIC WORKS CONSTRUCTION OF THE DEPARTMENT OF PUBLIC WORKS, AS AMENDED.
5. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH AND COUNTY GRADING ORDINANCE.
6. THE CONTRACTOR SHALL REMOVE ALL SILT AND DEBRIS RESULTING FROM HIS WORK AND DEPOSITED IN DRAINAGE FACILITIES, ROADWAYS AND OTHER AREAS. THE COSTS INCURRED FOR ANY NECESSARY REMEDIAL ACTION ORDERED BY THE DIRECTOR OF PUBLIC WORKS SHALL BE PAID BY THE CONTRACTOR.

EROSION CONTROL NOTES

1. DURING CONSTRUCTION, PREVENTIVE MEASURES SHALL BE USED TO CONTROL FORESEEABLE DUST, EROSION OR SEDIMENTATION PROBLEMS WHICH MAY ARISE AS WORK PROGRESSES.
2. FUGITIVE DUST AND SOLID WASTE DISPOSAL DURING GRUBBING AND GRADING ACTIVITIES SHALL MEET THE REQUIREMENTS OF STATE OF HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 60, AIR POLLUTION CONTROL AND CHAPTER 56, SOLID WASTE MANAGEMENT CONTROL.
3. ALL AREAS WHICH ARE AT FINAL GRADE SHALL BE IMMEDIATELY HYDOMULCHED AND SEEDED WITH NATIVE AKIAKI GRASS AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET OR PERMANENTLY LANDSCAPED.
4. REGRASS ALL EXPOSED AREAS.

EFFECTIVE AUGUST 10, 1998, THE MAUI COUNTY CODE GRADING ORDINANCE HAS BEEN REVISED. ALL GROUND DISTURBING ACTIVITIES IN MAUI COUNTY WILL NOW BE MORE CLOSELY MONITORED. ALL GRADING, GRUBBING, STOCKPILING, EXCAVATIONS ETC., SHALL PROVIDE MEASURES TO THE MAXIMUM EXTENT POSSIBLE TO PREVENT DAMAGE TO THE ENVIRONMENT BY CONTAINING POLLUTANTS, INCLUDING SEDIMENT, DUST, AND OTHER CONTAMINANTS FROM DISCHARGING OFF A CONSTRUCTION SITE.

THEREFORE, CONTRACTOR SHALL CONTROL DUST AND OTHER SEDIMENT FROM THE PROJECT SITE, EVEN WHEN A GRADING PERMIT IS NOT REQUIRED.

A GRADING PERMIT WILL BE REQUIRED IF ANY OF THE FOLLOWING APPLY TO THE PROPOSED CONSTRUCTION:

- A. THE GENERAL DRAINAGE PATTERNS ARE TO BE ALTERED.
- B. THE EXCAVATION, FILL OR STOCKPILING IS MORE THAN 100 CY OF MATERIAL (50 CY IN SPECIAL MANAGEMENT AREA).
- C. THE EXISTING GROUND ELEVATION IS TO BE CHANGED BY MORE THAN 4 FEET AT ANY LOCATION (2 FEET IN SPECIAL MANAGEMENT AREAS).
- D. AN AREA LARGER THAN 1 ACRE IS TO BE GRUBBED (CLEARED).

A GRADING PERMIT WILL NOT BE REQUIRED FOR EXCAVATION AND BACKFILL FOR STRUCTURES THAT HAVE BEEN ISSUED A BUILDING PERMIT OR FOR CESSPOOLS AND SEPTIC TANKS AUTHORIZED BY THE STATE DEPARTMENT OF HEALTH.

FOR MORE DETAILED INFORMATION, REFER TO THE MAUI COUNTY CODE CHAPTER 20.08, "SOIL EROSION AND SEDIMENT CONTROL".

BEST MANAGEMENT PRACTICES NOTES

1. CONSTRUCT A TEMPORARY STABILIZED CONSTRUCTION INGRESS/EGRESS.
2. SEDIMENT CONTROL:

CAPTURE SEDIMENT TRANSPORTED IN RUNOFF TO MINIMIZE THE SEDIMENT FROM LEAVING THE SITE WITH DUST SCREEN W/ SILT FENCE AND FROM ENTERING DRAINAGE SYSTEMS WITH AGGREGATE POUCHES AT EXISTING CATCH BASINS AND GEOTEXTILE FABRIC DRAIN INLETS.
3. EROSION CONTROL:

STABILIZE ALL DISTURBED AREAS WITH EROSION CONTROL MEASURES SUCH AS VEGETATION, A.C. PAVEMENT, CONCRETE CURBS, GUTTER AND SIDEWALKS.
4. DRAINAGE:

SITE RUNOFF SHALL BE TREATED PRIOR TO LEAVING THE PROJECT SITE BY DUST SCREEN WITH SILT FENCE.
5. DUST CONTROL:

CONTROL DUST EMISSIONS TO THE MAXIMUM EXTENT PRACTICABLE THROUGH BMPs SUCH AS WATER SPRINKLING, DUST FENCES, LIMITING AREA OF DISTURBANCE AND TIMELY GRASSING OF FINISHED AREAS.
6. MATERIAL AND WASTE MANAGEMENT:

PROPERLY STORE TOXIC MATERIAL AND PREVENT THE DISCHARGE OF POLLUTANTS ASSOCIATED WITH CONSTRUCTION MATERIALS.
7. TIMING OF CONTROL MEASURE IMPLEMENTATION:

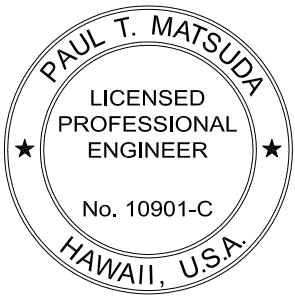
TIME OF CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION CONTROL REPORT. DISTURBED AREAS OF CONSTRUCTION SITES THAT WILL NOT BE REDISTURBED FOR TWENTY-ONE DAYS OR MORE SHALL BE STABILIZED (GRASSED) BY NO LATER THAN THE FOURTEENTH DAY AFTER THE LAST DISTURBANCE.
8. MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS AS REFLECTED ON THE EROSION CONTROL PLANS SHALL BE IN PLACE BEFORE ANY EARTH MOVING PHASE OF GRADING IS INITIATED, WITH THE EXCEPTION OF INLET PROTECTION AT NEW DRAIN INLETS.
9. ALL EROSION CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY, WEEKLY IN DRY PERIODS, AND WITHIN 24-HOURS AFTER ANY ANY RAINFALL OF 0.5 INCHES OR GREATER. DURING PROLONGED RAINFALL, DAILY CHECKING WILL BE NECESSARY. THE PERMITTEE SHALL MAINTAIN RECORDS OF ALL CHECKS AND REPAIRS.
10. A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AT THIS PROJECT SITE.
11. EROSION CONTROL MEASURES ARE TO REMAIN AND BE MAINTAINED UNTIL PERMANENT STABILIZATION OF THE SITE.

WASTEWATER NOTES

1. ALL WASTEWATER LINES AND APPURTENANCES SHALL CONFORM TO THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, DATED SEPTEMBER 1984, OF THE DEPARTMENT OF PUBLIC WORKS, COUNTY OF MAUI.
2. ALL SEWER LINE AND APPURTENANCES SHALL FOLLOW THE DESIGN STANDARDS OF THE WASTEWATER RECLAMATION DIVISION (WWRD), CITY AND COUNTY OF HONOLULU, VOLUMES 1 & 2, DATED JULY 1993 AND JULY 1984 RESPECTIVELY, UNLESS OTHERWISE NOTED.
3. ALL WASTEWATER LINES AND APPURTENANCES INSTALLATIONS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION DATED SEPTEMBER 1986. IF ANY CONFLICTS ARISE BETWEEN THE STANDARD DETAILS, DESIGN STANDARDS AND THE STANDARD SPECIFICATIONS, THE STRICTEST STANDARD SHALL APPLY, UNLESS APPROVED OTHERWISE.
4. BEFORE CONSTRUCTION COMMENCES, THE CONTRACTOR SHALL SCHEDULE AND DOCUMENT A PRE-CONSTRUCTION MEETING WITH ALL AGENCIES HAVING UTILITIES AFFECTED BY THE WORK.
5. CONTRACTOR MUST HAVE A SITE SPECIFIC SPILL PREVENTION PLAN (SSSPP) APPROVED BY WWRD PRIOR TO SEWER LINE CONSTRUCTION AND/OR SEWER LATERAL CONNECTION TO EXISTING FACILITIES, OR ANY WORK WITHIN FIVE (5) FEET OF WASTEWATER SYSTEM IMPROVEMENTS.
6. THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, WASTEWATER RECLAMATION DIVISION, HAS THE RIGHT TO STOP CONSTRUCTION, SHOULD ANY WORK BE FOUND CONTRARY TO THE APPROVED PLANS AND SPECIFICATIONS, OR DETRIMENTAL TO THE PUBLIC INTEREST.
7. ALL EXISTING WASTEWATER LINES, WHETHER OR NOT SHOWN ON THE PLANS, IF DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED BY THE CONTRACTOR AND THE CONTRACTOR SHALL PAY ALL EXPENSES.
8. THE CONTRACTOR SHALL NOTIFY THE WASTEWATER RECLAMATION DIVISION ONE (1) WEEK PRIOR TO CONNECTION TO ANY EXISTING WASTEWATER LINES.
9. SHOULD THE CONTRACTOR EXCAVATE BEYOND THE TRENCH PAY-WIDTH, AS SPECIFIED IN THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, DATED SEPTEMBER 1984, AND SUCH ACTION RESULTS IN A GREATER LOAD TO THE PIPE, THE CONTRACTOR SHALL PROVIDE, AT THE CONTRACTOR'S EXPENSE, A HIGHER CLASS OF BEDDING MATERIAL THAT WILL WITHSTAND THE ADDED LOAD.
10. WASTEWATER LATERALS SHALL BE SIX (6) INCHES IN DIAMETER AT A MINIMUM OF 2% SLOPE, UNLESS APPROVED OTHERWISE.
11. AN ADVANCE RISER CONNECTION SHALL BE INSTALLED AT EACH NEW WASTEWATER LATERAL.
12. WHERE THE CLEARANCE BETWEEN A WASTEWATER LINE AND A NEW OR EXISTING UTILITY LINE IS EIGHTEEN (18) INCHES OR LESS, THE WASTEWATER LINE SHALL BE CONCRETE JACKETED IN ACCORDANCE WITH THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, DATED SEPTEMBER 1984.
13. WHEN THE WASTEWATER MAINS ARE OF A DIFFERENT MATERIAL THAN THE LATERALS, THE CONTRACTOR SHALL INSTALL APPROVED ADAPTERS.
14. ALL BACKFILL FOR WASTEWATER TRENCHES SHALL BE COMPACTED IN ONE (1) FOOT LIFTS TO A MINIMUM OF 95% OF ITS MAXIMUM DENSITY.
15. WHERE CONSTRUCTION IS TO BE DONE IN PHASES OR INCREMENTS, EACH PHASE OR INCREMENT SHALL BE APPROVED BY WASTEWATER RECLAMATION DIVISION BEFORE THE NEXT PHASE OR INCREMENT IS STARTED.
16. ALL WASTEWATER MAINS SHALL PASS A MANDREL TEST AS A CONDITION OF ACCEPTANCE 30 DAYS AFTER COMPLETION AND BACKFILL. THE MANDREL DIAMETER SHALL BE 95% OR MORE OF THE INSIDE DIAMETER OF THE PIPE BEING TESTED.
17. "AS-BUILT" DRAWINGS SHALL BE SUBMITTED AS A CONDITION FOR THE FINAL ACCEPTANCE OF THE PROJECT.
18. PRIOR TO INSPECTION BY CLOSED CIRCUIT TELEVISION (CCTV), ALL WASTEWATER LINES INSTALLED, INCLUDING LATERALS, SHALL BE FLUSHED WITH WATER AND ANY ACCUMULATED CONSTRUCTION DEBRIS AND OTHER FOREIGN MATERIALS SHALL BE REMOVED.
19. ALL MAIN WASTEWATER LINES WHICH WILL BE DEDICATED TO THE COUNTY OF MAUI SHALL BE INSPECTED BY CCTV IN STRICT ACCORDANCE WITH DEPARTMENT OF PUBLIC WORKS CCTV POLICY, EFFECTIVE DATE JULY 15, 2001. FINAL ACCEPTANCE OF THE SYSTEM SHALL BE CONTINGENT UPON THE PASSING OF ALL REQUIREMENTS OF THIS POLICY. CCTV RESULTS SHOULD BE SUBMITTED ON DVD PER MEMO DATED OCTOBER 22, 2015. SHOULD ANY OF THE SEWER LATERALS FAIL TO PASS A VISUAL INSPECTION, THEN A CCTV OF ALL LATERALS WILL ALSO BE REQUIRED.
20. ANY CONNECTION MADE UNDER THE WATER TABLE WILL REQUIRE CCTV AT HIGH TIDE TO DETERMINE WATER TIGHTNESS, IN ACCORDANCE WITH DEPARTMENT OF PUBLIC WORKS CCTV POLICY, EFFECTIVE DATE JULY 15, 2001. FINAL ACCEPTANCE OF THE SYSTEM SHALL BE CONTINGENT UPON THE PASSING OF ALL REQUIREMENTS OF THIS POLICY.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE GPS COORDINATES OF ALL BURIED AND CONCEALED WORK TO BE DEDICATED TO THE COUNTY, AND PROVIDE THE GPS DATA TO THE COUNTY PRIOR TO THE PROJECT'S FINAL ACCEPTANCE. AN ACCURATE GPS POINT EVERY (50) FEET ALONG THE MAIN LINE, AT UTILITY CROSSINGS, AND AT ANY INSTALLED APPURTENANCE (INCLUDING BUT NOT LIMITED TO MANHOLES, BENDS, CONCRETE JACKET, CLEANOUT, PIPE DEVIATIONS, CHANGE IN PIPE SIZE, CRITICAL JOINTS, ARV, ETC.). GPS DATA SHALL BE IN NAD 1983 STATE PLAN HAWAII ZONE 2 FIPS 5102 GRID, AND SHALL BE ACCURATE TO WITHIN ONE (1) FOOT. ACQUIRED GPS SURVEY DATA SHALL BE QUALITY CHECKED BY THE CONTRACTOR PRIOR TO SUBMISSION IN SHAPEFILE (.SHP) FORMAT, FOR COMPATIBILITY WITH MAINSTREAM GIS SOFTWARE SUCH AS ESRI ARCMAP.

FILE: 210509-01_C002_NOTES.dwg
DATE REV: 5/07/2018

DWG. NO.
C002
SHEET 28 OF 57



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SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HOOLEHUA VETERAN AND
HOMESTEAD RESIDENT'S CENTER
JOB NO.

NOTES 1

DESIGNED BY: CM	CHECKED BY: PLM	DRAWN BY: CM
111 S. KING STREET, SUITE 170 HONOLULU, HAWAII 96813 808.523.5866 WWW.G7O.DESIGN		

FILE	POCKET	FOLDER	NO.
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WATER SYSTEM

1.

THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF WATER SUPPLY (DWS), IN WRITING, ONE (1) WEEK PRIOR TO COMMENCEMENT OF WORK.
2.

ALL MATERIALS USED AND METHOD OF CONSTRUCTION OF WATER SYSTEM FACILITIES SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF DWS STANDARDS. CONTRACTOR SHALL OBTAIN THE LATEST REVISIONS OF THE DWS STANDARD DETAILS BEFORE COMMENCING CONSTRUCTION.
3.

ALL WATER SYSTEM WORK SHALL BE PERFORMED BY CONTRACTORS POSSESSING VALID STATE OF HAWAII CONTRACTOR'S LICENSES, REGARDLESS OF THE VALUE OF THE WORK.
4.

THE EXACT DEPTH AND LOCATION OF EXISTING WATERLINES, SERVICE LATERALS AND OTHER UTILITIES ARE NOT KNOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE SAME PRIOR TO TRENCHING FOR THE NEW WATERLINE. THE COST OF LOWERING, RELOCATING OR ADJUSTING EXISTING WATERLINES, SERVICE LATERALS AND OTHER UTILITIES SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE NEW WATERLINE, UNLESS NOTED OTHERWISE, AND WILL NOT BE PAID FOR SEPARATELY.
5.

CONCRETE FOR REACTION BLOCKS AND ANCHOR BLOCKS SHALL BE DWS CLASS 2500.
6.

THE MAXIMUM DISTANCE BETWEEN VALVE NUT AND TOP OF VALVE MANHOLE COVER SHALL BE THREE (3) FEET.
7.

THE CONTRACTOR SHALL SUBMIT A MATERIALS LIST TO DWS FOR APPROVAL PRIOR TO CONSTRUCTION.
8.

CONNECTION TO DWS SYSTEM:

A.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL NECESSARY FITTINGS AND OTHER MATERIALS AND EQUIPMENT REQUIRED FOR THE HOOK-UP. HE SHALL VERIFY THE EXACT LOCATION, DEPTH, TYPE, AND CONDITION OF THE EXISTING LINE BEFORE ORDERING MATERIALS FOR THE HOOK-UP. HE SHALL, HOWEVER, CHECK WITH DWS BEFORE EXCAVATING FOR VERIFICATION PURPOSES.

B.

WHENEVER FEASIBLE, MECHANICAL JOINT FITTINGS SHALL BE USED FOR BURIED APPLICATIONS, AND FLANGED JOINT FITTINGS SHALL BE USED FOR EXPOSED APPLICATIONS.

C.

AUTHORIZED DWS PERSONNEL MAY BE REQUIRED TO MAKE THE FINAL CONNECTION TO THE EXISTING LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED BY DWS FOR SAID WORK, INCLUDING THE COST OF PRESSURE TESTING AND DISINFECTION.

D.

IF THE DWS PROVIDES ONLY INSPECTION AND SUPERVISING OPERATORS, AND DOES NOT PROVIDE PERSONNEL FOR THE ACTUAL CONNECTION, THE CONTRACTOR SHALL PROVIDE ALL PIPEFITTERS AND LABORS TO MAKE THE CONNECTION.

E.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR FOR TRENCH EXCAVATION, BACKFILLING, CLEANING AND CHLORINATION, PAVING, AND OTHER WORK NECESSARY TO COMPLETE THE HOOK-UP, AS DIRECTED BY AND TO THE SATISFACTION OF DWS.
9.

MINIMUM COVER OVER WATER MAIN, 6" DIAMETER OR LARGER, SHALL BE 3'-0". MINIMUM COVER FOR 4" DIAMETER SHALL BE 2'-6". MINIMUM COVER FOR DIAMETERS LESS THAN 4" SHALL BE 1'-6".
10.

BOLTS FOR EXPOSED FLANGED DUCTILE IRON PIPE JOINTS SHALL BE EITHER SILICON BRONZE BOLTS AND NUTS OR 316 STAINLESS STEEL BOLTING WITH THE HEAVY DUTY STAINLESS STEEL NUTS (ONLY) FURNISHED WITH TRIPAC 2000 BLUE COATING SYSTEM. ANTI-SEIZE SHALL NOT BE USED. T-BOLTS FOR DUCTILE IRON MECHANICAL JOINT (MJ) PIPE AND FITTING CONNECTIONS IN UNDERGROUND SITUATIONS SHALL BE ONE OF THE FOLLOWING SYSTEMS:

A.

316 STAINLESS STEEL T-BOLTS WITH THE HEAVY DUTY STAINLESS STEEL NUTS (ONLY) FURNISHED WITH TRIPAC 2000 BLUE COATING SYSTEM. ANTI-SEIZE SHALL NOT BE USED.

B.

COR-TEN T-BOLTS AND NUTS WITH HIGH GRADE ZINC SACRIFICIAL ANODES, EQUIVALENT TO "DURATRON" SACRIFICIAL "SAC-NUT" MODULES, INSTALLED ON THE NUTS FOR ALL STANDARD COR-TEN T-BOLTS.

C.

COR-TEN T-BOLTS AND NUTS BOTH FACTORY COATED WITH TRIPAC 2000 BLUE COATING SYSTEM BY "TRIPAC FASTENERS".
11.

ALL BURIED METALS SHALL BE WRAPPED WITH POLY-WRAP. FOR ALL BURIED INSTALLATIONS OF DUCTILE IRON PIPE AND FITTINGS, POLY-WRAP IS REQUIRED EXCEPT WITHIN CONCRETE JACKETS.
12.

LUBRICATE HYDRANT NOZZLE THREADS WITH NON-TOXIC GREASE.
13.

THE CONTRACTOR SHALL PAINT AND NUMBER THE FIRE HYDRANT. NUMBERING TO BE FURNISHED BY DWS.
14.

WATER MAINS AND APPURTENANCES SHALL BE SUBJECT TO HYDROSTATIC TESTING IN ACCORDANCE WITH THE LATEST REVISION OF AWWA C600, UNDER THE "HYDROSTATIC TESTING" SECTION, TO A PRESSURE OF AT LEAST 1.5 TIMES THE WORKING PRESSURE. UNLESS OTHERWISE STATED IN THE CONSTRUCTION DOCUMENTS OR LIMITED BY THE PRESSURE RATING OF EQUIPMENT, THE PRESSURE TEST AND LEAKAGE TEST SHALL BE PERFORMED AT 225 POUNDS PER SQUARE INCH PRESSURE.
15.

THE DEVELOPER SHALL SUBMIT A COST LIST ALONG WITH AN AFFIDAVIT FOR THE WATER SYSTEM PRIOR TO ACCEPTANCE.
16.

THE CONTRACTOR SHALL SUBMIT TWO SETS OF RECORD DRAWINGS VIA A CONSULTANT PRIOR TO ACCEPTANCE OF THE WATER SYSTEM. AN ELECTRONIC IMAGE FILE IN TIFF FORMAT SHALL BE PROVIDED TO THE DWS FOR ALL PROJECTS.

CHLORINATION OF WATER SYSTEM PIPELINES

1.

WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651. ALL PROCEDURES AND MATERIALS (LIQUID CHLORINE OR CALCIUM HYPOCHLORITE) USED FOR THE CHLORINATION OF THE PROJECT SHALL CONFORM TO AWWA REQUIREMENTS.
2.

PRIOR TO CHLORINATION, THE PROJECT PIPELINES SHALL BE THOROUGHLY CLEANED. CLEANING OF LINES 8" AND LARGER SHALL BE BY PIGGING USING FOAM PIGS. SMALLER LINES CAN BE FLUSHED IN ACCORDANCE WITH AWWA REQUIREMENTS IF ADEQUATE WATER SUPPLY IS PROVIDED, OTHERWISE BY PIGGING. THE CONTRACTOR SHALL SUBMIT HIS PLAN FOR PIPELINE CLEANING, INCLUDING FITTING REQUIREMENTS FOR PIGGING, FOR APPROVAL PRIOR TO PROCEEDING.
3.

THE INTERIOR SURFACES OF THE PROJECT SHALL BE EXPOSED TO THE CHLORINATING SOLUTION FOR A MINIMUM OF 24 HOURS AND THE CHLORINE RESIDUAL SHALL NOT BE LESS THAN 10 PPM AFTER SUCH TIME.
4.

SHOULD CALCIUM HYPOCHLORITE BE USED, NO SOLID AND/OR UNDISSOLVED PORTION OF THE COMPOUND SHALL BE INTRODUCED INTO ANY SECTION OF THE PROJECT TO BE CHLORINATED.
5.

AT THE END OF THE 24-HOUR DISINFECTION PERIOD, REPRESENTATIVE SAMPLES SHALL BE TAKEN AND ANALYZED TO ASSURE A CHLORINE RESIDUAL OF AT LEAST 10 PPM. MEASUREMENTS FOR CHLORINE RESIDUAL TESTS SHALL BE BY A TRAINED, QUALIFIED TESTER APPROVED BY THE DIRECTOR.
6.

SHOULD THE RESULTS INDICATE ADEQUATE CHLORINATION, THE PROJECT SHALL BE THOROUGHLY FLUSHED AND FILLED WITH POTABLE WATER FROM THE EXISTING POTABLE WATER SYSTEM AND AGAIN TESTED FOR CHLORINE RESIDUAL. THE FLUSHING SHALL BE CONSIDERED ADEQUATE IF THE TEST RESULTS INDICATE THAT THE WATER IN THE PROJECT HAS A COMPARABLE CHLORINE RESIDUAL AS THE WATER IN THE EXISTING SYSTEM.
7.

FOLLOWING THE ACCEPTABLE FLUSHING OF THE HIGH CONCENTRATION CHLORINE SOLUTION, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES SHALL BE TAKEN AT LEAST 24 HOURS APART FROM REPRESENTATIVE POINTS IN THE PROJECT AND SUBJECTED TO MICROBIOLOGICAL TESTS PERFORMED BY A CERTIFIED LABORATORY APPROVED BY THE DEPARTMENT OF HEALTH. AT LEAST ONE SET OF SAMPLES SHALL BE COLLECTED AND TESTED FROM EVERY 1,200 FEET OF THE NEW WATER MAIN, PLUS ONE SET FROM THE END OF THE LINE AND AT LEAST ONE SET FROM EACH BRANCH. POSITIVE RESULTS WILL NOT BE ACCEPTABLE AND THE ENTIRE CHLORINATION PROCESS WILL BE REPEATED.
8.

ANALYSIS FOR RESIDUAL CHLORINE SHALL BE MADE IN ACCORDANCE WITH "STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER", AMERICAN PUBLIC HEALTH ASSOCIATION, CURRENT EDITION.
9.

MICROBIOLOGICAL TESTS SHALL BE MADE IN ACCORDANCE WITH "STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER", AMERICAN PUBLIC HEALTH ASSOCIATION, CURRENT EDITION.
10.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ALL OF THE FOREGOING.

FILE: 217050-01 C002 NOTES.dwg
DATE REV: 5/07/2018

DWG. NO.
C003
SHEET 29 OF 57

PAUL T. MATSUDA

LICENSED PROFESSIONAL ENGINEER

No. 10901-C

HAWAII, U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/29/94).



SIGNATURE

LICENSE EXP. DATE: APRIL 30, 2020






REVISIONDATEDESCRIPTIONMADE BYAPPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HOOLEHUA VETERAN AND
HOMESTEAD RESIDENT'S CENTER
JOB NO.

NOTES 2

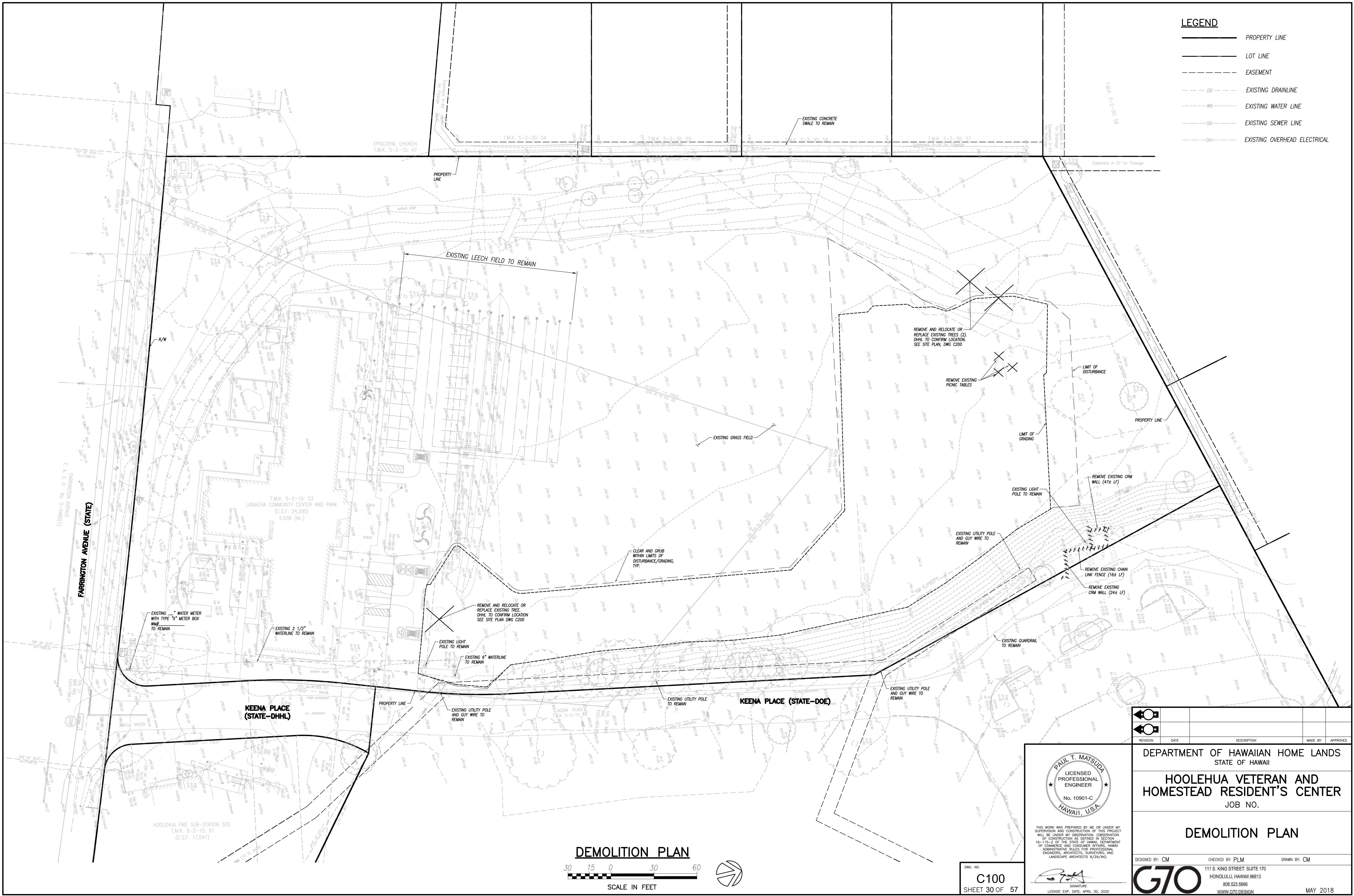
DESIGNED BY: CM CHECKED BY: PLM DRAWN BY: CM
111 S. KING STREET, SUITE 170
HONOLULU, HAWAII 96813
808.523.5866
WWW.G7O.DESIGN

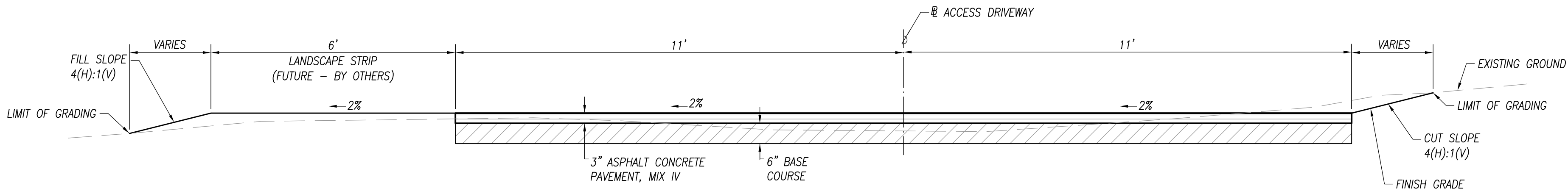


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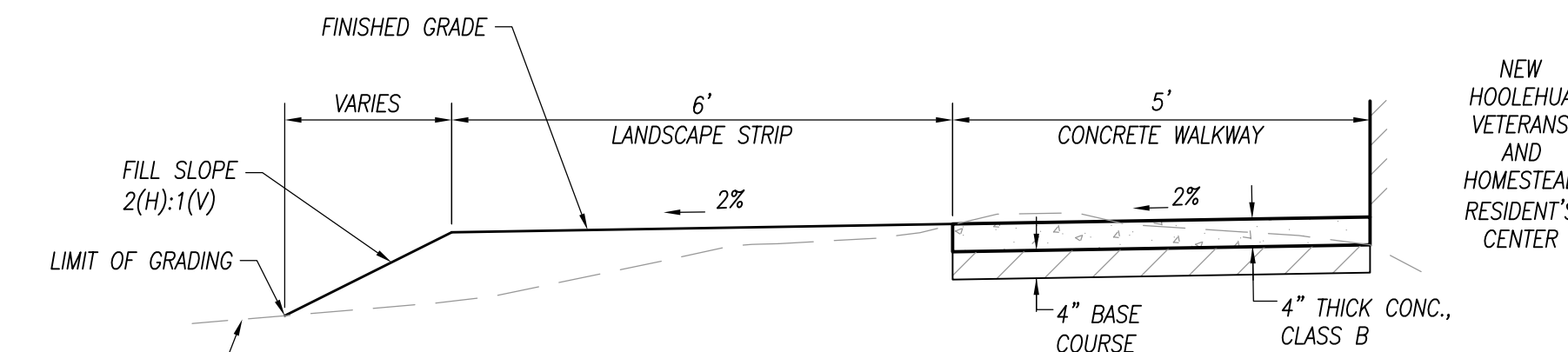
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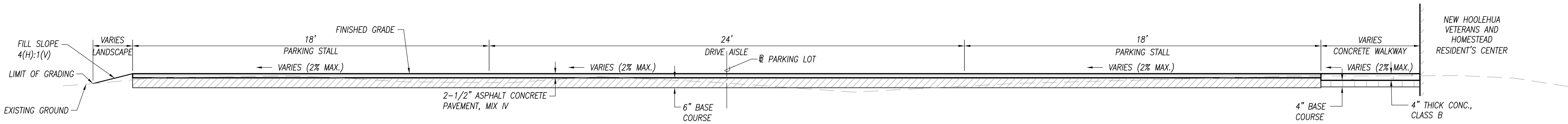




TYPICAL SECTION A-A
NOT TO SCALE



TYPICAL SECTION B-B
NOT TO SCALE



TYPICAL SECTION C-C
NOT TO SCALE

FILE: 217050-01_C200_TYPICAL_SECTIONS.dwg
DATE REV: 5/07/2018

DWG. NO.
C200
SHEET 31 OF 57

PAUL T. MATSUDA

LICENSED PROFESSIONAL ENGINEER

No. 10901-C

HAWAII, U.S.A.

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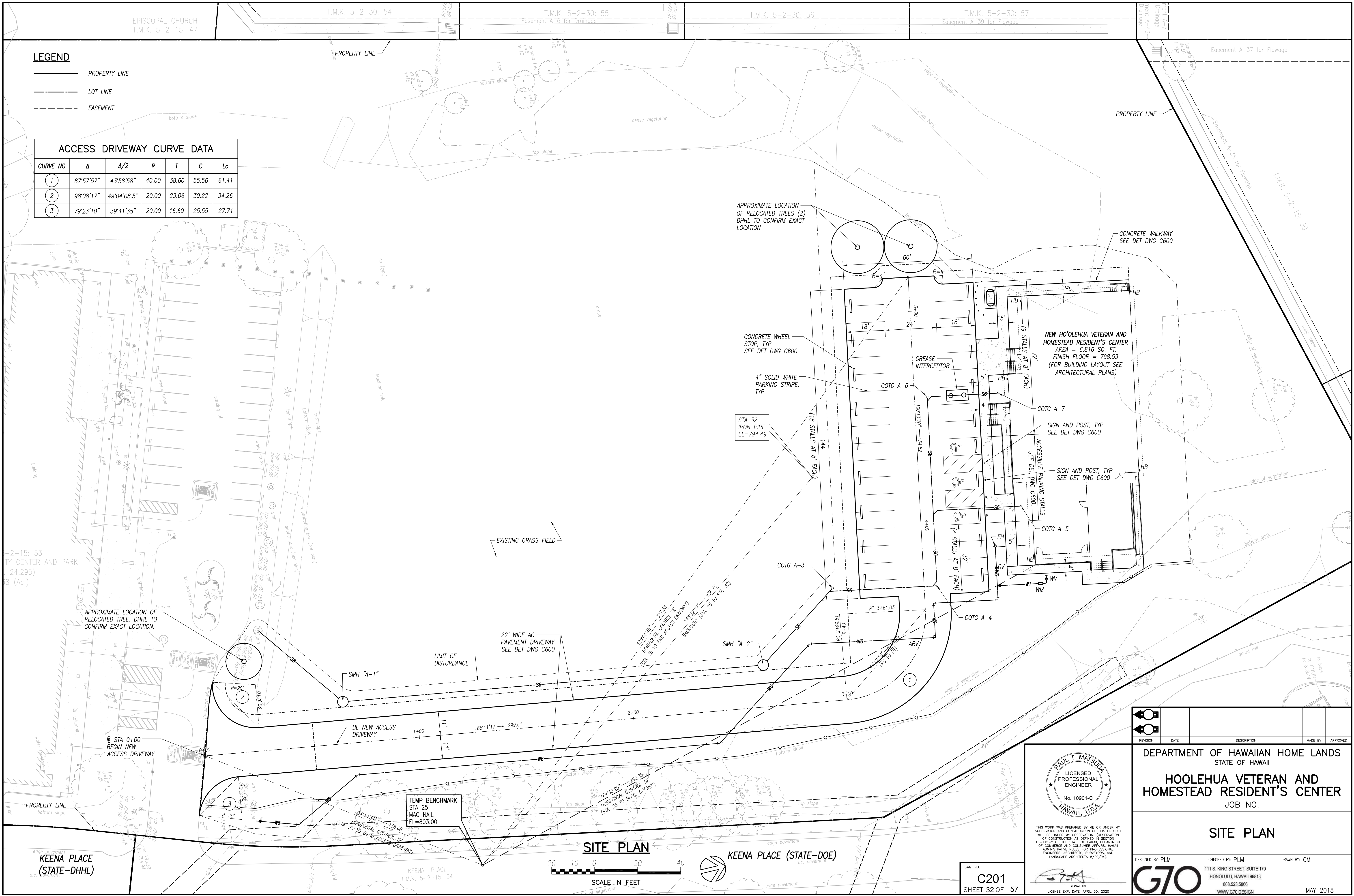
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LICENSE EXP. DATE: APRIL 30, 2020

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER JOB NO.				
TYPICAL SECTIONS				
DESIGNED BY: PLM		CHECKED BY: PLM	DRAWN BY: CM	
111 S. KING STREET, SUITE 170 HONOLULU, HAWAII 96813		808.523.5866 WWW.G7O.DESIGN		
		MAY 2018		

FILE	POCKET	FOLDER	NO.

FILE: 217050-01_C201_SITE_PLAN.dwg
DATE REV: 5/07/2018





BEST MANAGEMENT PRACTICE (BMP) NOTES

1. REFER TO NPDES AND BMP NOTES AND EROSION CONTROL DETAILS ON DWG C303.
2. THE BMP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS AND SHALL BE UPGRADED DURING THE CONSTRUCTION PERIOD AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN RUNOFF DOES NOT LEAVE THE WORK SITE.
3. ALL POINTS OF INGRESS AND EGRESS TO THE SITE SHALL BE PROTECTED WITH A STABILIZED CONSTRUCTION ENTRANCE.
4. PROVIDE INLET FILTER (TRUE DAM @ INLET PROTECTION OR APPROVED EQUAL) FOR ALL CATCH BASIN OPENINGS.
5. DUST CONTROL SHOULD BE APPLIED TO REDUCE DUST EMISSIONS. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS CONTAINED IN HAWAII ADMINISTRATIVE RULES: CHAPTER 11-60, "AIR POLLUTION CONTROL".
6. SEDIMENT SILT FENCES OR BARRIERS (FILTER SOCKS) SHALL BE USED DOWN SLOPE OF ALL DISTURBED AREAS AND ALONG THE PERIMETER OF THE PROJECT AREA.
7. ALL STORM DRAIN INLETS ON SITE AND THOSE OFFSITE WHICH MAY RECEIVE RUNOFF FOR THE SITE SHALL USE AN INLET PROTECTION DEVICE.
8. CONSTRUCTION VEHICLES AND/OR EQUIPMENT UTILIZED DURING THE GRADING WORK WILL BE KEPT ONSITE OR LOADED TO A TRAILER TO BE TRANSPORTED OFFSITE.

LEGEND

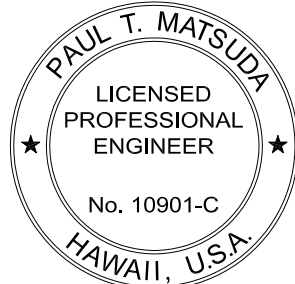
- PROPERTY LINE
- LIMIT OF GRADING
- LIMIT OF DISTURBANCE
- SILT FENCE
- TEMPORARY STABILIZED CONSTRUCTION INGRESS/EGRESS
- EXISTING SURFACE DRAINAGE FLOW
- EXISTING CONCRETE SWALE FLOW

EROSION CONTROL PLAN

KEENA PLACE (STATE-DOE)

SCALE IN FEET

C301
SHEET 34 OF 57



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DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HOOLEHUA VETERAN AND
HOMESTEAD RESIDENT'S CENTER
JOB NO.

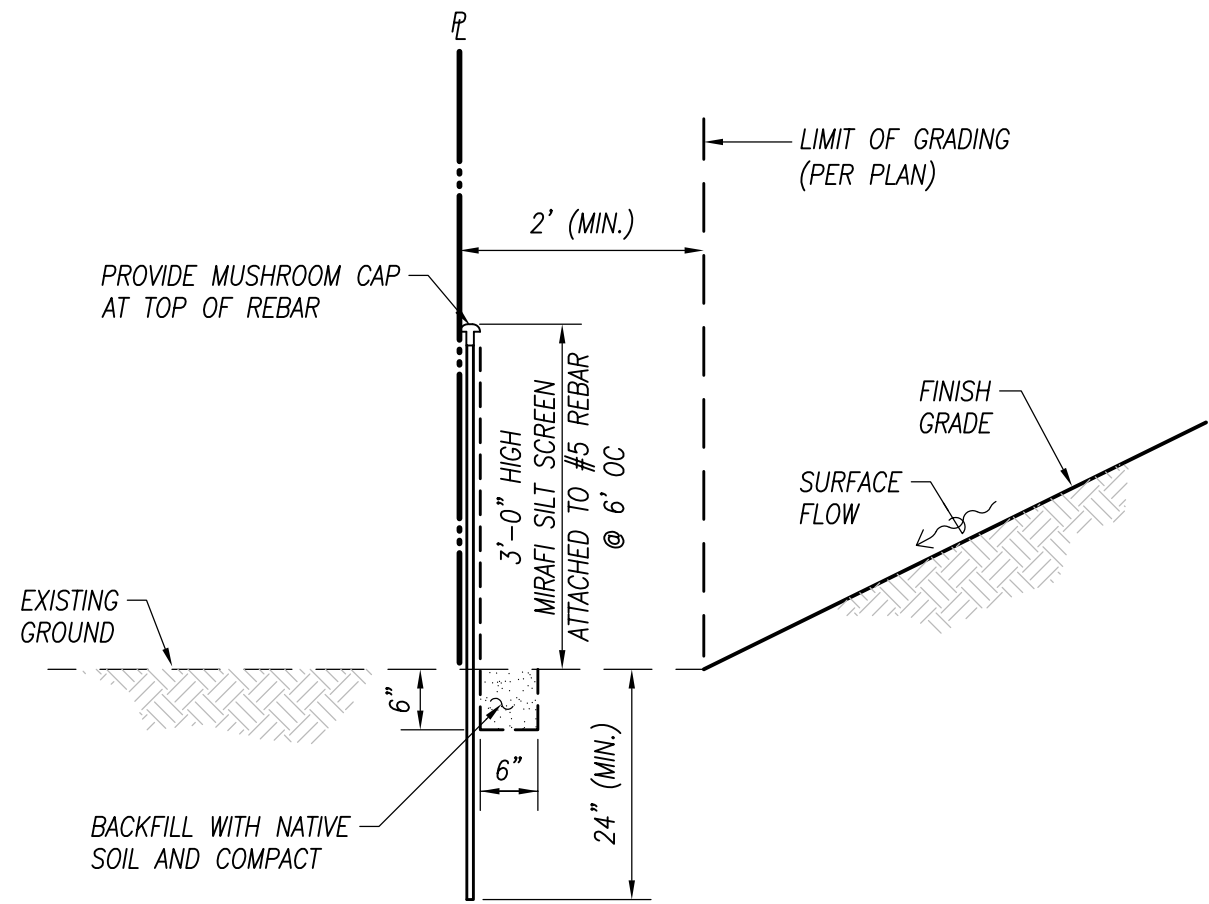
EROSION CONTROL PLAN

DESIGNED BY: PLM CHECKED BY: PLM DRAWN BY: CM

111 S. KING STREET, SUITE 170
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808.523.5866
WWW.G7O.DESIGN

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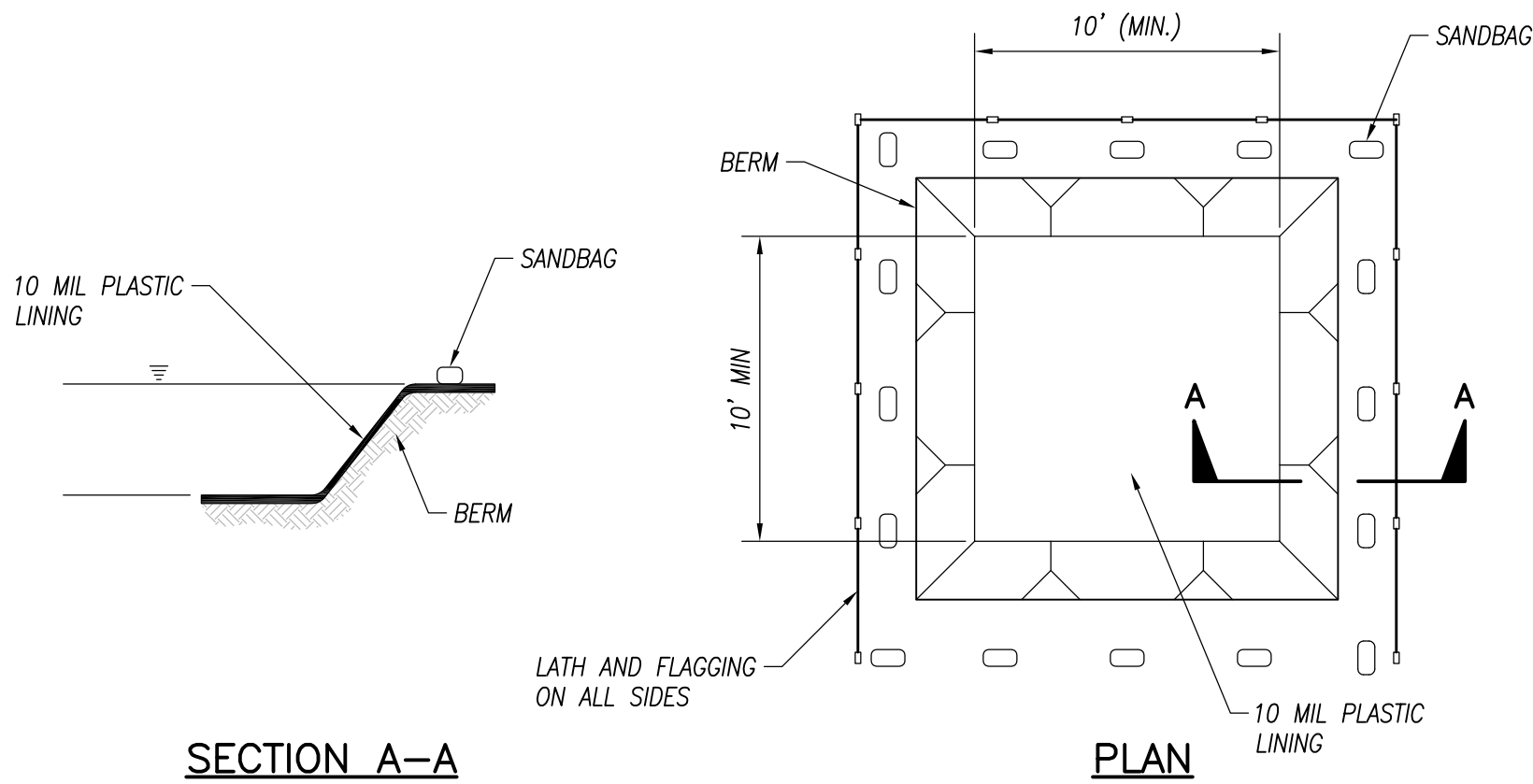
FILE: 217050-01 C302 EROSION CONTROL DETAILS.dwg
DATE REV: 5/07/2018



SILT FENCE NOTES:

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
2. A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2-INCHES AND SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE.
3. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
4. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
5. FILTER FABRIC SHALL BE MIRAFI SILT FENCE, AMOCO SILT STOP #1380 OR APPROVED EQUAL.
6. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE FENCE STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE SILT FENCE.

SILT FENCE
NOT TO SCALE



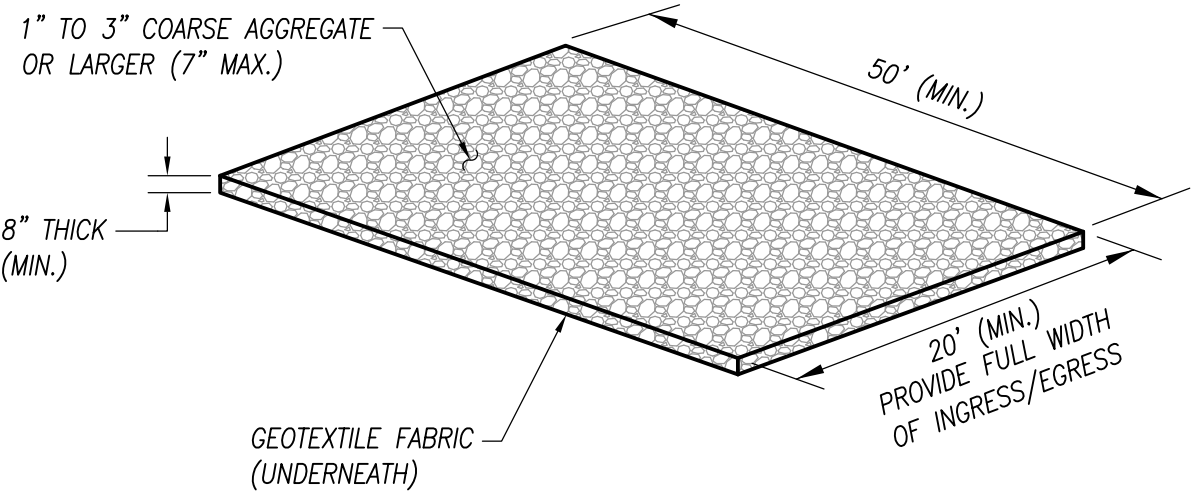
SECTION A-A

PLAN

NOTES:

1. ACTUAL LAYOUT DETERMINED IN FIELD
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30-FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY

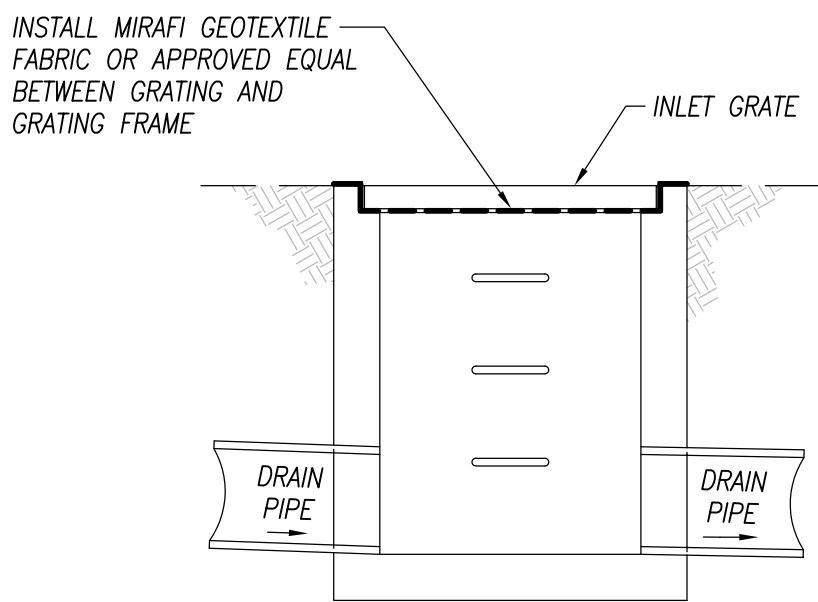
CONCRETE WASHDOWN BASIN DETAIL
NOT TO SCALE



NOTE:

1. ANY SEDIMENT CARRIED FROM THE SITE ONTO THE STREET SHALL BE CLEANED UP IMMEDIATELY.

GRAVEL CONSTRUCTION ENTRANCE
NOT TO SCALE



NOTE:

MIRAFI GEOTEXTILE FABRIC SHALL BE INSTALLED UNDER ALL DRAIN INLET GRATES WITHIN THE IMMEDIATE VICINITY OF THE PROJECT SITE.

TEMPORARY GEOTEXTILE FABRIC FOR GRATED DRAIN INLETS
NOT TO SCALE

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) BMP NOTES



1. PERIMETER RUNOFF CONTROL
 - A. SILT FENCE: CONTRACTOR TO INSTALL PERPENDICULAR TO THE DIRECTION OF FLOW AND ALONG THE DOWNHILL SIDE OF THE OPEN GRADING AREAS. LOCATION SHALL BE ADJUSTED DURING THE GRADING OPERATIONS. TEMPORARY SILT FENCE MAY BE USED IN LIEU OF FILTER SOCK AT CONTRACTOR'S DISCRETION.
2. STABILIZATION CONTROL
 - A. TEMPORARY - ALL SLOPES AND EXPOSED AREAS SHALL BE IMMEDIATELY MULCHED OR PLANTED WHEN FINAL GRADES ARE ESTABLISHED OR WHEN GRADING WORK WILL BE DELAYED FOR MORE THAN TWO WEEKS AND BEFORE THE REMOVAL OF THE PROJECT'S TEMPORARY BMP.
 - B. PERMANENT - ALL SLOPES AND EXPOSED AREAS SHALL BE LANDSCAPED WHEN FINAL GRADES ARE ESTABLISHED.
3. STABILIZED CONSTRUCTION ENTRANCE FOR INGRESS/EGRESS WITH AMOCO SERIES 2000 GEOTEXTILE FABRIC OR APPROVED EQUAL, 20' X 50' X 8" THICK, 1" TO 3" COARSE AGGREGATE OR LARGER (7" MAX.)
4. THE CONTRACTOR SHALL ENSURE THAT ALL TIRES OF CONSTRUCTION VEHICLES ARE SUFFICIENTLY CLEANED OFF SO THAT DIRT OR DEBRIS IS NOT TRACKED OFF THE CONSTRUCTION SITE. WASHING OFF TIRES WITH WATER WILL NOT BE ACCEPTABLE UNLESS RUNOFF IS CONTAINED AND DOES NOT ENTER THE STORM DRAIN SYSTEM OR ONTO THE PUBLIC RIGHT-OF-WAY.
5. TEMPORARY EROSION CONTROLS SHALL BE IN PLACE PRIOR TO ANY GRADING OR GRUBBING WORK.
6. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED THROUGHOUT DURATION OF PROJECT.
7. BMP PROVIDED HEREIN ARE MINIMUM REQUIREMENTS. CONTRACTOR SHALL USE DISCRETION WHETHER ADDITIONAL BMP MEASURES ARE NECESSARY FOR CONTROLLING SEDIMENT RUNOFF FROM THE PROJECT SITE.
8. EROSION CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
9. FILTER SOCKS, SILT FENCES, AND TEMPORARY CONSTRUCTION ENTRANCES WILL REMAIN IN-PLACE UNTIL PERMANENT BMP ARE INSTALLED. CONTRACTOR SHALL MAINTAIN ALL EXISTING BMP MEASURES AND ENSURE THAT IT REMAINS OPERABLE AT ALL TIMES.
10. THE FINAL LIFT OF EACH DAYS WORK SHALL BE COMPACTED TO PREVENT EROSION OF FILL MATERIAL.
11. THE CONTRACTOR SHALL HAVE A COPY OF CURRENT NPDES AND GRADING PERMIT(S) ON SITE AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE A COMPLETED BMP CHECKLIST AT TIME OF OBTAINING THE GRADING PERMIT AND MAINTAIN AN UPDATED RECORD OF SITE INSPECTIONS ON SITE THROUGH THE USE OF BMP CHECKLISTS.
12. THE CONTRACTOR SHALL NOT PERFORM EARTHWORK DURING INCLEMENT WEATHER.
13. THE EXISTING PAVED ROADWAYS INCLUDING SIDEWALKS AND GUTTERS SHALL BE CLEANED ON A DAILY BASIS TO BE FREE OF DEBRIS AND SEDIMENT RESULTING FROM THE GRADING OPERATIONS. FLUSHING INTO THE DRAIN STRUCTURES IS PROHIBITED.
14. STOCKPILING CONSTRUCTION MATERIAL IN THE EXISTING ROAD RIGHT-OF-WAY AREA OR ADJACENT LOT(S) ARE PROHIBITED.
15. IF ANY EXPOSED GRADED AREAS THAT ARE NOT BEING WORKED ON OR WHOSE FINAL GRADES HAVE BEEN ESTABLISHED FOR MORE THAN 14 DAYS, THE CONTRACTOR SHALL MULCH THE AREA.
16. AT THE CONCLUSION OF GRADING OPERATIONS AND PRIOR TO PROJECT COMPLETION, ALL DRAINAGE STRUCTURES WITHIN LIMITS OF DISTURBED AREA SHALL BE INSPECTED AND CLEANED OF ACCUMULATED DEBRIS AND SEDIMENT. THE ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE CATCH BASINS (FLUSHING INTO DRAIN STRUCTURES IS PROHIBITED).
17. WASH WATER SHALL NOT DRAIN INTO EXISTING CATCH BASINS.
18. DURING CONSTRUCTION, INLET PROTECTION SHALL BE APPLIED TO ALL DRAIN INLET STRUCTURES IMMEDIATELY FOLLOWING INSTALLATION.
19. THE CONTRACTOR SHALL ADHERE TO ALL OTHER REQUIREMENTS AS DETAILED IN THE STORMWATER POLLUTION PLAN (SWPPP).
20. ALL OTHER REQUIREMENTS PER NPDES FILE NO. _____.

MAINTENANCE NOTE

EROSION CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

DUST CONTROL NOTE

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE MEASURES IT WILL TAKE FOR THE CONTROL OF FUGITIVE DUST FROM THE WORK SITE. THE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION OF DUST SCREENS, WATERING OF THE SITE, FILL MATERIAL BEING PLACED, AND DELAYING WORK IN THE WEEK THAT PREVAILING WIND DIRECTION SHOULD SHIFT.

				
				
REVISION	DATE	DESCRIPTION		MADE BY APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER JOB NO.				
EROSION CONTROL DETAILS				
DESIGNED BY: PLM		CHECKED BY: PLM		DRAWN BY: CM
111 S. KING STREET, SUITE 170 HONOLULU, HAWAII 96813 808.523.5866 WWW.G7O.DESIGN				
MAY 2018				
FILE	POCKET	FOLDER	NO.	

PAUL T. MATSUOKA

LICENSED PROFESSIONAL ENGINEER

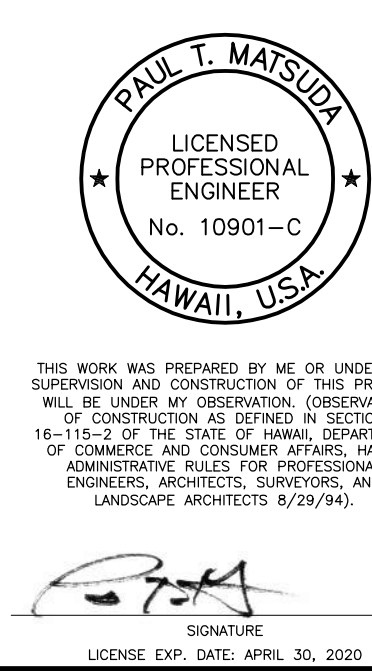
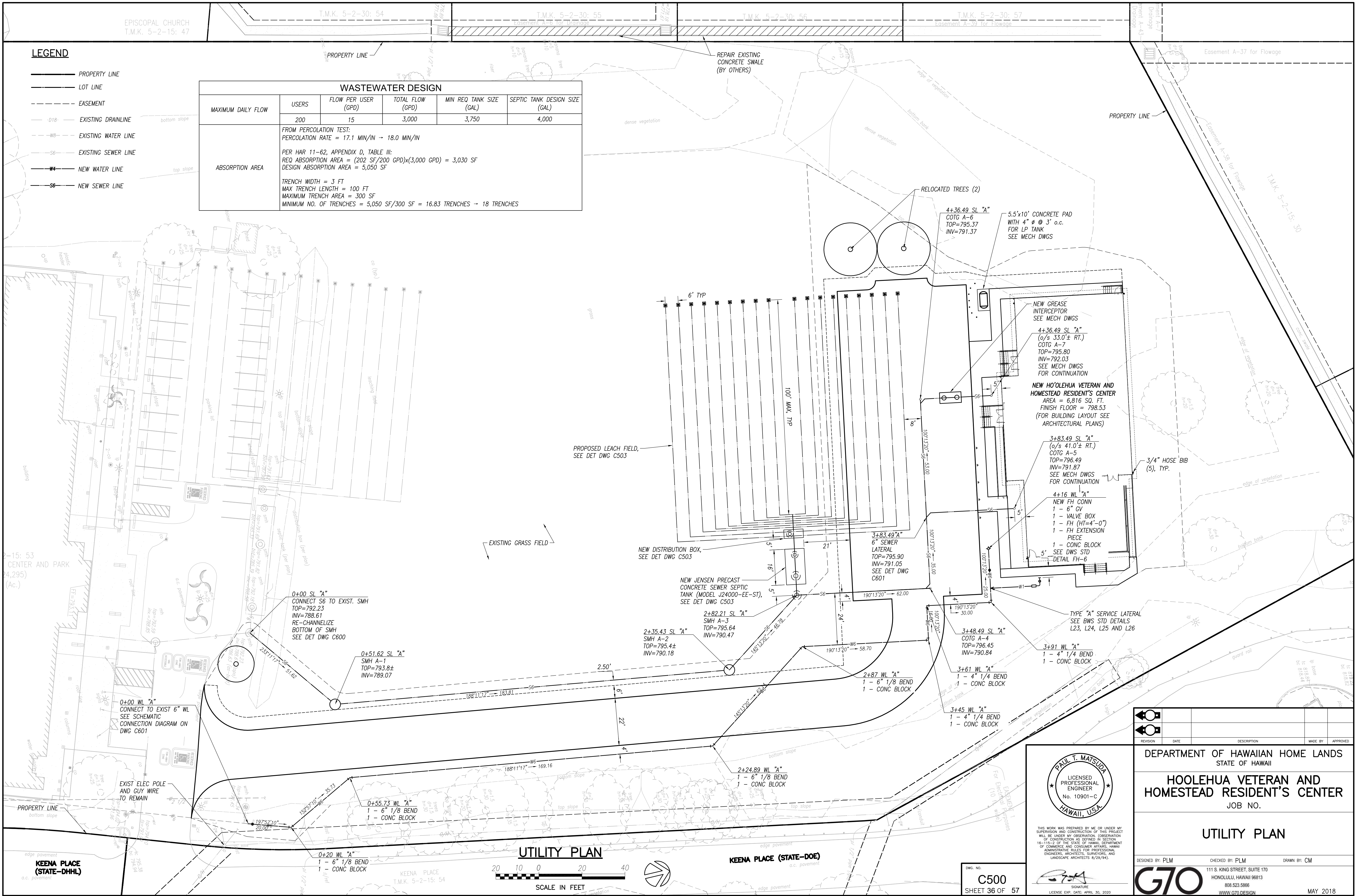
No. 10901-C

HAWAII, U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION. (OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/29/94).

SIGNATURE

LICENSE EXP. DATE: APRIL 30, 2020



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/29/94).

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

**HOOLEHUA VETERAN AND
HOMESTEAD RESIDENT'S CENTER**
JOB NO.

UTILITY PLAN

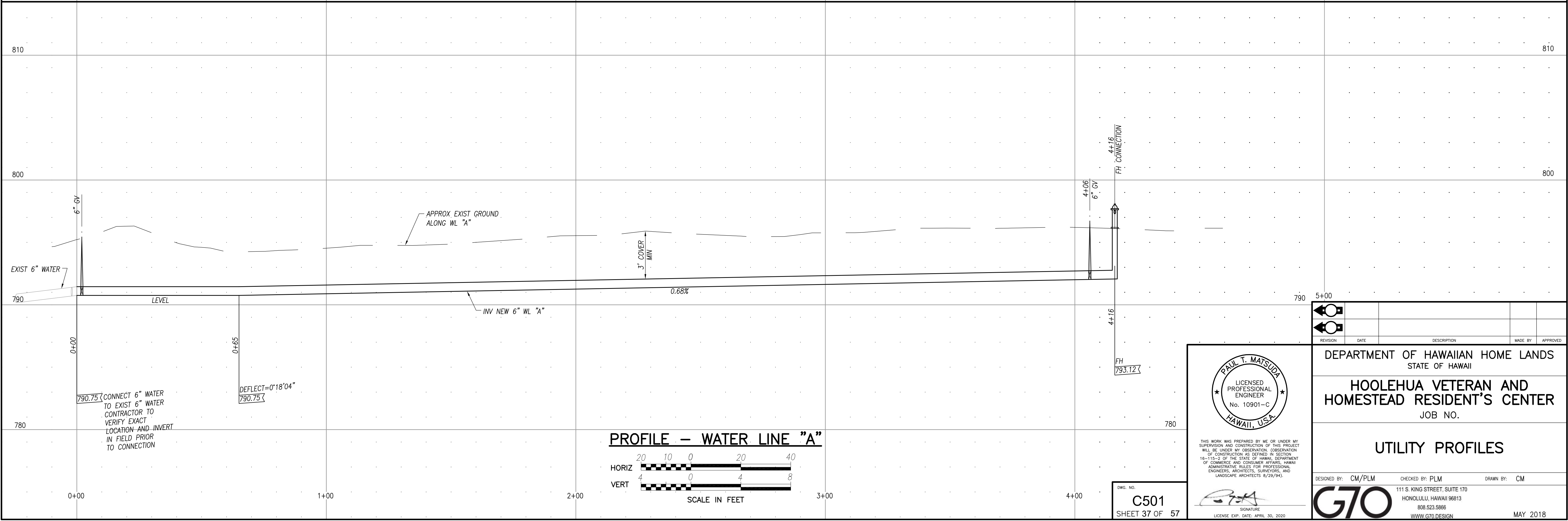
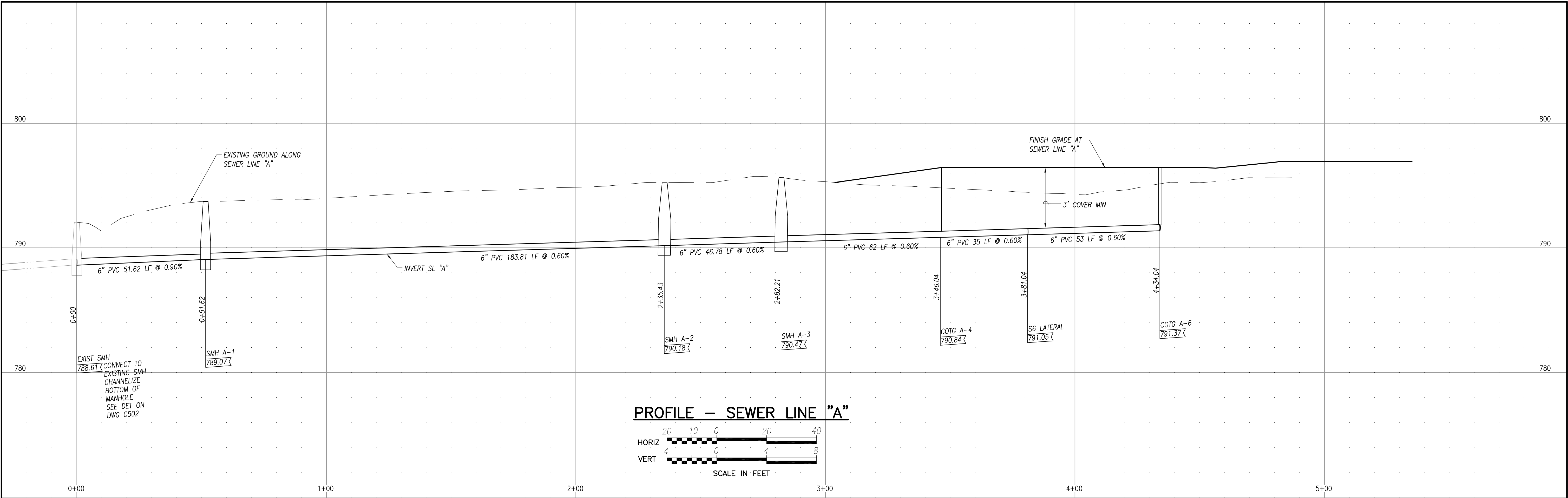
DESIGNED BY: PLM CHECKED BY: PLM DRAWN BY: CM
111 S. KING STREET, SUITE 170
HONOLULU, HAWAII 96813
808.523.5866
WWW.G7O.DESIGN

G7O

REVISION DATE DESCRIPTION MADE BY APPROVED

FILE POCKET FOLDER NO.

FILE: 217050-01_38_C501 UTILITY PROFILES.dwg
DATE REV: 5/07/2018



PAUL T. MATSUOKA

LICENSED PROFESSIONAL ENGINEER

No. 10901-C

HAWAII, U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/29/94).

SIGNATURE

LICENSE EXP. DATE: APRIL 30, 2020

DESIGNED BY: CM/PLM

CHECKED BY: PLM

DRAWN BY: CM

111 S. KING STREET, SUITE 170

HONOLULU, HAWAII 96813

808.523.5866

WWW.G7O.DESIGN

DEPARTMENT OF HAWAIIAN HOME LANDS

STATE OF HAWAII

HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER

JOB NO.

UTILITY PROFILES

DESIGNED BY: CM/PLM

CHECKED BY: PLM

DRAWN BY: CM

111 S. KING STREET, SUITE 170

HONOLULU, HAWAII 96813

808.523.5866

WWW.G7O.DESIGN

C501

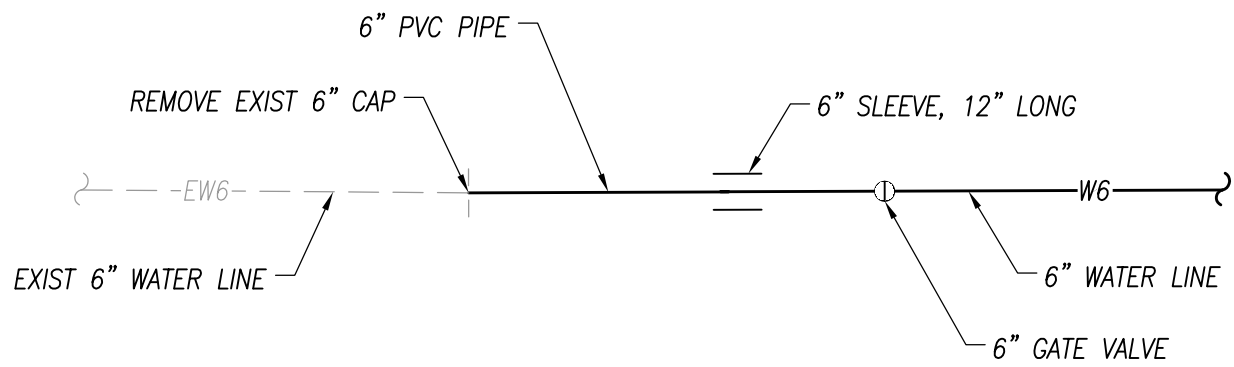
SHEET 37 OF 57

FILE

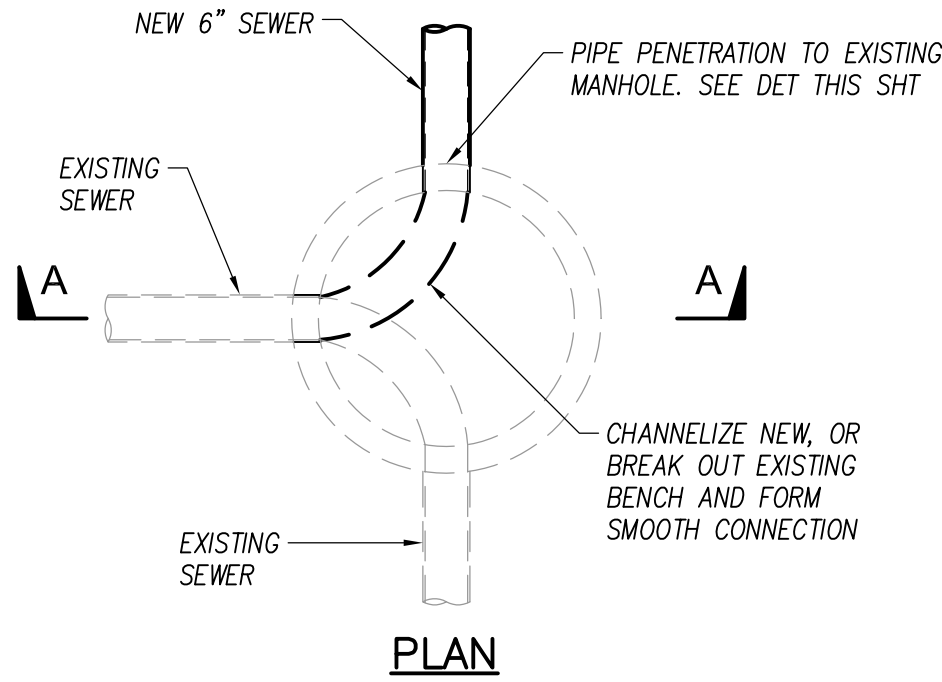
POCKET

FOLDER

NO.



WATER LINE "A"
SCHEMATIC CONNECTION DIAGRAM
NOT TO SCALE

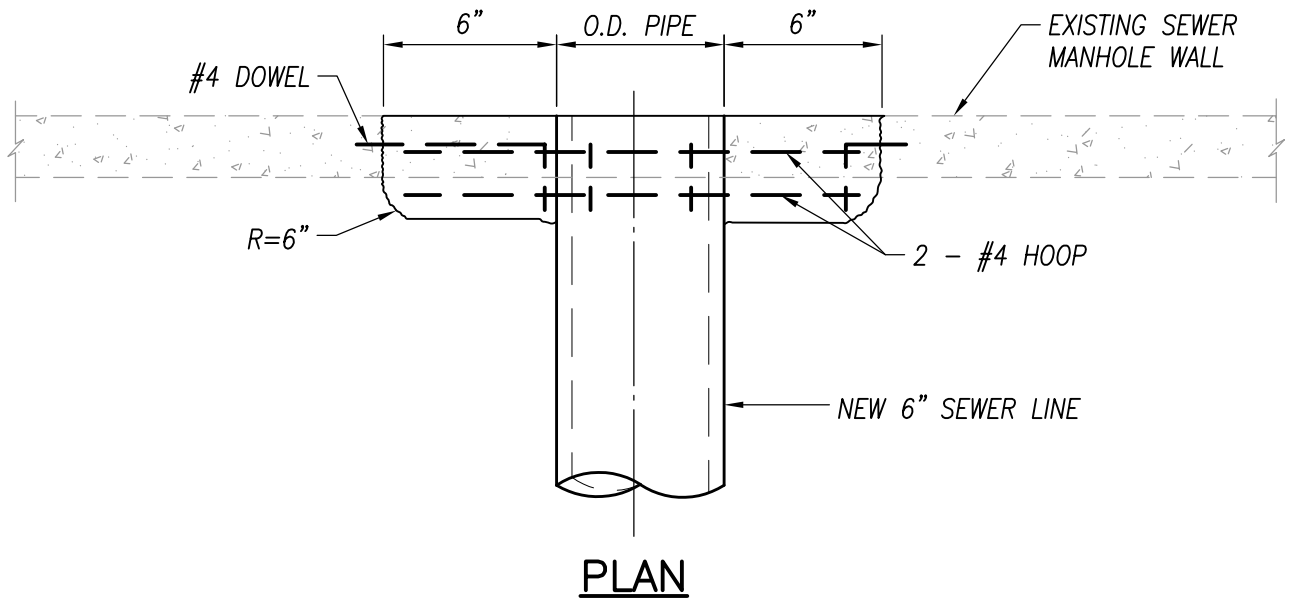


SECTION A-A

NOTES:

1. UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION SHALL BE PURSUANT TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION DATED SEPTEMBER 1986 AND ITS REVISIONS.
2. FOR SEWER PIPES AND APPURTENANCES 12 INCHES AND SMALLER, PIPE MATERIALS SHALL BE PURSUANT TO "SECTION 21 – PVC SEWER PIPE AND APPURTENANCES" OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.
3. SEWER PIPE CONNECTIONS SHALL BE PURSUANT TO "SECTION 22 – CONNECTION TO EXISTING SEWER" OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.

SEWER MANHOLE CHANNELIZATION
NOT TO SCALE

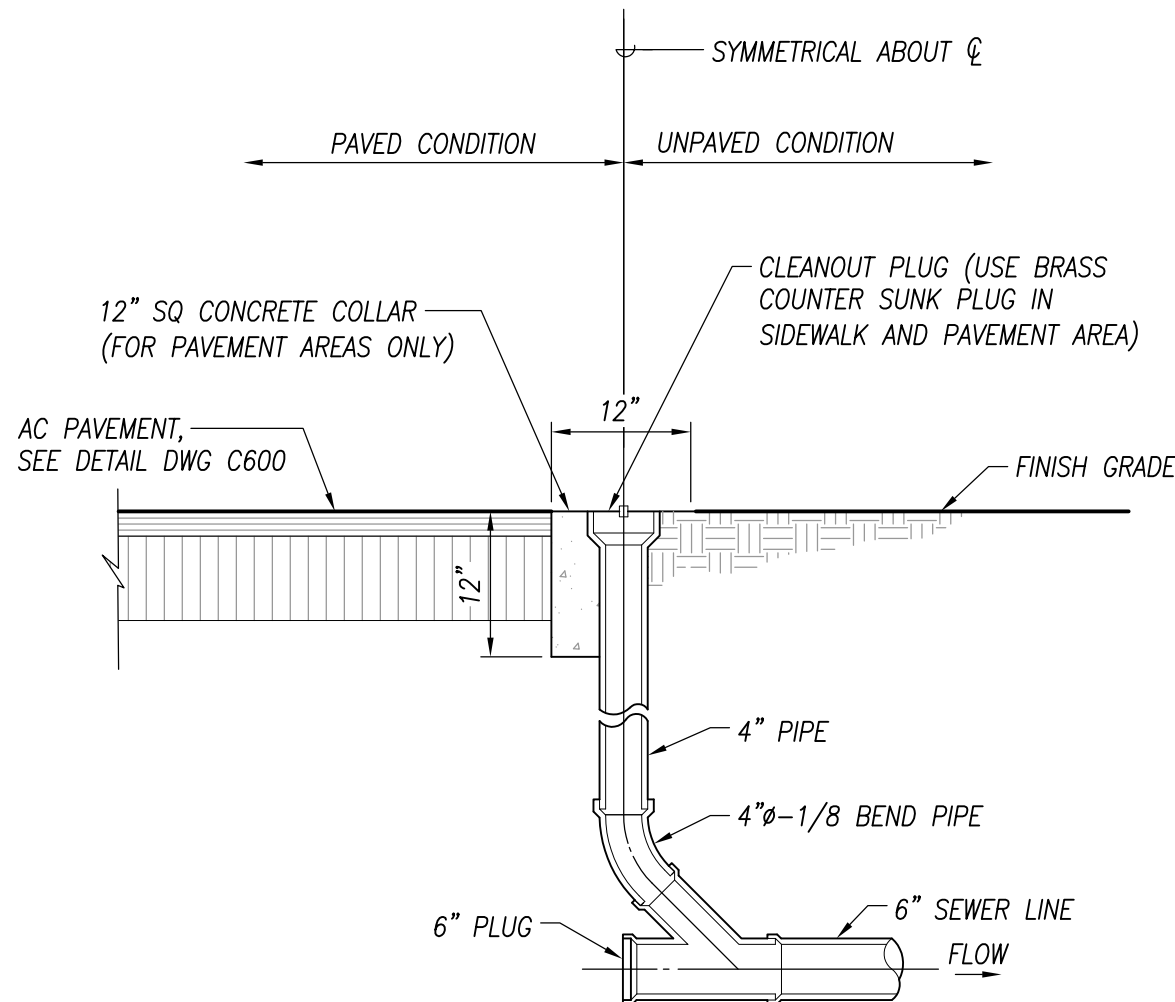


ELEVATION

NOTES:

1. UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION SHALL BE PURSUANT TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.
2. FOR SEWER PIPES, PIPE MATERIALS SHALL BE PURSUANT TO "SECTION 21 – PVC SEWER PIPE AND APPURTENANCES" OF THE STANDARD SPECIFICATIONS FOR "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.

NEW PIPE CONNECTION TO EXISTING STRUCTURE
NOT TO SCALE



NOTES:

1. UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION SHALL BE PURSUANT TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.
2. SEWER PIPES AND APPURTENANCES SHALL BE PURSUANT TO "SECTION 20 – CAST IRON AND DUCTILE IRON SEWER PIPE AND APPURTENANCES" OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.
3. FOR SEWER PIPES AND APPURTENANCES 15 INCHES AND LARGER, PIPE MATERIALS SHALL BE PURSUANT TO "SECTION 19 – REINFORCED CONCRETE SEWER PIPE AND APPURTENANCES" OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.

SEWER CLEANOUT-TO-GRADE
NOT TO SCALE

FILE: 217050-01 C502 UTILITY DETAILS.dwg
DATE REV: 5/07/2018

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED	
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII					
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER JOB NO.					
UTILITY DETAILS					
DESIGNED BY: CM/PLM		CHECKED BY: PLM		DRAWN BY: CM	
111 S. KING STREET, SUITE 170 HONOLULU, HAWAII 96813		808.523.5866		MAY 2018	

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION. (OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/29/94).

SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

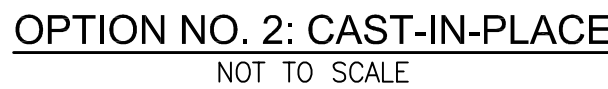
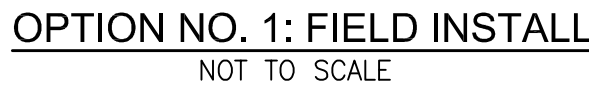
DWG. NO.
C502
SHEET 38 OF 57

FILE	POCKET	FOLDER	NO.
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1. CIRCULAR SECTION REBAR SHALL CONSIST OF #3 VERTICAL BARS @ 12" O.C., #3 HORIZONTAL BARS @ 18" O.C. AND A WIRE MESH AROUND ENTIRE CIRCUMFERENCE.
2. REBAR SPACING ON COVER AND BOTTOM SHALL CONSIST OF #4 BARS @ 8" O.C. BOTH WAYS WITH TIES AT EACH CROSSING, AND 1 1/2" CLEAR FROM BOTTOM.
3. SUBSTITUTIONS OF OTHER TANKS ARE ACCEPTABLE AS LONG AS MINIMUM VOLUME REQUIREMENTS ARE MET. CONTRACTOR SHALL SUBMIT TANK DRAWINGS TO ENGINEER FOR APPROVAL. FOR FIBERGLASS SUBSTITUTES, MANUFACTURER SHALL PROVIDE ANCHOR PACKAGE, OR EQUAL, TO ACCOMMODATE BUOYANCY FORCES. NO SUBSTITUTIONS USING FIBERGLASS SYSTEMS SHALL BE AUTHORIZED BY THE ENGINEER WITHOUT MANUFACTURER'S STATEMENT WITH RESPECT TO BUOYANCY.
4. SEPTIC TANK SHALL BE LOCATED IN A NON-VEHICULAR TRAFFIC AREA IF POSSIBLE. FOR TANKS LOCATED IN TRAFFIC AREAS, MANUFACTURER SHALL PROVIDE APPROPRIATE LOAD BEARING COVERS.
5. WHERE NOT OTHERWISE SPECIFIED, THE CONSTRUCTION OF THE SEPTIC TANK SHALL CONFORM TO HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 62, SECTION 33.1(A).
6. MANUFACTURER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE SEPTIC TANK.

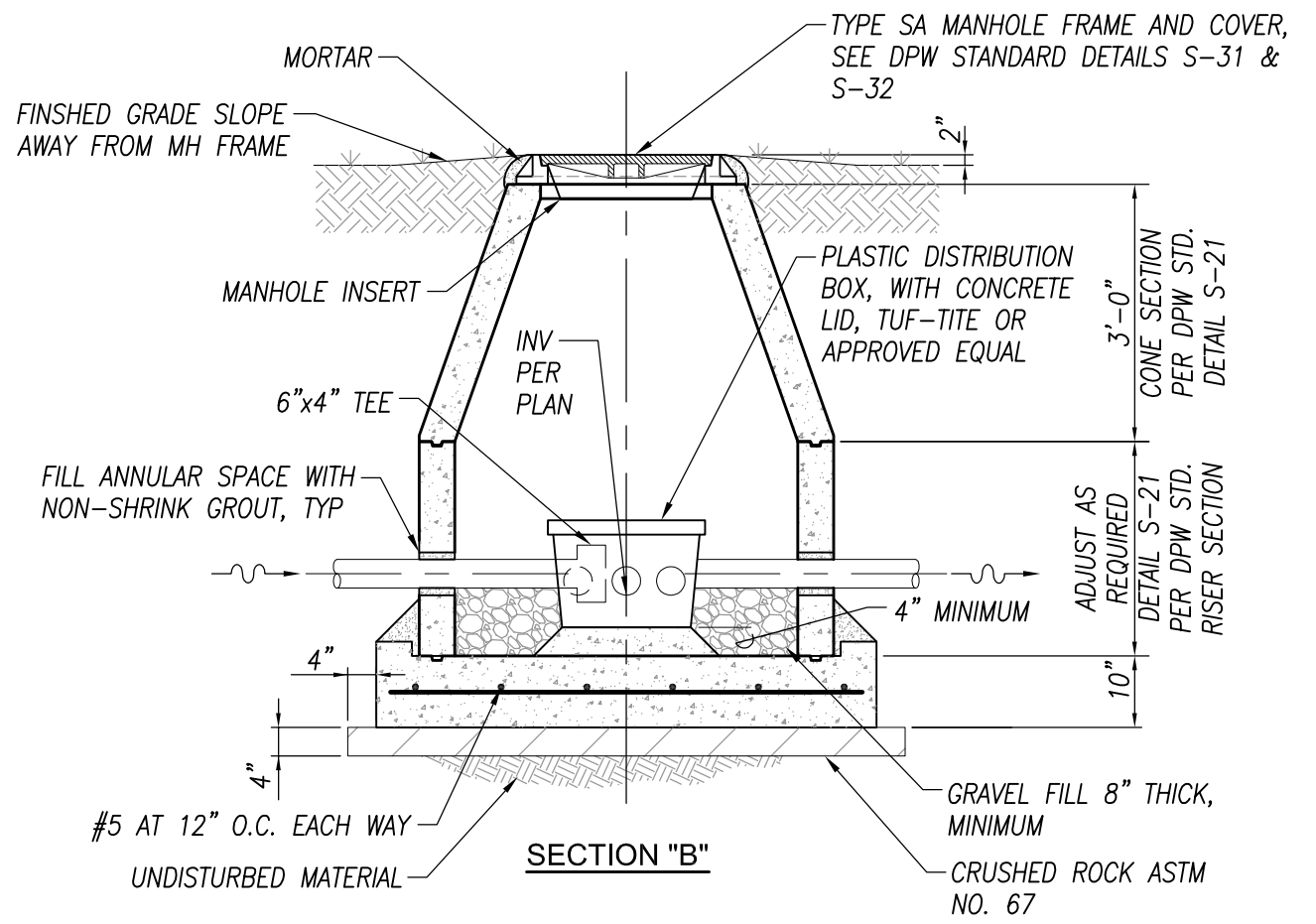
1. SEPTIC TANKS SHALL BE INSPECTED ON A YEARLY BASIS BY OPENING THE ACCESS COVER AND CHECKING IF EITHER THE SLUDGE OR SCUM ARE NEAR THE OUTLET PIPE.
2. THE SEPTIC TANK SHALL BE CLEANED OUT IF EITHER:
 - A) THE BOTTOM OF THE FLOATING SCUM MAT IS WITHIN THREE INCHES OF THE BOTTOM OF THE OUTLET PIPE; OR
 - B) SLUDGE COMES WITHIN SIX INCHES OF THE BOTTOM OF THE OUTLET PIPE.
3. CLEANING THE SEPTIC TANK SHALL CONSIST OF PUMPING OF THE CONTENTS INTO A TANK TRUCK AND HAULING IT TO A STATE HEALTH DEPARTMENT APPROVED POINT OF DISPOSAL. THE SEPTIC TANK SHALL NOT BE WASHED OR DISINFECTED AFTER PUMPING. A THREE INCH DEPTH OF RESIDUAL SLUDGE SHALL BE LEFT IN THE TANK FOR SEEDING PURPOSES.
4. A SEPTIC TANK SHALL NOT BE ENTERED BY ANYONE UNLESS PROPER SAFETY PROCEDURES ARE FOLLOWED. THERE IS A POTENTIAL HAZARD OF EXPLOSION OF GASES AND/OR ASPHYXIATION OF PERSONNEL IF PRECAUTIONS ARE NOT TAKEN.
5. CHEMICALS OR DISINFECTANTS DO NOT IMPROVE OPERATION OF SEPTIC TANKS AND ARE NOT RECOMMENDED. ORDINARY CHEMICALS USED IN THE HOUSEHOLD IN SMALL QUANTITIES WILL NOT ADVERSELY AFFECT THE OPERATION OF THE SEPTIC TANK.
6. PAPER TOWELS, NEWSPAPER, WRAPPING PAPER, RAGS AND STICKS SHOULD NOT BE FLUSHED INTO THE SEPTIC TANK. THEY WILL NOT DECOMPOSE AND WILL LEAD TO CLOGGING OF THE PIPING.
7. IMPROPER OPERATION AND MAINTENANCE OF THE SEPTIC TANK WILL LEAD TO EARLY FAILURE OF THE DISPOSAL SYSTEM (SEEPAGE PITS AND/OR LEACH LINES) BY CLOGGING THE PIPING ADJACENT SOIL. THIS WILL RESULT IN SEPTIC TANK OVERFLOWS AND DISPOSAL SYSTEM FLOODING. COMPLETE REPLACEMENT OF THE DISPOSAL SYSTEM IS THEN REQUIRED.



1. MAINTAIN 10'-0" MINIMUM CLEARANCE FROM ALL LARGE TREES.
2. GEOTEXTILE FILTER FABRIC SHALL BE WOVEN OR NON-WOVEN THERMOPLASTIC FIBER WITH MINIMUM WEIGHT OF 135 GRAMS PER SQUARE METER.

1. MAXIMUM LENGTH OF EACH DISTRIBUTION LINE SHALL BE 100 FEET.
2. DISTRIBUTION LINES SHALL BE UNIFORMLY SPACED A MINIMUM OF 4 FEET AND A MAXIMUM OF 6 FEET APART. DISTRIBUTION LINES SHALL BE PLACED A MINIMUM OF 1 1/2 FEET AND A MAXIMUM OF 3 FEET FROM THE SIDE OF THE BED.
3. DISTRIBUTION LINES SHALL BE LEVEL.
4. THE FLOOR OF THE ABSORPTION BED SHALL BE LEVEL.
5. WHERE NOT OTHERWISE SPECIFIED, THE CONSTRUCTION OF THE ABSORPTION BED SHALL CONFORM TO HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 62.

ABSORPTION BED
NOT TO SCALE



DISTRIBUTION BOX III DETAIL

1. INSTALL LEVELER AT EACH OUTLET PIPE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

1. IF THE DEPARTMENT OF HEALTH WAIVES THE FINAL INSPECTION REQUIREMENT THE OWNER/CONTRACTOR SHALL CONTACT THE ENGINEER FOR FINAL INSPECTION. AS PART OF THE FINAL INSPECTION, THE FOLLOWING PARTS OF THE SYSTEM SHALL BE KEPT OPEN.
 - A. DISTRIBUTION BOXES TO THE DISPOSAL SYSTEM;
 - B. THE ENDS OF THE ABSORPTION TRENCHES SUCH THAT THE GRAVEL, PIPING AND FILTER FABRIC ARE EXPOSED. AND
 - C. INSPECTION PORTS OF THE SEPTIC TANK. IF THE ABOVE ITEMS ARE NOT OPEN AT THE TIME OF INSPECTION, WE MAY REQUIRE THAT YOU DIG OR RE-EXPOSE THE ITEMS FOR INSPECTION. FURTHER, THE CONTRACTOR/OWNER SHALL CONTACT THE ENGINEER AT 521-0306 IN ORDER TO MAKE NECESSARY ARRANGEMENTS FOR FINAL INSPECTION.
2. IF THERE ARE ANY CHANGES TO THE ORIGINALLY APPROVED SYSTEM, OWNER/CONTRACTOR SHALL INFORM AND OBTAIN CONCURRENCE FROM THE ENGINEER. SUCH CHANGES THAT REQUIRE THE ENGINEER'S CONCURRENCE INCLUDE, BUT NOT LIMITED TO CHANGES IN WASTEWATER TREATMENT UNIT OR DISPOSAL SYSTEM LOCATION, MATERIAL ORIGINALLY SPECIFIED FOR IN THE TREATMENT UNITS OR DISPOSAL SYSTEM AND CHANGES IN BRAND NAMES OF PRODUCTS ORIGINALLY SPECIFIED. SOME CHANGES MAY ALSO REQUIRE A REAPPROVAL FROM THE HEALTH DEPARTMENT.
3. THE PLANS FOR THE IWS SHALL BE APPROVED BY THE DEPARTMENT OF HEALTH BEFORE CONSTRUCTION. THE DEPARTMENT OF HEALTH WILL ISSUE A LETTER APPROVING THE SYSTEM. THE CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVAL LETTER FROM THE OWNER OR THE ENGINEER AND COMPLY WITH ALL CONDITIONS RELATED TO IWS CONSTRUCTION.





1. REFER TO GEOTECHNICAL INVESTIGATION REPORT BY HIRATA & ASSOCIATES, INC. DATED JANUARY 23, 2018 FOR SOIL CONDITIONING AND COMPACTION REQUIREMENTS.

CONCRETE WALKWAY

NOT TO SCALE

NOTES:

1. REFER TO GEOTECHNICAL INVESTIGATION REPORT BY HIRATA & ASSOCIATES, INC. DATED JANUARY 23, 2018 FOR SOIL CONDITIONING AND COMPACTION REQUIREMENTS.

ASPHALT CONCRETE PAVEMENT

NOT TO SCALE



PRE-CAST CONCRETE WHEELSTOP

NOT TO SCALE

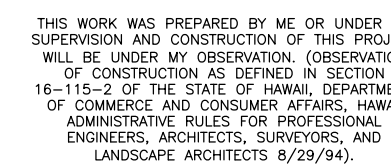
- NOTES:


1. REFER TO THE 2009 MUTCD, SECTION 2B.46.
2. REFER TO "HOW TO DESIGN AN ACCESSIBLE PARKING SPACE", FEDERAL AND STATE OF HAWAII REQUIREMENTS COMBINED, BY THE DISABILITY AND COMMUNICATION ACCESS BOARD, DATED DECEMBER 2012.
3. THE SURFACE WITHIN THE ACCESSIBLE PARKING SPACE AND ACCESS AISLE SHALL BE VIRTUALLY LEVEL (1:48 MAX. SLOPE) IN ALL DIRECTIONS.



TYPICAL DETAILS FOR ACCESSIBLE PARKING SPACE

NOT TO SCALE




SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HOOLEHUA VETERAN AND
HOMESTEAD RESIDENT'S CENTER
JOB NO.

MISCELLANEOUS DETAILS

DESIGNED BY: JPS CHECKED BY: PLM DRAWN BY: CM/JPS

670 111 S. KING STREET, SUITE 170

 HONOLULU, HAWAII

808.523.5866

MAY 2018

FILE: 217050-01 C600 MISCELLANEOUS DETAILS.dwg
DATE REV.: 5/07/2018

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE BUILDING CODE OF THE MAUI COUNTY (LATEST).
2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
3. THE GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY UNLESS OTHERWISE SHOWN.
4. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW BY THE ENGINEER.
6. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF THE JOB AND NOTIFY ALL DISCREPANCIES TO THE ARCHITECT.
7. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
8. DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING AND THE PROTECTION OF ADJACENT PROPERTIES, STRUCTURES, STREETS AND UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA.
9. ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA.
10. THE CONTRACTOR SHALL NOTIFY TANIMURA & ASSOCIATES (PH. 536-1692) TWO (2) WORKING DAYS PRIOR TO BEGINNING ANY WORK WHICH WILL CONCEAL STRUCTURAL ELEMENT SUCH AS POURING CONCRETE (CONCEALING REINFORCING) OR SHEATHING WALLS (CONCEALING HOLD DOWN ANCHORS).

FOUNDATION

1. THE FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS IN THE FOUNDATION INVESTIGATION REPORT BY HIRATA & ASSOCIATES, INC. DATED JANUARY 23, 2018. UNLESS OTHERWISE INDICATED FOUNDATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS REPORT. THE REPORT IS PART OF THIS PLAN AND SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
2. MODULAR BUILDING FOUNDATION SHALL BEAR DIRECTLY ON THE UNDISTURBED CLAYEY SILT. ALL CAST IN PLACE CONCRETE FOOTINGS SHALL BE BOTTOMED A MINIMUM OF 12" BELOW THE LOWEST ADJACENT EXTERIOR GRADE. THE BOTTOM OF ALL FOOTING EXCAVATIONS SHALL BE COMPACTED, OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL OR CONCRETE.
3. SUBGRADE BELOW SLABS ON GRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES, MOISTURE CONDITIONED TO ABOUT TWO PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM 90 PERCENT COMPACTION AS DETERMINED BY ASTM D1557.
4. ALL WATER, MUD AND DEBRIS SHALL BE REMOVED FROM THE BOTTOM OF FOOTING EXCAVATIONS. THE BOTTOM OF FOOTING EXCAVATIONS SHALL BE THOROUGHLY TAMPED PRIOR TO THE PLACEMENT OF REINFORCING STEEL AND CONCRETE.
5. CONTRACTOR SHALL NOTIFY HIRATA & ASSOCIATES 4 WORKING DAYS PRIOR TO BEGINNING ANY FOUNDATION WORK (BOTTOM OF FOOTING, STRUCTURAL FILL, ETC.).

REINFORCED CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318-02.
2. ALL CONCRETE SHALL BE NORMAL WEIGHT (150 PCF) WITH AGGREGATES CONFORMING TO ASTM C-33. UNLESS OTHERWISE NOTED, THE COMPRESSIVE STRENGTHS OF CONCRETE AT 28 DAYS AND MAXIMUM AGGREGATE SIZES SHALL BE AS FOLLOWS:
- | | STRENGTH | AGGREGATE SIZE |
|-------------------------|----------|----------------|
| FOOTING & SLAB ON GRADE | 2500 PSI | 3/4" |
| OTHERS | 2500 PSI | 3/4" |
3. MAXIMUM WATER-CEMENT RATIO SHALL NOT EXCEED 0.55.
4. ALL REINFORCING STEEL EXCEPT TIES AND STIRRUPS SHALL CONFORM TO ASTM A615 GRADE 60. TIES, STIRRUPS AND REBARS TO BE WELDED SHALL BE ASTM A615 GRADE 40.

5. UNLESS OTHERWISE NOTED, SPLICES, LAPS, DOVEL EXTENSIONS AND EMBEDMENTS SHALL BE 40 BAR DIAMETERS BUT NOT LESS THAN 24" MINIMUM.
6. ALL REINFORCING BARS MARKED CONTINUOUS (CONT.) ON THE PLANS SHALL BE LAPPED 45 BAR DIAMETERS MINIMUM, BUT NOT LESS THAN 2'-0".
7. STAGGER ALL SPLICES WHERE POSSIBLE.
8. ALL WELDING OF REINFORCING SHALL CONFORM TO 'STRUCTURAL WELDING CODE - REINFORCING STEEL' (AWS D1.4).
9. REBARS SHALL BE SUPPORTED, BENT AND PLACED AS PER 'MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES' ACI 315 (LATEST).
10. MINIMUM COVER IN INCHES FOR REBARS FOR CAST-IN-PLACE CONCRETE:
- | | |
|-----------------------------|----|
| CONCRETE CAST AGAINST EARTH | 3" |
|-----------------------------|----|
- FORMED CONCRETE EXPOSED TO EARTH OR WEATHER:
- | | |
|----------------|--------|
| #5 AND SMALLER | 1-1/2" |
| #6 AND LARGER | 2" |
- CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
- | | |
|--------------------------|--------|
| SLABS, WALLS, AND JOISTS | 3/4" |
| BEAMS AND COLUMNS | 1-1/2" |
11. WELDED WIRE FABRIC SHALL BE GALVANIZED AND CONFORM TO ASTM A-185.
12. UNLESS OTHERWISE SHOWN LAP OUTERMOST CROSS WIRES OF EACH SHEET OF WELDED WIRE FABRIC ONE SPACING OF CROSS WIRES PLUS 2" MINIMUM.
13. AT TIME CONCRETE IS PLACED, REINFORCING SHALL BE FREE FROM MUD, OIL, LAITANCE OR OTHER COATINGS ADVERSELY AFFECTING BOND CAPACITY.
14. REINFORCEMENT, ANCHOR BOLTS, SIMPSON CONNECTORS, DOWELS AND ALL OTHER EMBEDDED ITEMS SHALL BE POSITIVELY SECURED BEFORE POURING.

WOOD

1. ALL WOOD STRUCTURAL MEMBERS SHALL BE DOUGLAS FIR MEETING THE FOLLOWING MINIMUM GRADES AS ESTABLISHED BY THE WESTERN WOOD PRODUCTS ASSOCIATIONS:
- | | |
|-------------------------|-----------------------|
| 6x & 4x BEAMS AND POSTS | NO. 1 OR BETTER |
| 2x RAFTERS | NO. 2 OR BETTER |
| 2x EXTERIOR STUDS | NO. 1 OR CONSTRUCTION |
2. WOOD SHALL BE SEPARATED FROM DIRECT CONTACT WITH CONCRETE AND MASONRY WITH A LAYER OF 30# FELT.
3. PROVIDE STANDARD WASHERS AT ALL BOLTS AND NUTS BEARING ON WOOD.
4. NOTCHING OF JOISTS SHALL BE LIMITED TO CUT OR BORED HOLES NOT DEEPER THAN 1/3 THE JOIST DEPTH FROM THE TOP AND LOCATED NOT FURTHER FROM THE END THAN 3 TIMES THE JOIST DEPTH. HOLES THROUGH PLATES AND STUDS SHALL BE CENTERED IN THE MEMBER AND NOT EXCEED 1/3 THE PLATE WIDTH.
5. ALL PREFABRICATED METAL HANGERS AND CONNECTORS NOTED IN THE DRAWINGS ARE 'SIMPSON STRONG TIE CONNECTORS' WITH 'Z-MAX' COATING.
6. MINIMUM NAILING SHALL COMPLY WITH TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE AND THE NAILING SCHEDULE BELOW. WHERE CONFLICTS OCCUR THE MORE SEVERE SHALL GOVERN.
7. ALL WOOD STRUCTURAL MEMBERS SHALL BE TREATED WITH AN APPROVED PROCESS AGAINST ROT AND INSECT DAMAGE.

NAILING

1. ALL NAILS FOR STRUCTURAL FRAMING SHALL BE GALVANIZED COMMON WIRE NAILS UNLESS OTHERWISE NOTED.
2. PREDRILL HOLES AS REQUIRED TO PREVENT SPLITTING.
3. SINKING OF NAIL HEADS IS PROHIBITED.
4. UNLESS OTHERWISE NOTED, THE FOLLOWING MINIMUM NAILING SHALL APPLY:
- | | |
|---------------------------------------|---------------|
| JOIST OR RAFTER AT BEARING (TOE NAIL) | 3-10d |
| STUDS TO PLATE (TOE NAIL) | 3-8d |
| END NAIL THRU PLATE | 2-16d |
| DOUBLE TO PLATE - TYPICAL | 16d @ 16"o.c. |
| EACH SIDE OF SPLICE | 6-16d |
| AT CORNERS | 2-16d |
-
- | | |
|---|---------------|
| BUILT-UP AND CORNER STUDS | 16d @ 24"o.c. |
| BLOCKING (TOE NAIL) | 3-10d |
| END NAIL | 2-16d |
| CEILING JOIST OVER PARTITION (TOE NAIL) | 3-16d |
| CEILING JOIST TO PARALLEL RAFTER | |
| FACE NAIL | 3-16d |
| RIM JOIST OR BLOCKING TO TOP PLATE | 16d @ 16"o.c. |

MODULAR BUILDING

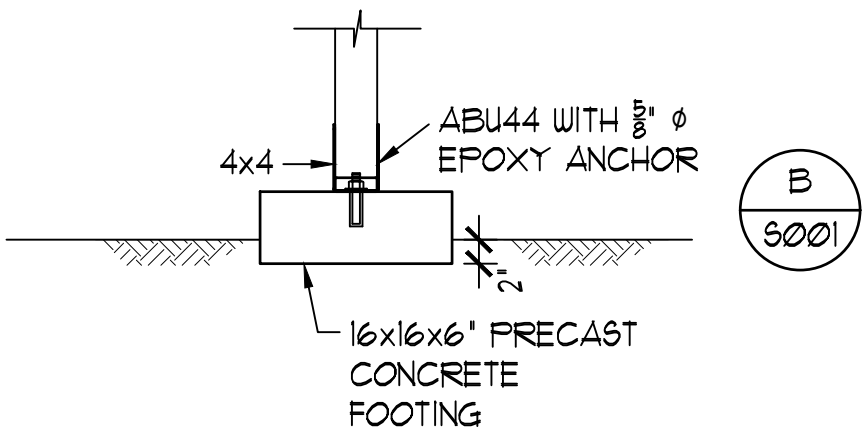
1. ALL WORK SHALL CONFORM TO THE 2006 INTERNATIONAL BUILDING CODE, ASCE 7-05 AND CRITERIA NOTED HEREIN OR IN THE OTHER CONTRACT DOCUMENTS.
2. SHOP DRAWINGS, CALCULATIONS AND OTHER SUBMITTALS SHALL BE SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF HAWAII AND SUBMITTED TO THE ARCHITECT FOR APPROVAL.
3. PROVIDE AND INSTALL ANCHOR BOLT STEEL TEMPLATES FOR COLUMN ANCHOR BOLTS PRIOR TO CONCRETE POUR.
4. WHEN COMPUTING WIND UPLIFT, THE ACTUAL DEAD LOAD SHALL BE USED WHEN IT IS LESS THAN THE SPECIFIED DEAD LOAD.
5. A MINIMUM OF 1' OF NON-SHRINK LEVELING GROUT SHALL BE USED UNDER ALL COLUMN BASE PLATES. BUILDING MANUFACTURER SHALL ENSURE THAT ANCHOR BOLT PROJECTION ABOVE THE SLAB ACCOUNTS FOR THE GROUT.
6. MODULAR BUILDING FOOTINGS ARE SHOWN FOR COMPLETENESS. THE FOOTING LOCATIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED WITH THE MODULAR BUILDINGS DRAWINGS. THE FOOTING LENGTH, WIDTH, THICKNESS, REINFORCING AND ANCHOR BOLT EMBEDMENT WILL BE DESIGNED BY THE STRUCTURAL ENGINEER OF RECORD AFTER THE MODULAR BUILDING DESIGNER SUBMITS THE COLUMN AND WALL REACTIONS FOR REVIEW AND APPROVAL. COLUMN AND WALL REACTIONS SHALL BE LISTED BY LOAD CASE, USING UNFACTORED LOADS. MAXIMUM VERTICAL AND HORIZONTAL REACTIONS SHALL BE CLEARLY NOTED. THE CONTRACTOR SHALL TREAT THE FOOTING DESIGN AS A VARIABLE QUANTITY BECAUSE THE FOOTING SIZES AND REINFORCING MAY CHANGE FROM WHAT IS SHOWN.
7. THE MODULAR BUILDING DESIGNER SHALL BE RESPONSIBLE FOR DESIGNING THE SUPER STRUCTURE (RAFTERS, BEAMS, STUDS, COLUMNS, DIAPHRAGMS, SHEAR WALLS, AND DRAG STRUTS, ETC.) ABOVE THE FOUNDATION IN ADDITION TO THE SIZE AND QUANTITY OF ALL ANCHOR BOLTS. THE MODULAR BUILDING DESIGNER SHALL BE HIRED AND PAID FOR BY THE CONTRACTOR. THE COST OF THE WORK FOR THE MODULAR BUILDING DESIGN SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

DESIGN CRITERIA

1. CODES: 2006 INTERNATIONAL BUILDING CODE. MODULAR BUILDINGS SHALL BE DESIGNED ACCORDING TO THESE VALUES.
2. FOUNDATION DESIGN CRITERIA
- | | |
|-------------------------|----------|
| ALLOWABLE BEARING | 3000 PCF |
| PASSIVE RESISTANCE | 300 PCF |
| COEFFICIENT OF FRICTION | 0.4 |
3. SEISMIC LATERAL FORCES
- | | |
|---------------------------|-------|
| SITE CLASS | D |
| OCCUPANCY CATEGORY | II |
| SEISMIC DESIGN CATEGORY | D |
| SEISMIC IMPORTANCE FACTOR | 1.0 |
| MAPPED SPECTRAL RESPONSE | |
| S _a | 0.792 |
| S ₁ | 0.209 |
| S _{D5} | 0.623 |
| S _{D1} | 0.215 |
4. LIVE LOADS
- | | |
|-------------------------|--------|
| ROOF | 20 PSF |
| OFFICE | 50 PSF |
| PARTITION LOAD (OFFICE) | 15 PSF |
| DECK | 50 PSF |

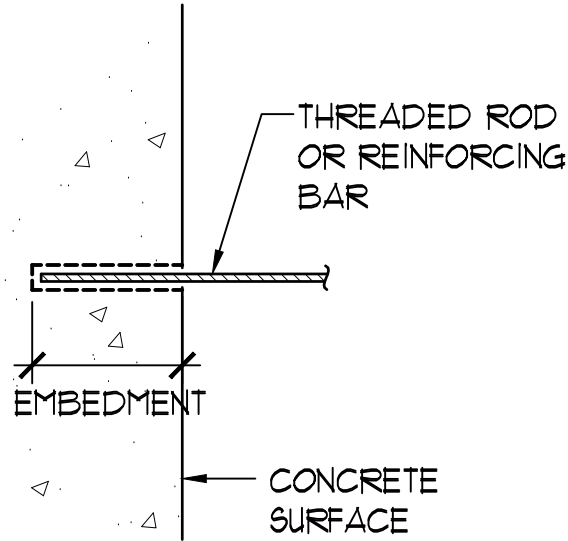
SPECIAL INSPECTION

1. ITEMS REQUIRING SPECIAL INSPECTION:
- REINFORCING STEEL (PERIODIC)
 - COMPLETE LOAD PATH AND UPLIFT TIES
2. NOTIFY SPECIAL INSPECTOR 4 WORKING DAYS PRIOR TO NEED OF INSPECTION SERVICES. WORK SHALL NOT PROCEED UNTIL SPECIAL INSPECTION HAS BEEN COMPLETED. CONTRACT SHALL CORRECT DEFECTIVE WORK AT NO ADDITIONAL COST TO THE OWNER AND PAY COST FOR RE-INSPECTION.
3. CONCRETE DESIGNED USING f'c=2500 PSI. SPECIAL INSPECTION NOT REQUIRED.
4. SPECIAL INSPECTOR IS REQUIRED TO BE CERTIFIED WITH THE INTERNATIONAL CODE COUNCIL AND DOES NOT HAVE TO BE A LICENSED STRUCTURAL ENGINEER.



TYPICAL EXTERIOR FOOTING (F1)

SC: 3/4"=1'-0"



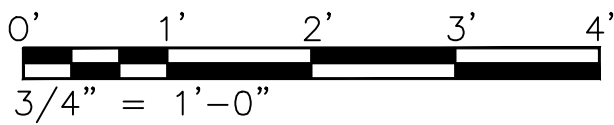
THREADED ROD (REBAR)	DRILL BIT DIAMETER	MINIMUM EMBEDMENT
1/2"φ (#4)	5/8"	4"
5/8"φ (#5)	3/4"	6"
3/4"φ (#6)	7/8"	7"
7/8"φ (#7)	1"	8"

NOTES:

- A. PRE APPROVAL FOR SIMPSON STRONG TIE SET-XP EPOXY TIE ADHESIVE. ALL SUBSTITUTION REQUEST SHALL BE SUBMITTED WITH CURRENT ICC-ES REPORT TO ENGINEER FOR REVIEW AND APPROVAL.
- B. ALL THREAD ROD SHALL BE CARBON STEEL CONFORMING TO ASTM F1554, GRADE 36 HOT DIP GALVANIZED. REINFORCING BAR SHALL BE ASTM A615 GRADE 60.
- C. PRE DRILL HOLE WITH DRILL BIT COMPLYING WITH ANSI B212.15-1994.
- D. CLEAN HOLE WITH OIL FREE COMPRESSED AIR (80 PSI MINIMUM) AND NYLON BRUSH.
- E. FILL HOLE HALF TO TWO THIRDS FULL WITH ADHESIVE STARTING FROM BOTTOM, THEN INSERT ANCHOR TO BOTTOM OF HOLE AND TWIST CLOCKWISE TO ENSURE ADHESIVE COVERS THE ANCHOR SURFACE. ADHESIVE MUST BE LEVEL WITH CONCRETE SURFACE AFTER INSERTION OF ANCHOR.
- F. ANCHOR INSTALLATION REQUIRES SPECIAL INSPECTION.

EPOXY ANCHOR DETAIL

NO SCALE



◀			
◀			

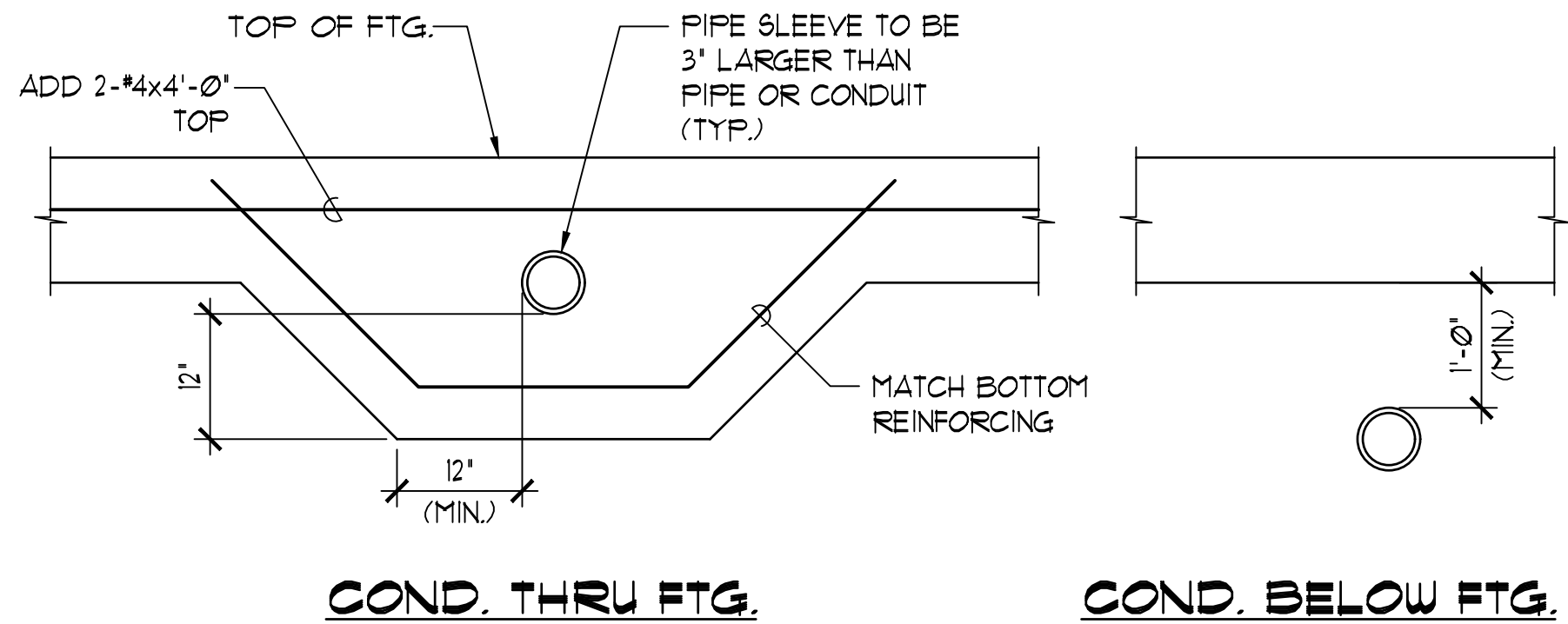
DEPARTMENT OF HAWAIIAN HOME LANDS

HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER

GENERAL NOTES

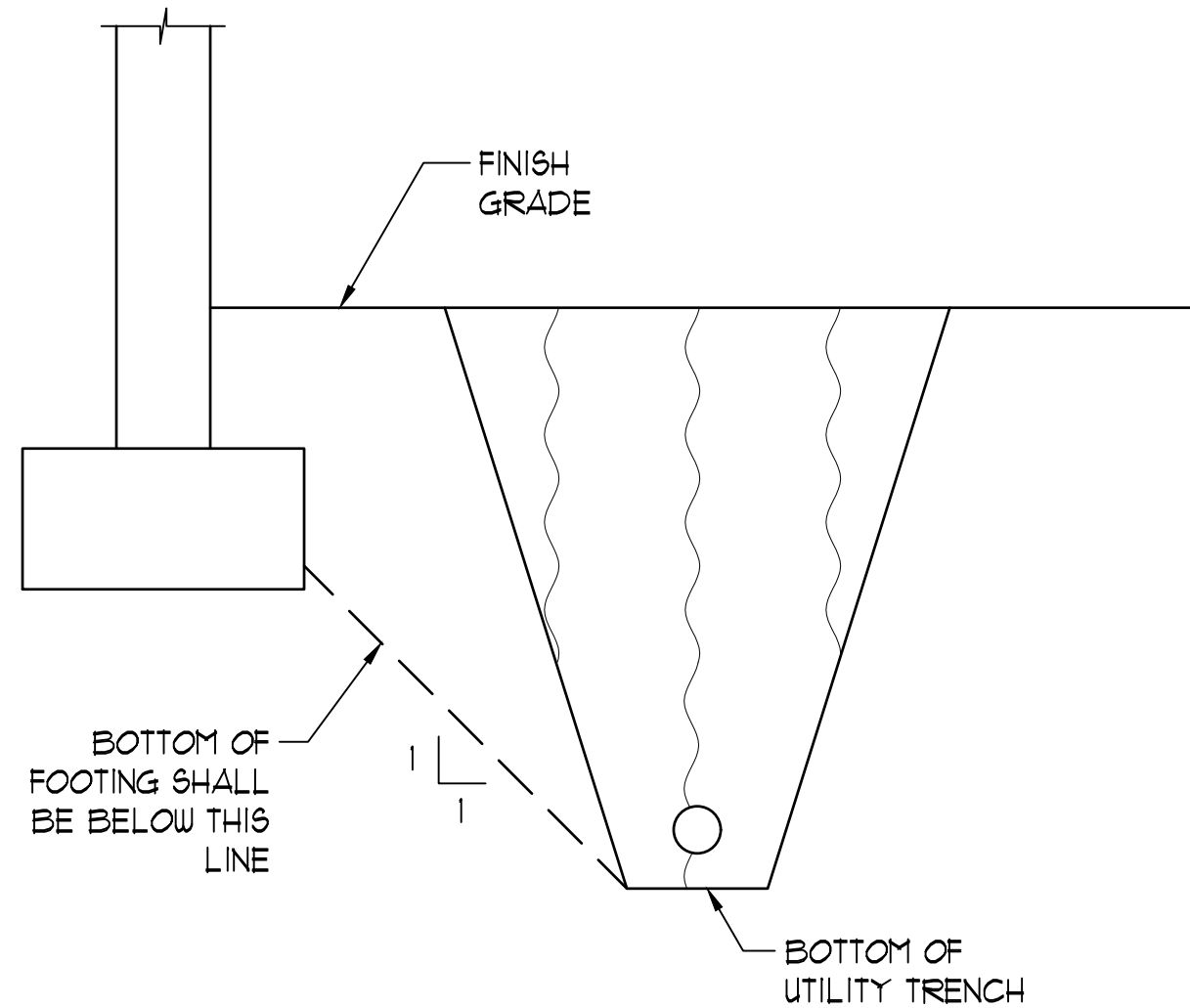
DESIGNED BY: AL CHECKED BY: AL DRAWN BY: JM

APRIL 2018



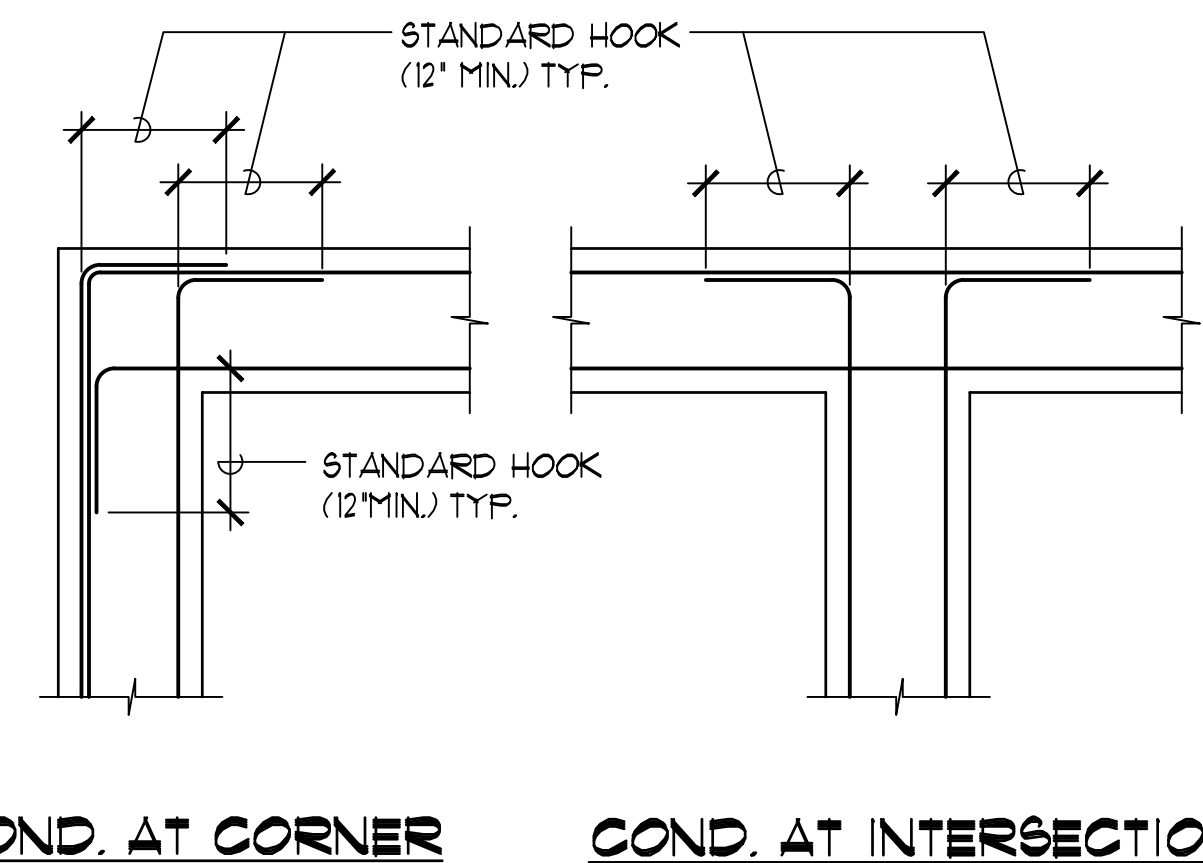
TYPICAL PIPES & CONDUITS AT FOOTING DETAIL
 SC: 3/4" = 1'-0"

A
 S101



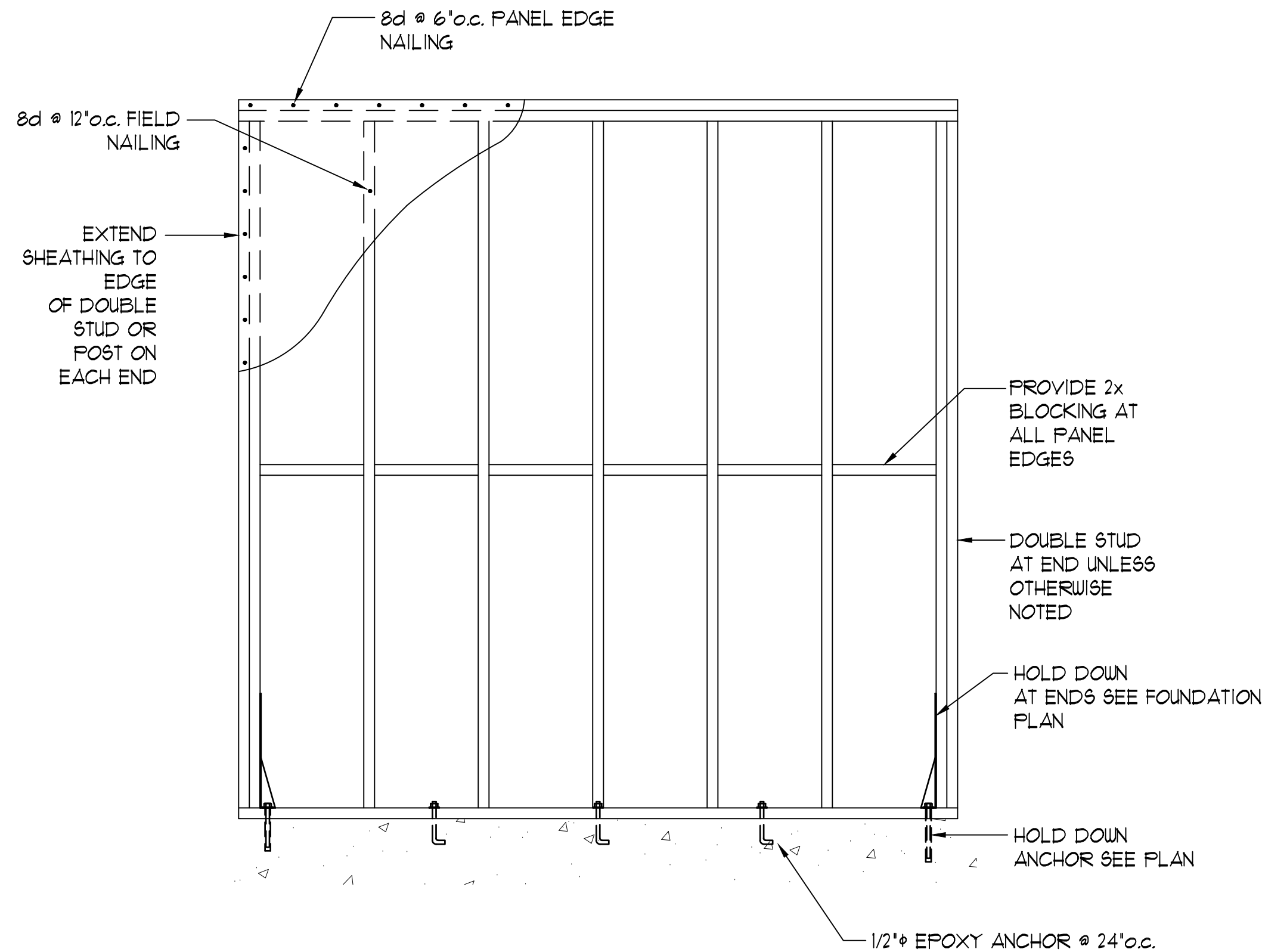
FOOTING ADJACENT TO UTILITY TRENCH
 NO SCALE

B
 S101



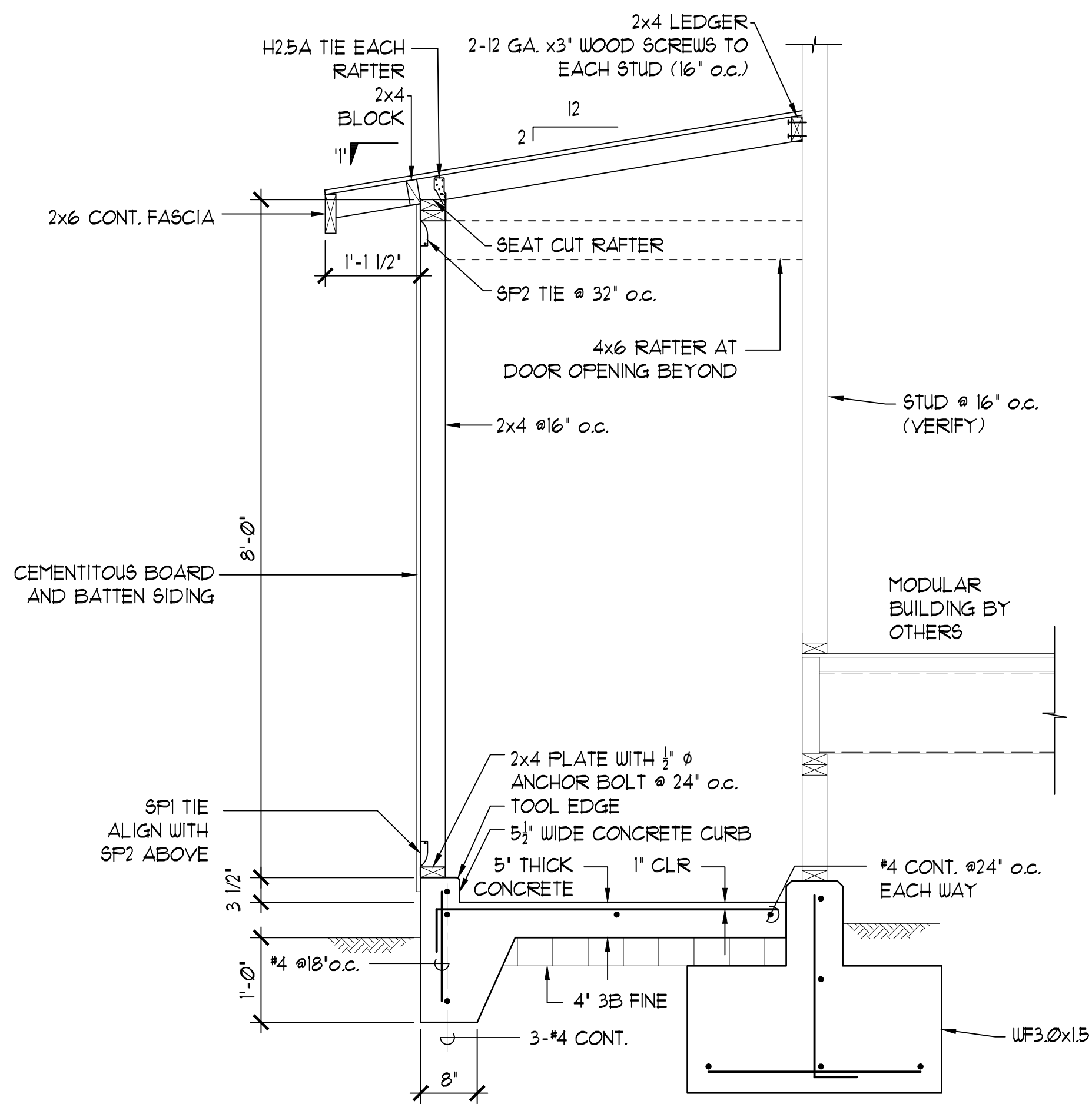
**TYP. REINFORCING
 PLAN FOR CONC. FOOTINGS**
 NOT TO SCALE

C
 S101



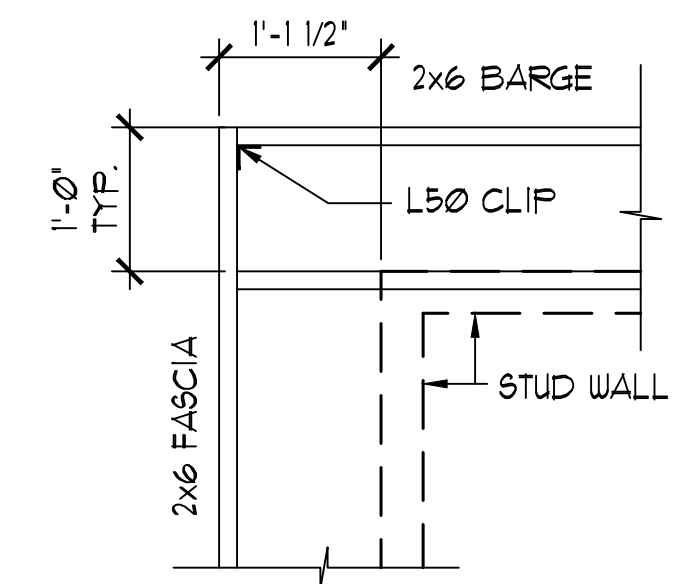
SHEAR WALL DETAILS
 NO SCALE

D
 S101

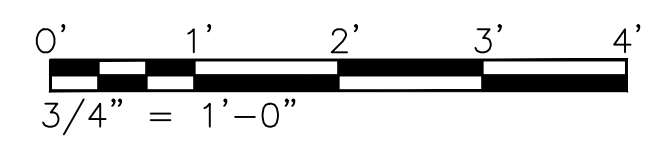


SECTION THROUGH WATER HEATER CLOSET
 NO SCALE

E
 S101





1' PLAN - RAFTERS AT CORNER



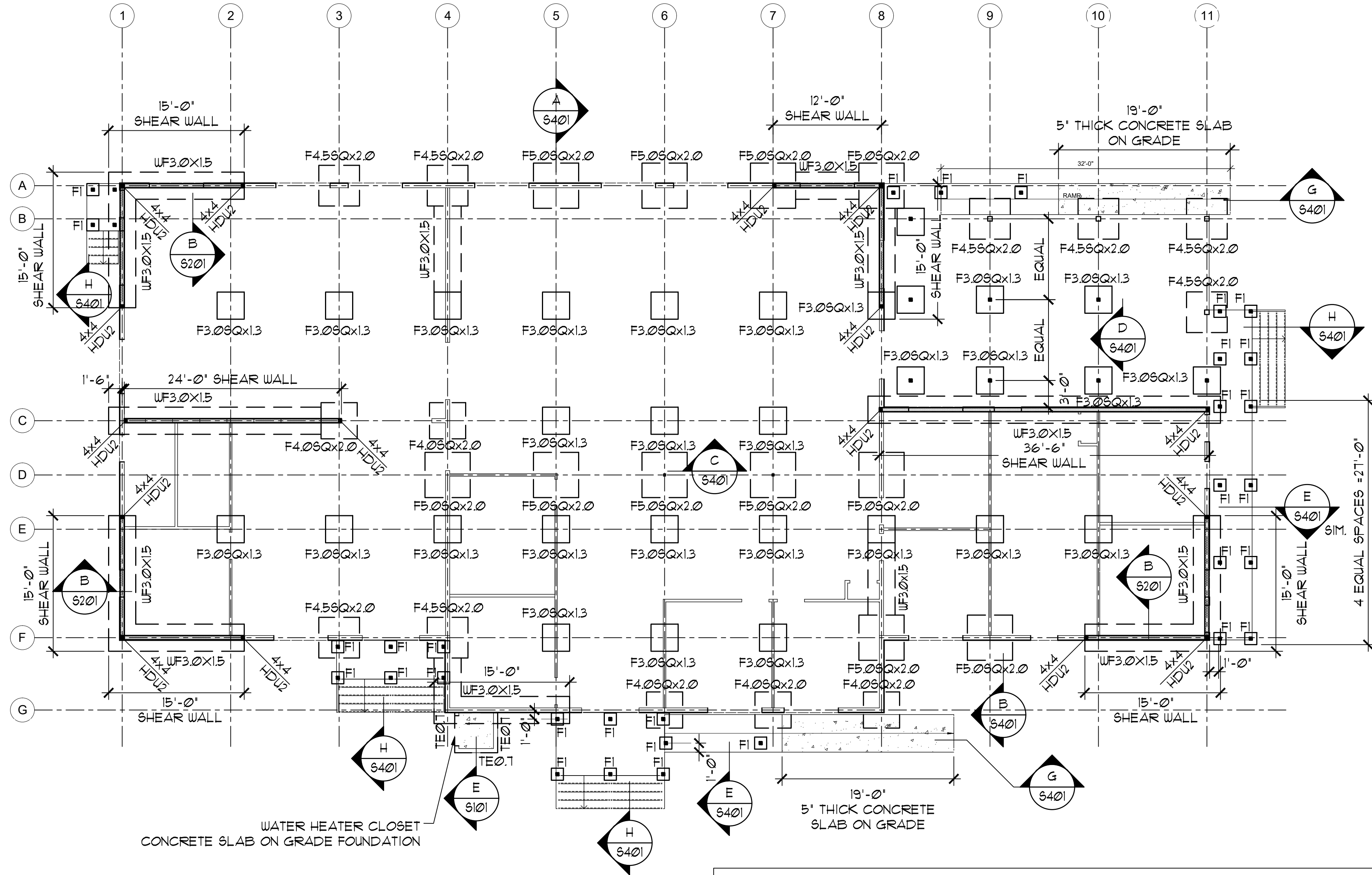
ADRIAN C.W. LEE
 LICENSED PROFESSIONAL ENGINEER
 No. 9164-S
 HAWAII, U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION. OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/29/94).

Adrian Lee
 SIGNATURE
 LICENSE EXP. DATE: APRIL 30, 2020

				
				
DEPARTMENT OF HAWAIIAN HOME LANDS				
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER				
TYPICAL DETAILS				
DESIGNED BY: AL	CHECKED BY: AL	DRAWN BY: JM		
APRIL 2018				

PERMIT SET
 DWG. NO. **S101**
 SHEET 420F 57

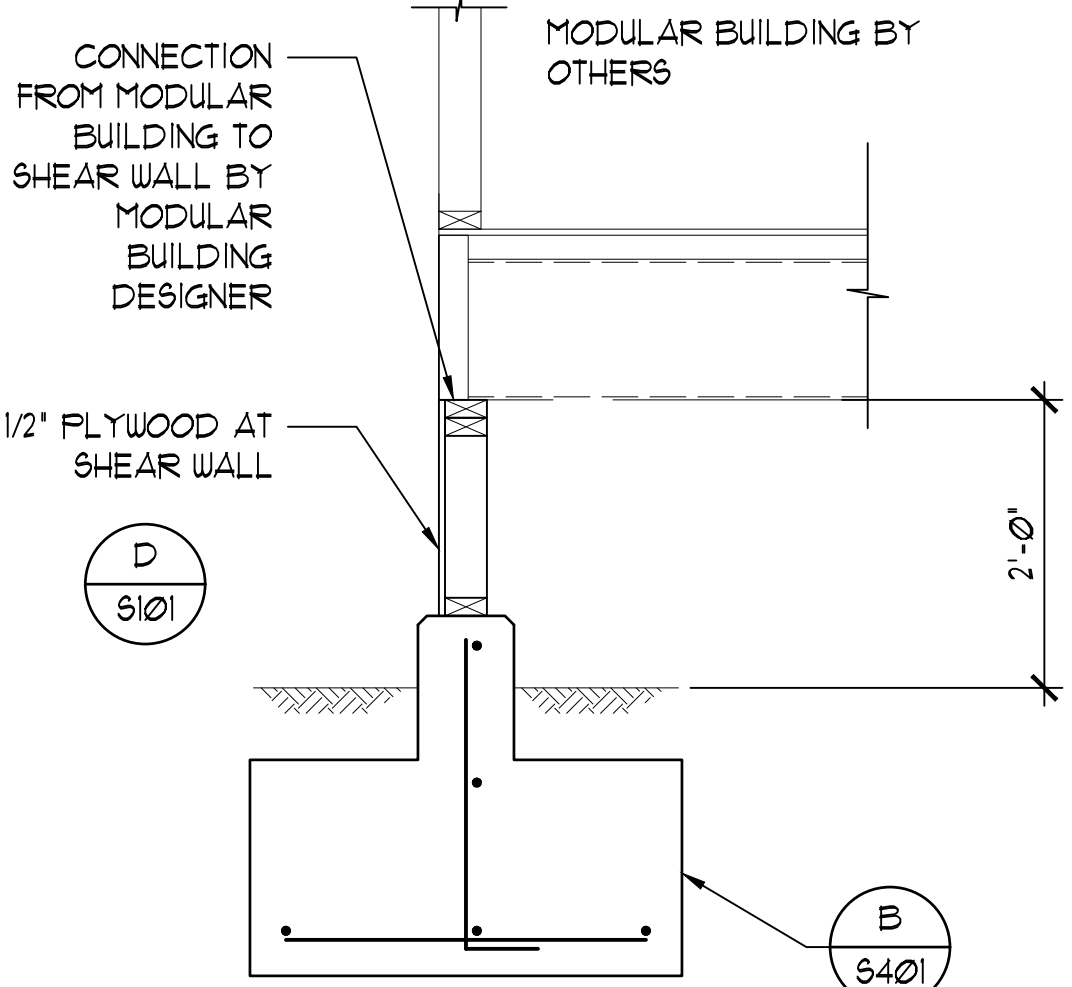


- NOTES:
- MODULAR BUILDING ROOF AND FLOOR FRAMING BY OTHERS
 - SHEAR WALL INDICATES 1/2" THICK PLYWOOD SHEAR WALL BELOW THE BUILDING.

FOUNDATION PLAN

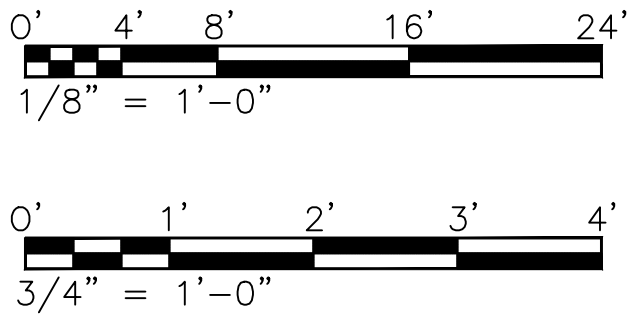
SC: 1/8"=1'-0"

FOOTING SCHEDULE						
MARK	LENGTH	WIDTH	THICKNESS	BOTTOM REINFORCING	TOP REINFORCING	NOTE
FI	16'	16'	1'-6"	--	--	PRECAST CONCRETE
F3.0S Qx1.3	3'-0"	3'-0"	1'-4"	4-#4 EACH WAY	--	
F4.0S Qx2.0	4'-0"	4'-0"	2'-0"	6-#4 EACH WAY	6-#4 EACH WAY	
F4.5S Qx2.0	4'-6"	4'-6"	2'-0"	6-#4 EACH WAY	6-#4 EACH WAY	
F5.0S Qx2.0	5'-0"	5'-0"	2'-0"	5-#5 EACH WAY	5-#5 EACH WAY	
WF3.0x15	VARIES	3'-0"	1'-6"	3-#4 CONT. LONG #4 @12" O.C. SHORT	--	



SHEAR WALL FOOTING

SC: 3/4"=1'-0"



PERMIT SET
DWG. NO. **S201**
SHEET 430F 57

ADRIAN C.W. LEE
LICENSED PROFESSIONAL ENGINEER
No. 9164-S
HAWAII, U.S.A.

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Adrian Lee
SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

DEPARTMENT OF HAWAIIAN HOME LANDS

HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER

FOUNDATION PLAN

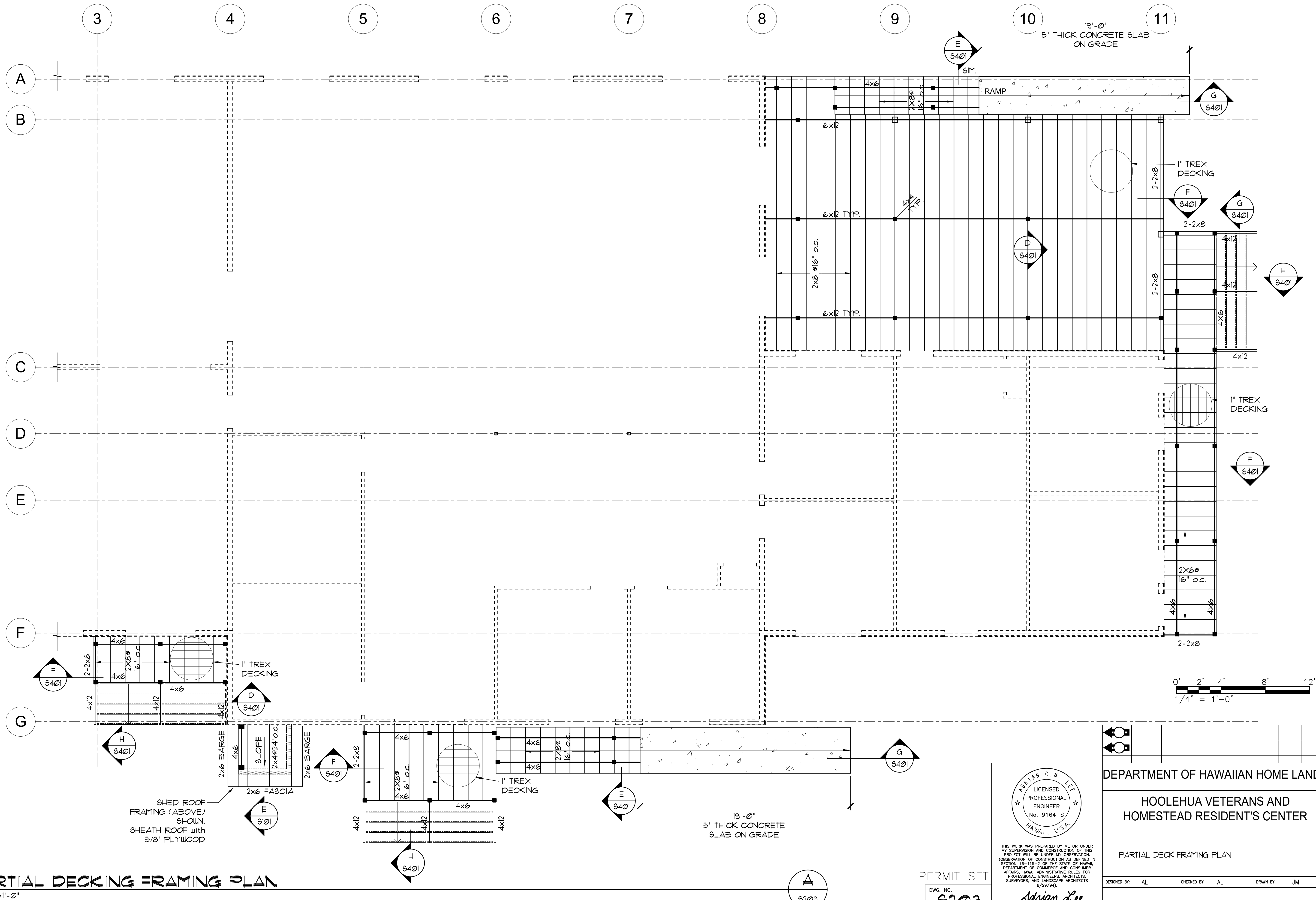
DESIGNED BY: AL CHECKED BY: AL DRAWN BY: JM

APRIL 2018

FILE: D:\HLL Hoolehua Vet Homestead Center Structural.dwg
DATE REV: 11/05/2018

PARTIAL DECK FRAMING PLAN

SC: 1/4"=1'-0"



ADRIAN C.W. LEE
★ LICENSED PROFESSIONAL ENGINEER ★
No. 9164-S
HAWAII, U.S.A.

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Adrian Lee
SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

PERMIT SET
DWG. NO. **S203**
SHEET 45 OF 57

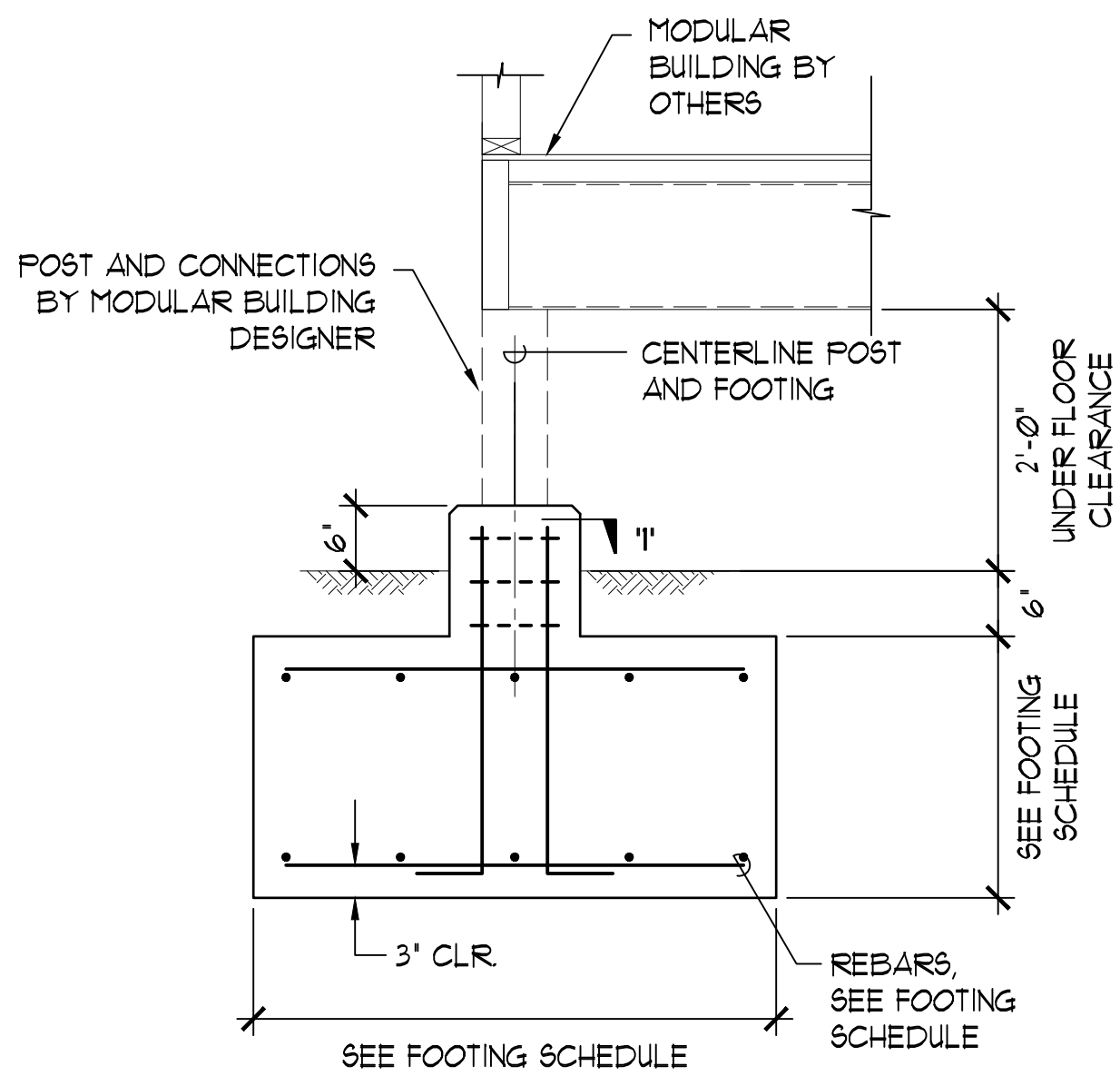
DEPARTMENT OF HAWAIIAN HOME LANDS

HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER

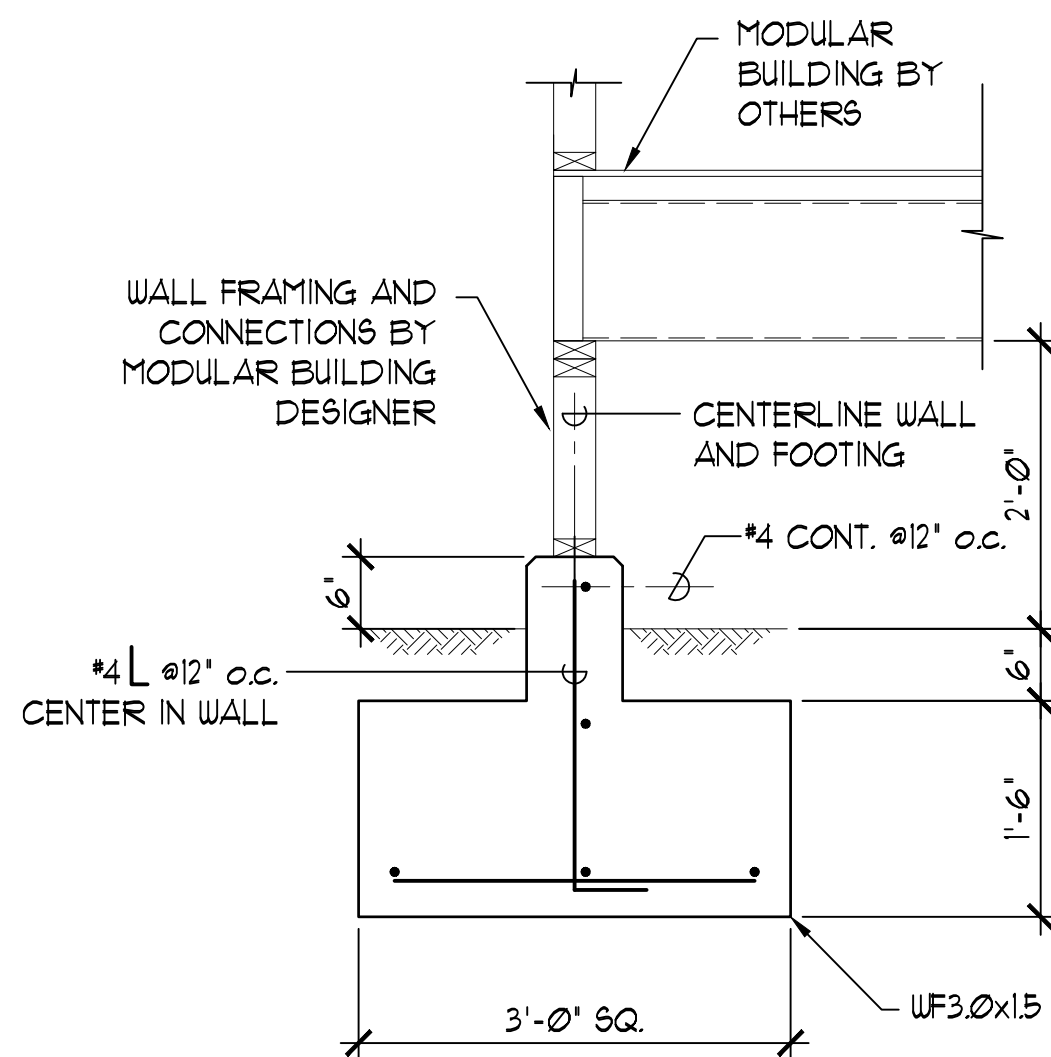
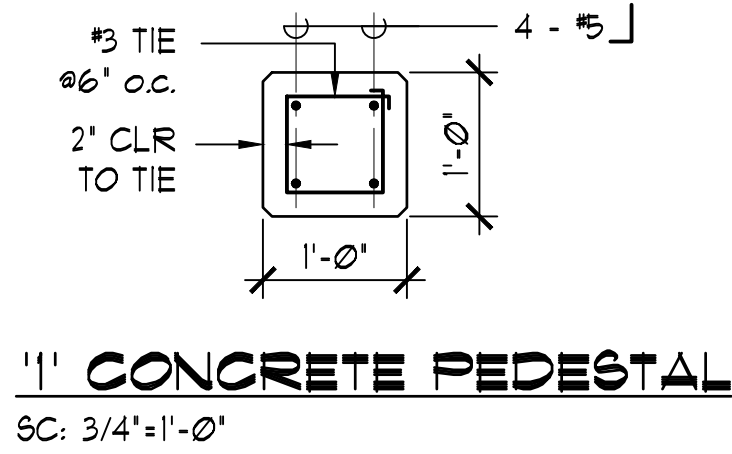
PARTIAL DECK FRAMING PLAN

DESIGNED BY: AL CHECKED BY: AL DRAWN BY: JM

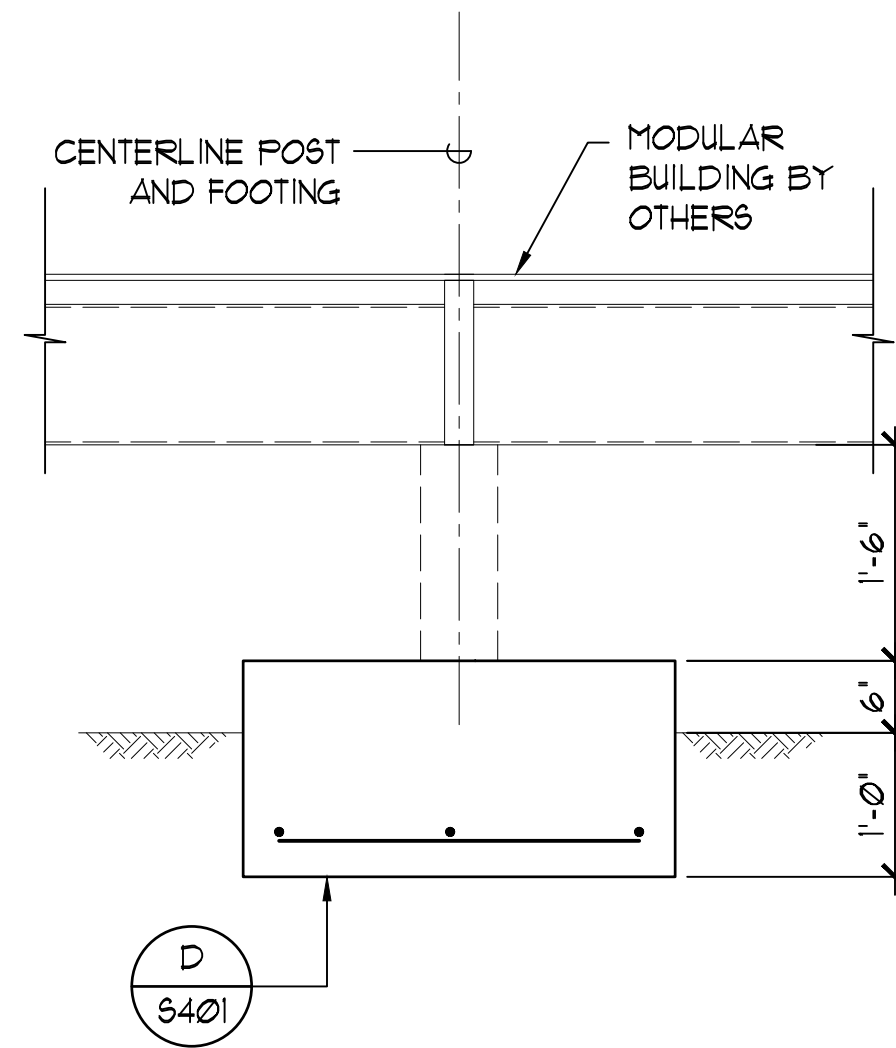
APRIL 2018



TYPICAL PETIMETER SPOT FOOTING
SC: 3/4"=1'-0"

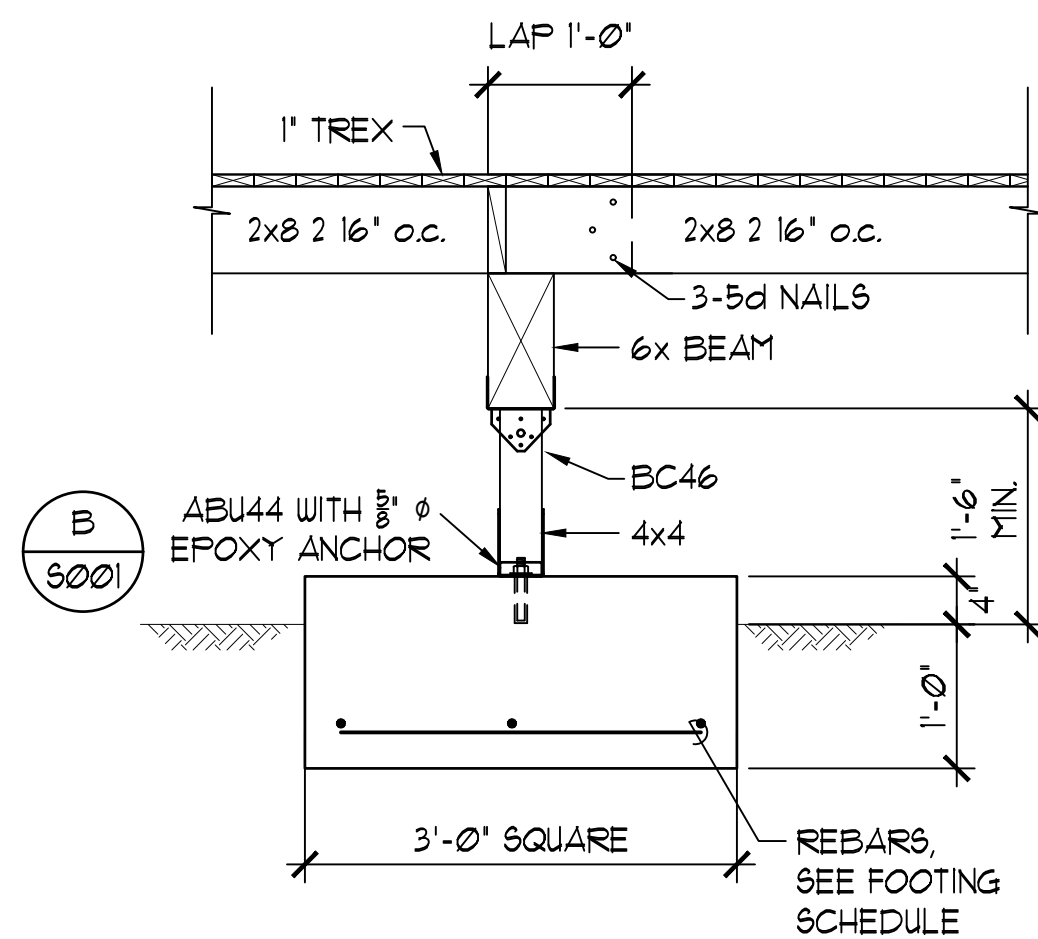


TYPICAL PETIMETER WALL FOOTING
SC: 3/4"=1'-0"

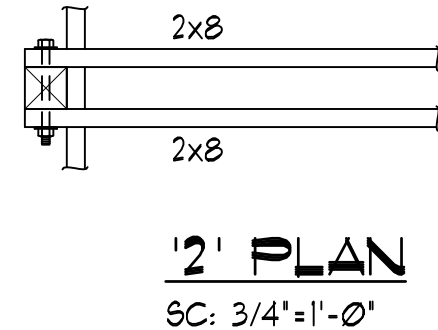


NOTE:
FOR FOOTING DIMENSIONS AND
REINFORCING SEE FOOTING
SCHEDULE ON A/S202

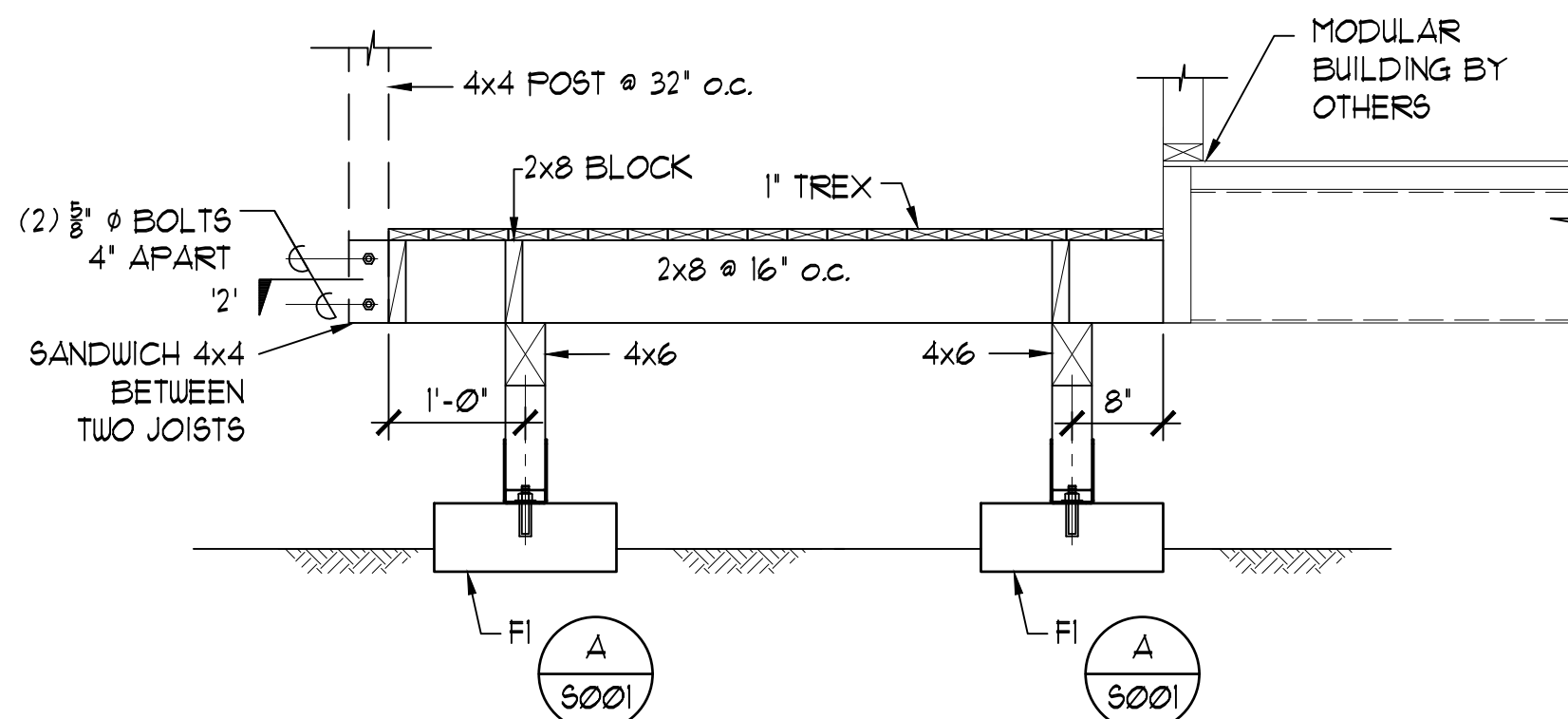
TYPICAL INTERIOR SPOT FOOTING
SC: 3/4"=1'-0"



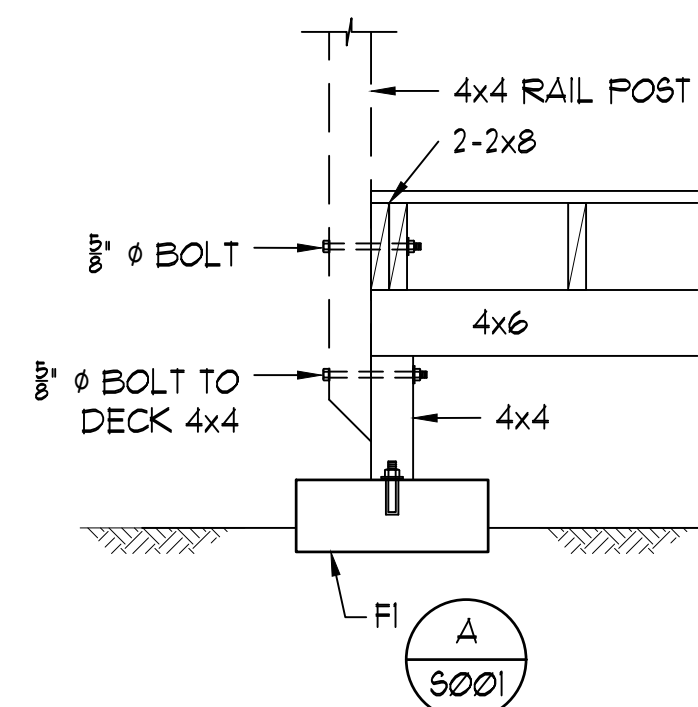
F3.06Qx1.3 INTERIOR SPOT FOOTING AT DECK
SC: 3/4"=1'-0"



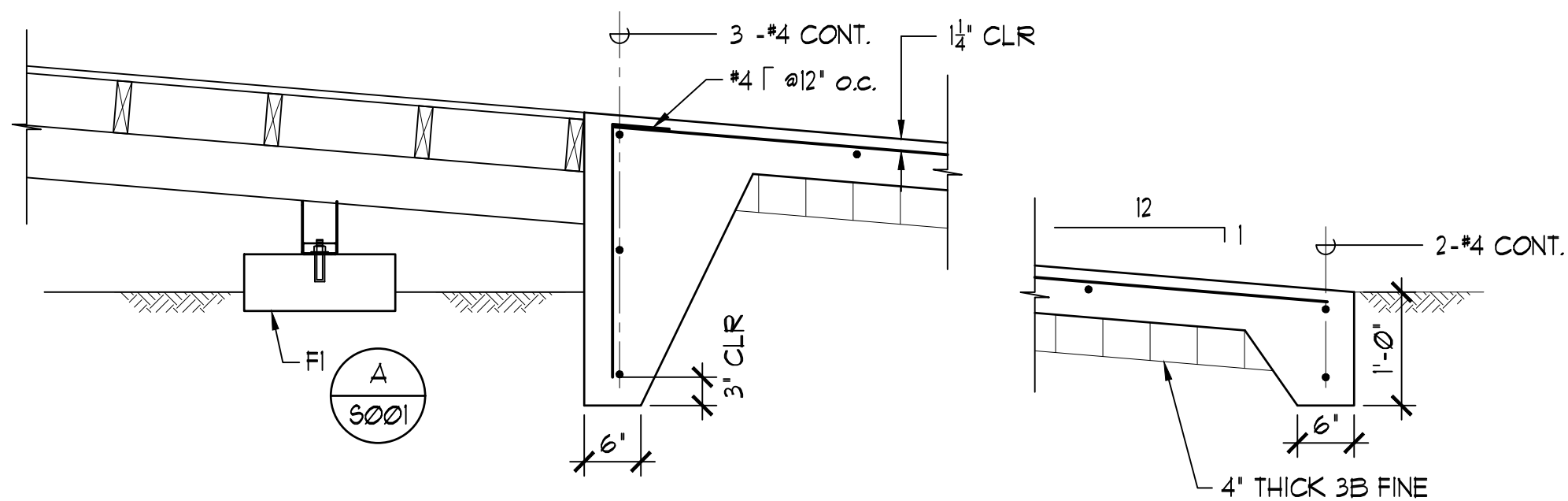
SECTION AT RAMP
SC: 3/4"=1'-0"



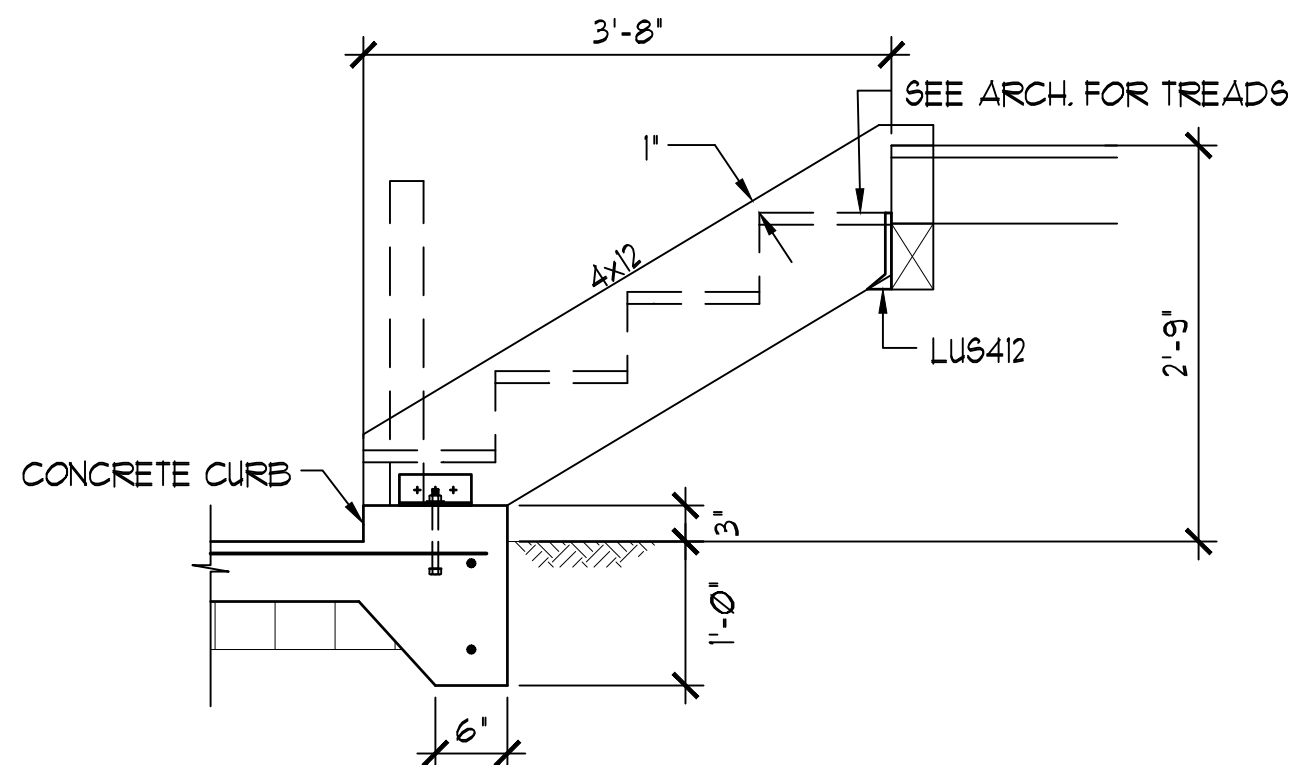
SECTION AT STAIRS
SC: 3/4"=1'-0"



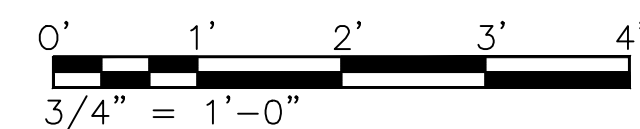
DETAIL
SC: 3/4"=1'-0"



SECTION AT RAMP
SC: 3/4"=1'-0"



SECTION AT STAIRS
SC: 3/4"=1'-0"





ADRIAN C.W. LEE
LICENSED PROFESSIONAL ENGINEER
No. 9164-S
HAWAII, U.S.A.

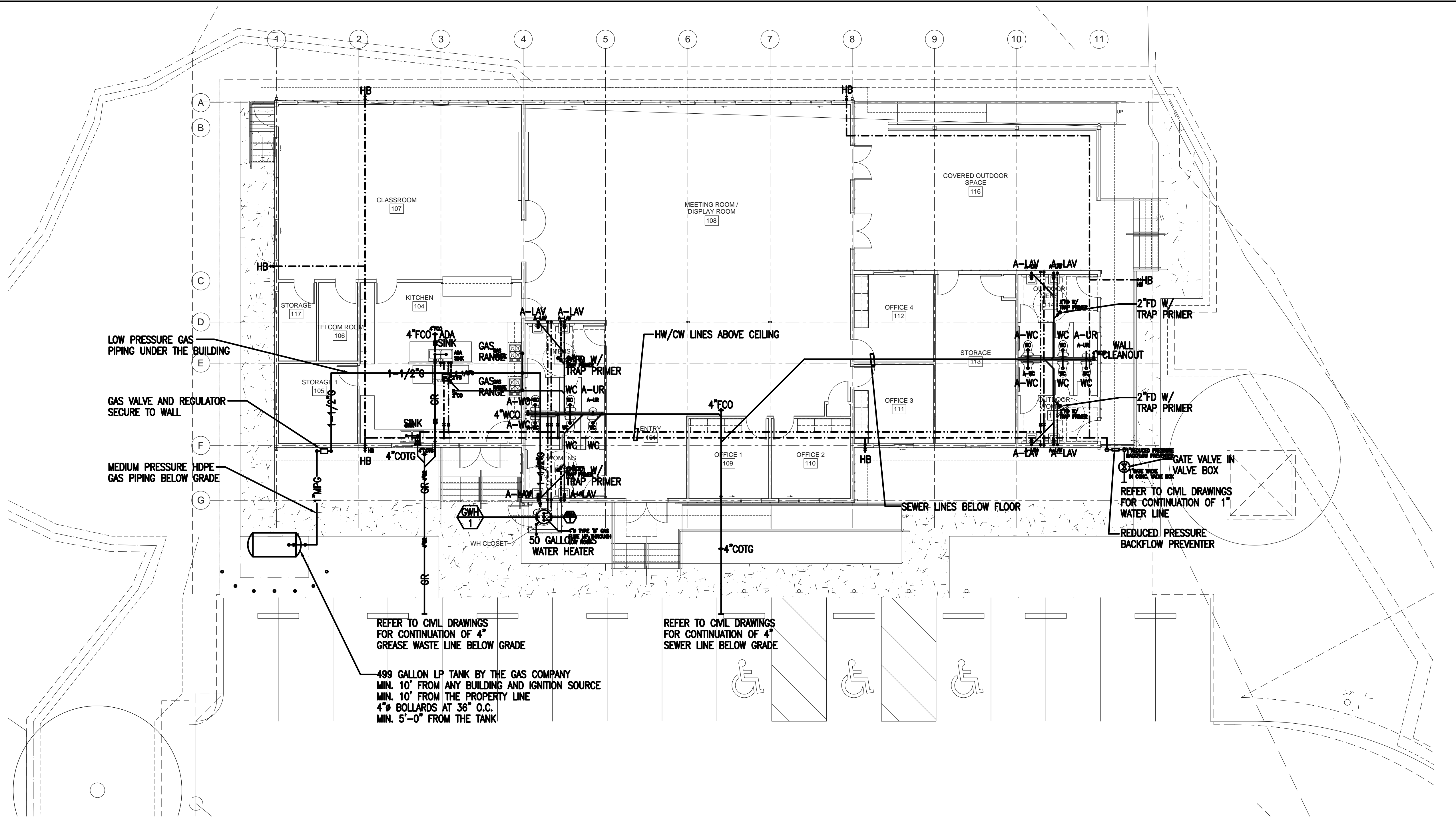
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SIGNATURE
Adrian Lee
LICENSE EXP. DATE: APRIL 30, 2020

PERMIT SET
DWG. NO. **S401**
SHEET 460F 57

				
				
DEPARTMENT OF HAWAIIAN HOME LANDS				
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER				
DETAILS				
DESIGNED BY:	AL	CHECKED BY:	AL	DRAWN BY: JM
APRIL 2018				

FILE: 18-10 DMH.mxd
DATE REV.: 11/08/2018



FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"

COUNTY OF MAUI
MAUI COUNTY CODE, CHAPTER 16.16A ENERGY CODE

To the best of my knowledge, this project's design substantially conforms to the Energy Code for:

Building Component Systems
Electrical Component Systems
X Mechanical Component Systems

Signature: *R. Murayama* Date: 04/25/18
Name: Randolph H. Murayama, P.E.
Title: Mechanical Engineer
License No.: 3404-M

MECHANICAL LEGEND

HW HOT WATER
CW COLD WATER
S SEWER
V VENT
GR GREASE WASTE
A ACCESSIBLE
LAV LAVATORY
UR URINAL
WC WATER CLOSET
WCO WALL CLEANOUT
COTG CLEANOUT TO GRADE
HB HOSE BIBB
EXH EXHAUST
GWH GAS WATER HEATER

FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH NFPA 1 2012 EDITION

RANDOLPH H. MURAYAMA
LICENSED PROFESSIONAL ENGINEER
No. 3404-M
HAWAII, U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION. (OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/23/94).

R. Murayama

DEPARTMENT OF HAWAIIAN HOMELANDS

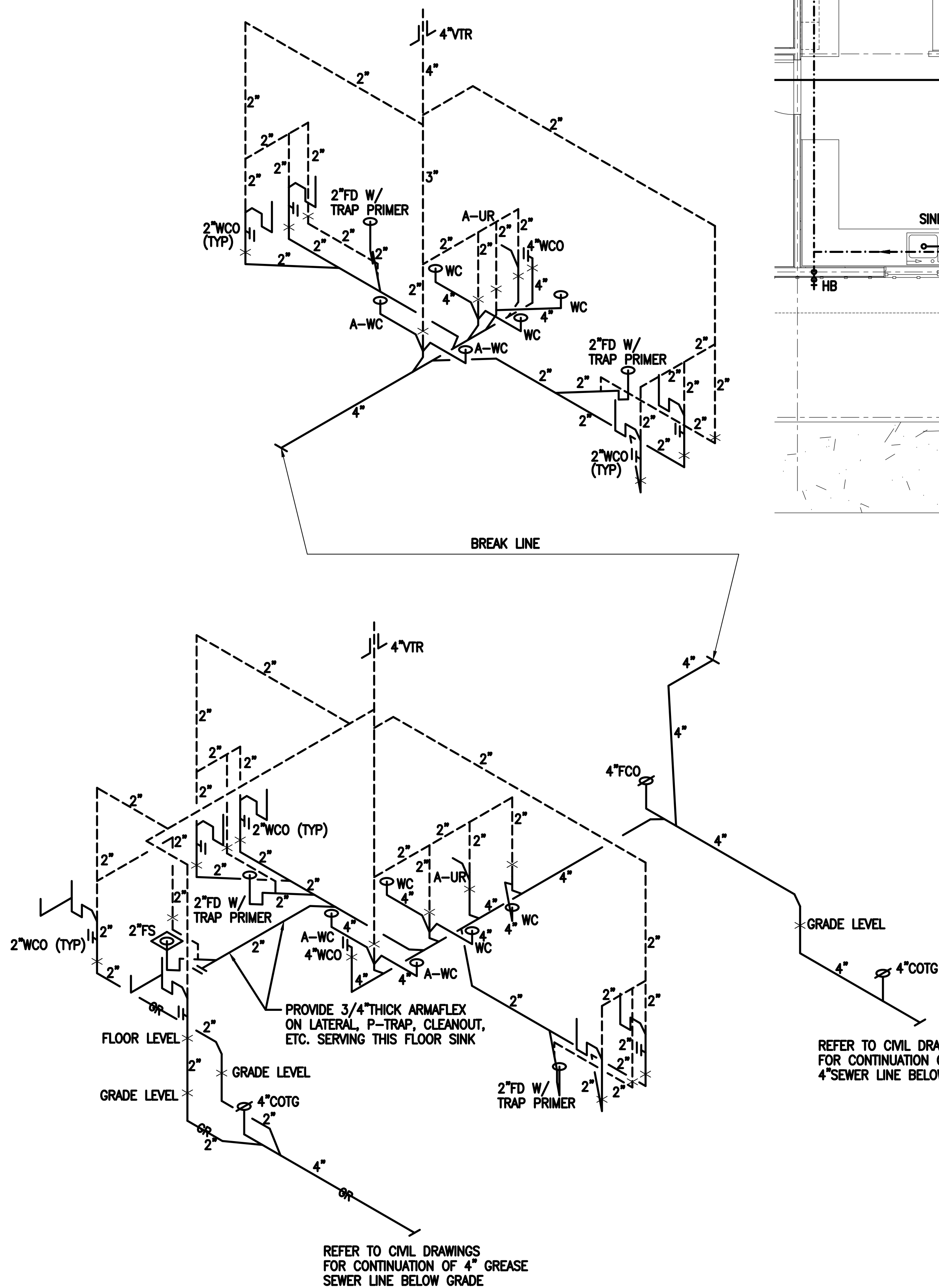
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER

FLOOR PLAN - PLUMBING
MECHANICAL LEGEND

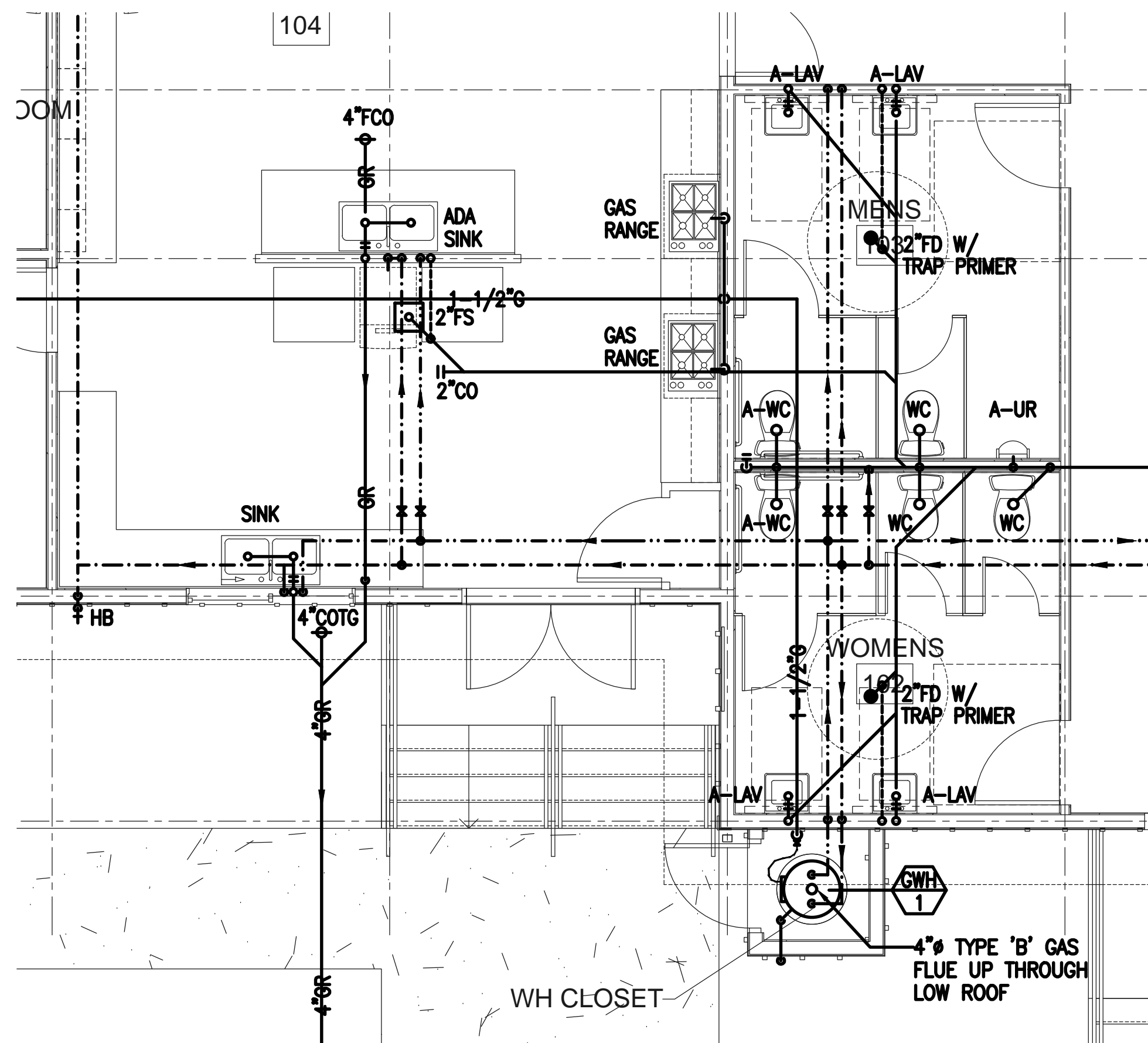
DESIGNED BY: LS CHECKED BY: RM DRAWN BY: RMA

M100
4/25/18

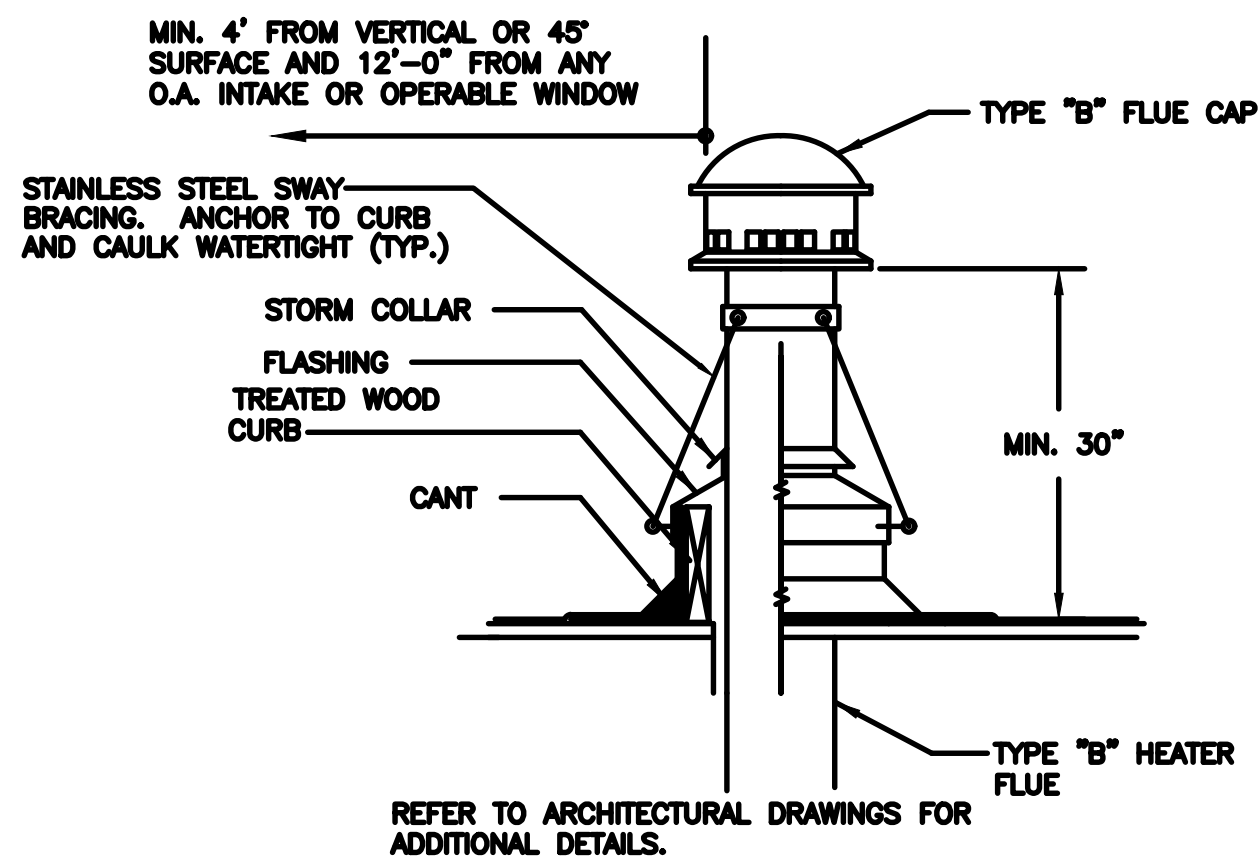
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DATE REV: 11/08/2018



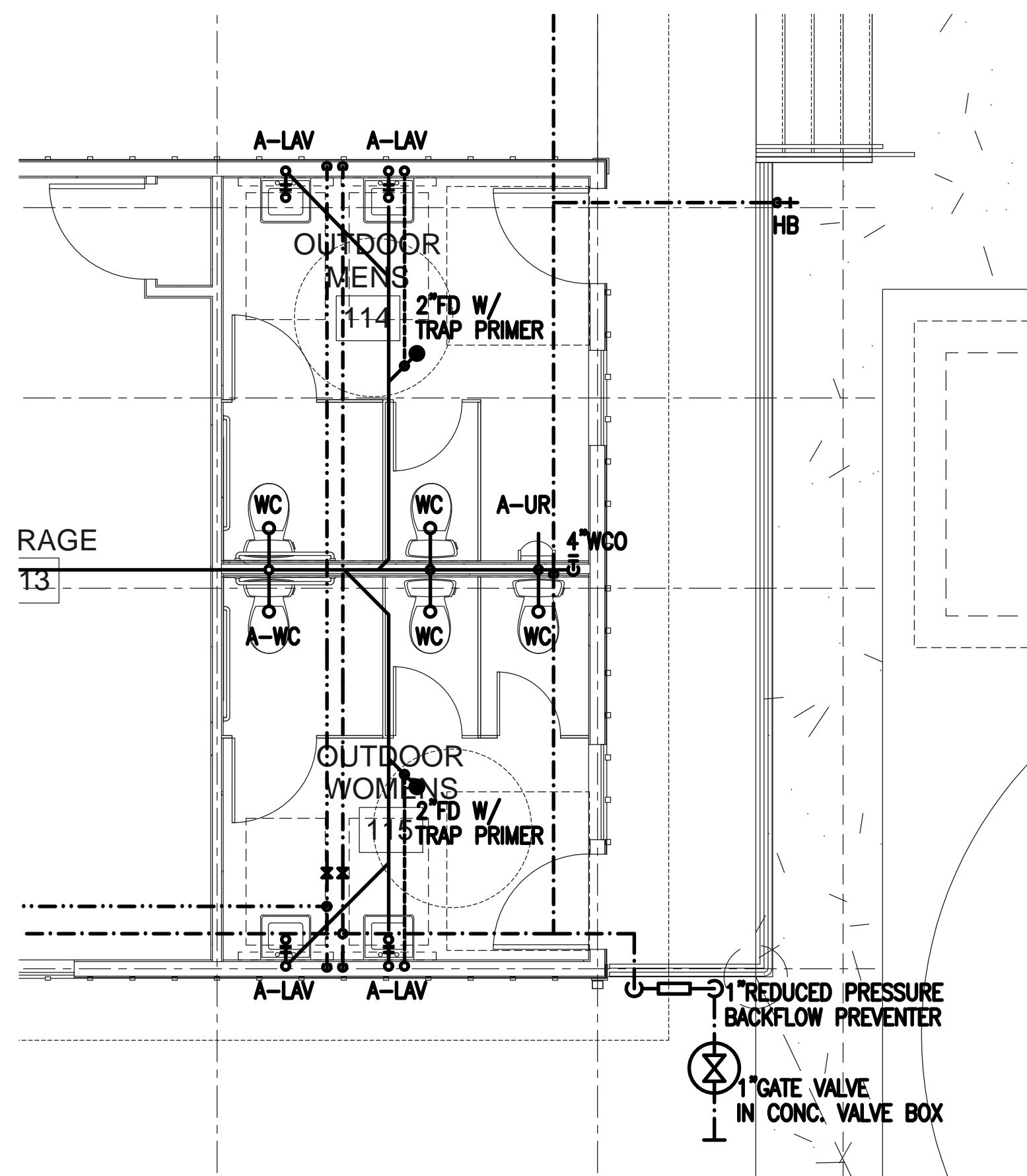
SANITARY PIPING DIAGRAM
SCALE: NONE



ENLARGED SCALE PLAN - PLUMBING
SCALE: 1/4" = 1'-0"



GAS HEATER FLUE DETAIL
NOT TO SCALE



ENLARGED SCALE PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

MECHANICAL EQUIPMENT SCHEDULE:

EF-1:
GREENHECK SQ-95, DIRECT DRIVE IN-LINE CENTRIFUGAL, 600 CFM AT 0.25" E.S.P.
16"x16"x16" MAX OVERALL DIMENSIONS, 115V/1PH/60HZ, 1/6 HP, INSULATED CASING
INTERLOCK W/BATHROOM LIGHT SWITCH

EF-2: SAME AS EF-1

EF-3: SAME AS EF-1

EF-4: SAME AS EF-1

EF-K:
GREENHECK SQ-95, DIRECT DRIVE IN-LINE CENTRIFUGAL, 16"x16"x16"
MAX OVERALL DIMENSIONS, 115V/1PH/60HZ, 1/6 HP, INSULATED CASING
INTERLOCK W/ADJUSTABLE THERMOSTAT SWITCH. PROVIDE RELAY,
CONTROLLER AND RUN-TIMER TO PREVENT SHORT-CYCLING

GWH-1:
BRADFORD WHITE RG250T6N, LP FIRED, 35,000 BTUH INPUT, 50 GALLON CAPACITY
43 GPH RECOVERY AT 90F RISE. MAX 24" DIAMETER. 115V/1PH/60HZ SPARK IGNITION

ROOFCAPS:
GREENHECK FGR OR EQUIVALENT, ALL ALUMINUM CONSTRUCTION WITH BIRDSCREEN.
PROVIDE BAKED PHENOLIC COATING ON INSIDE/OUTSIDE OF ALL SURFACES INCLUDING
BIRDSCREEN. REFER TO DETAIL FOR ADDITIONAL REQUIREMENTS

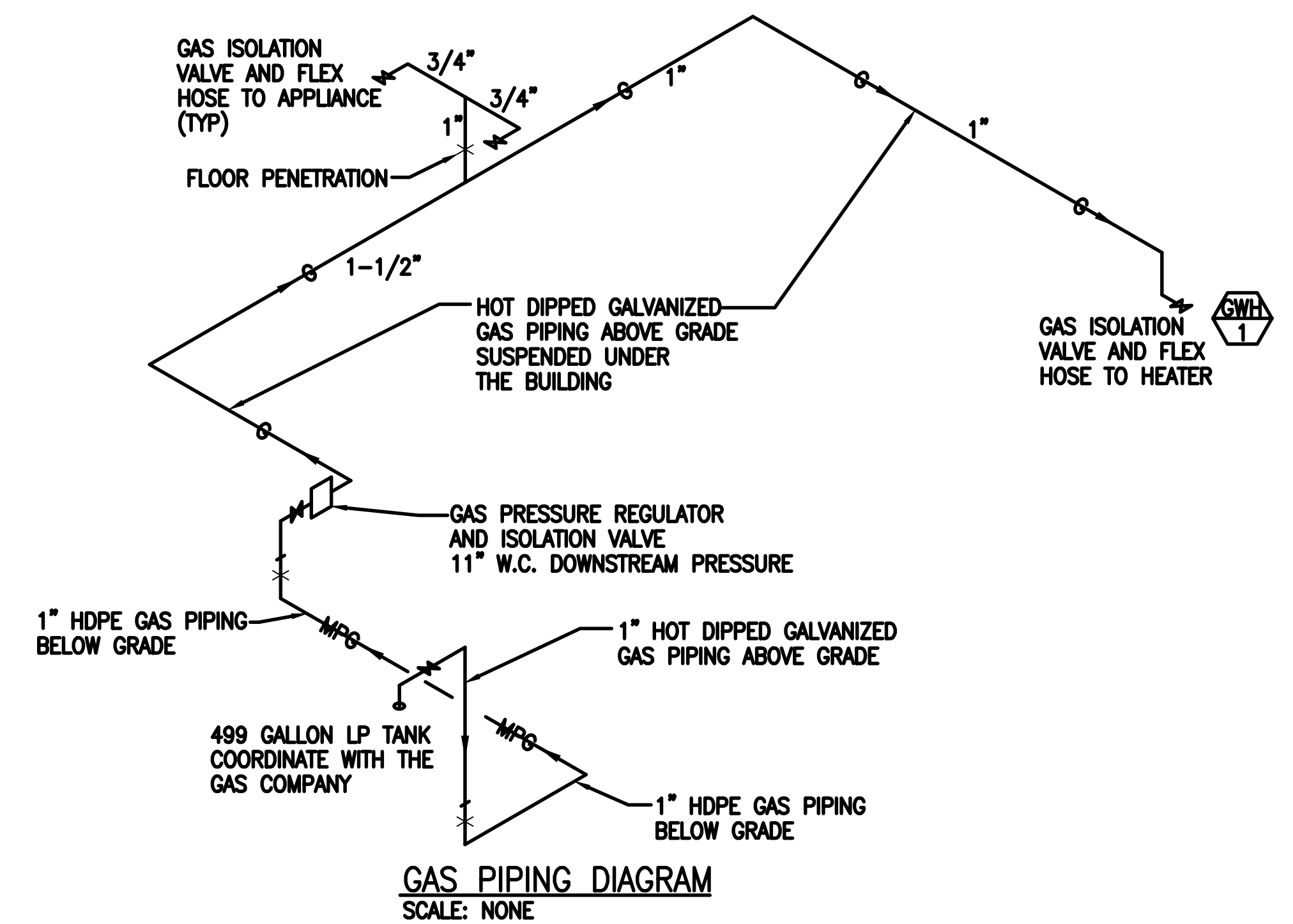
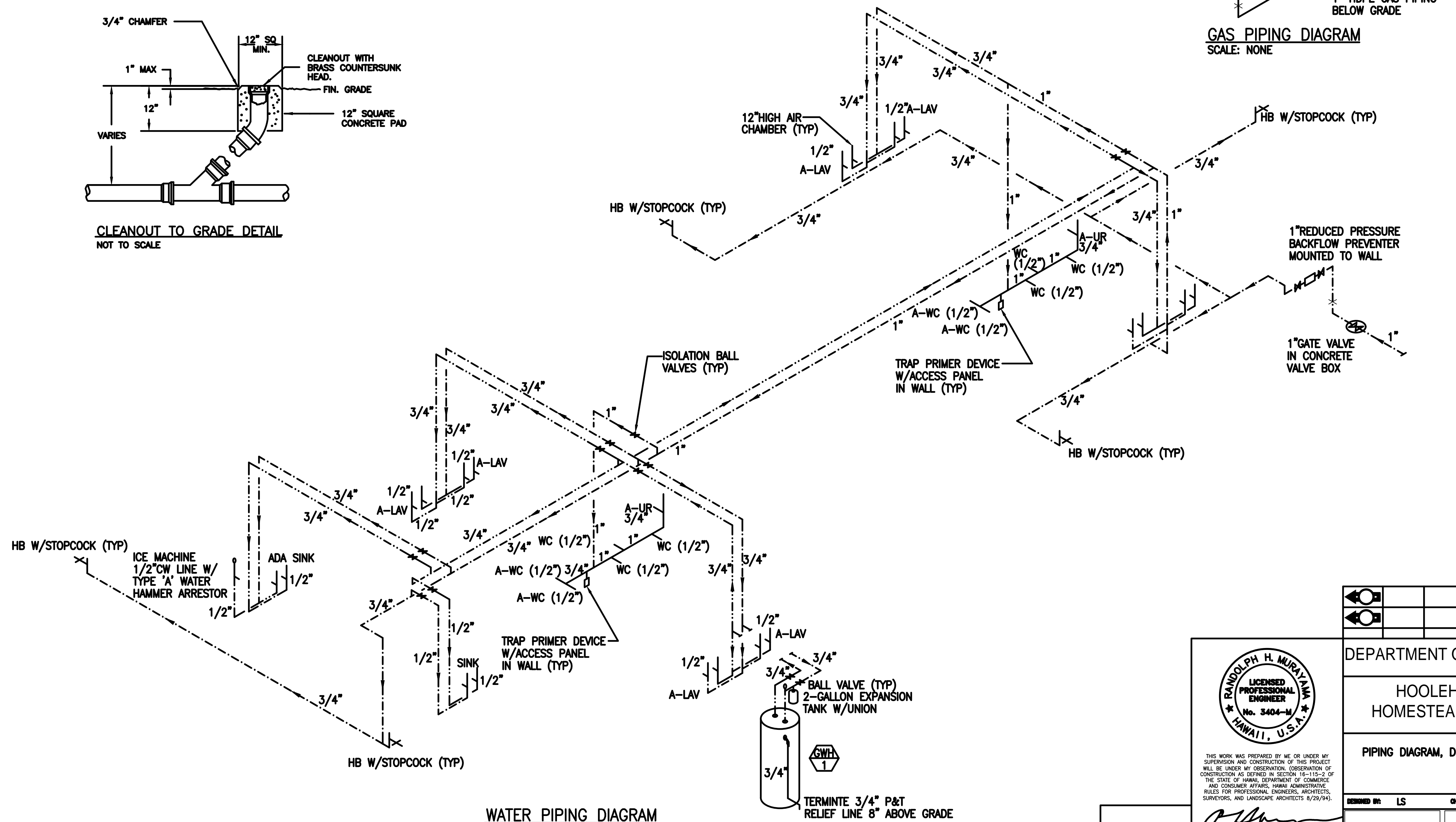
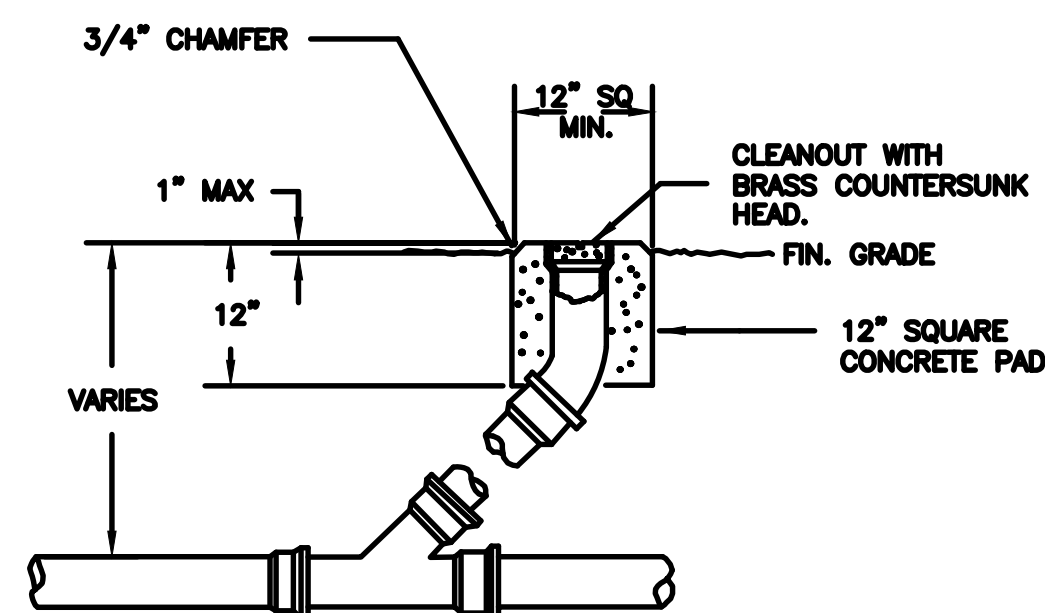
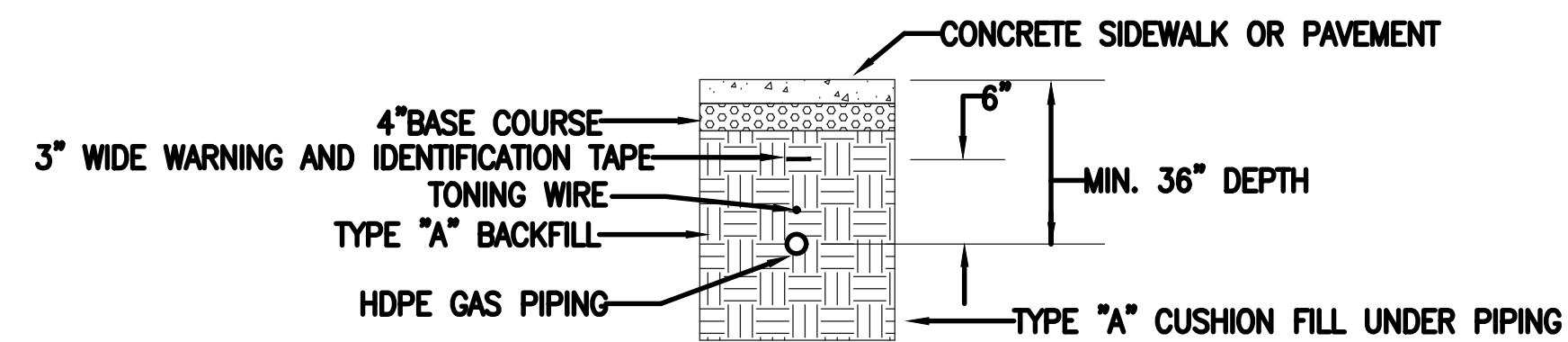
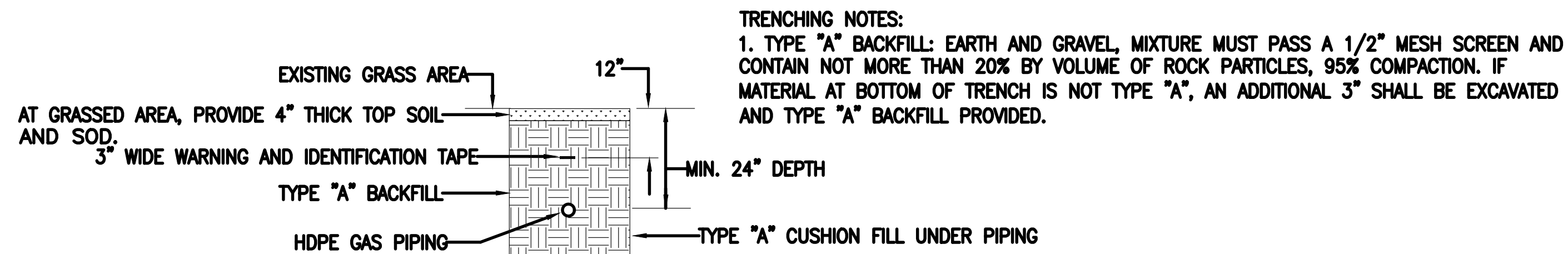


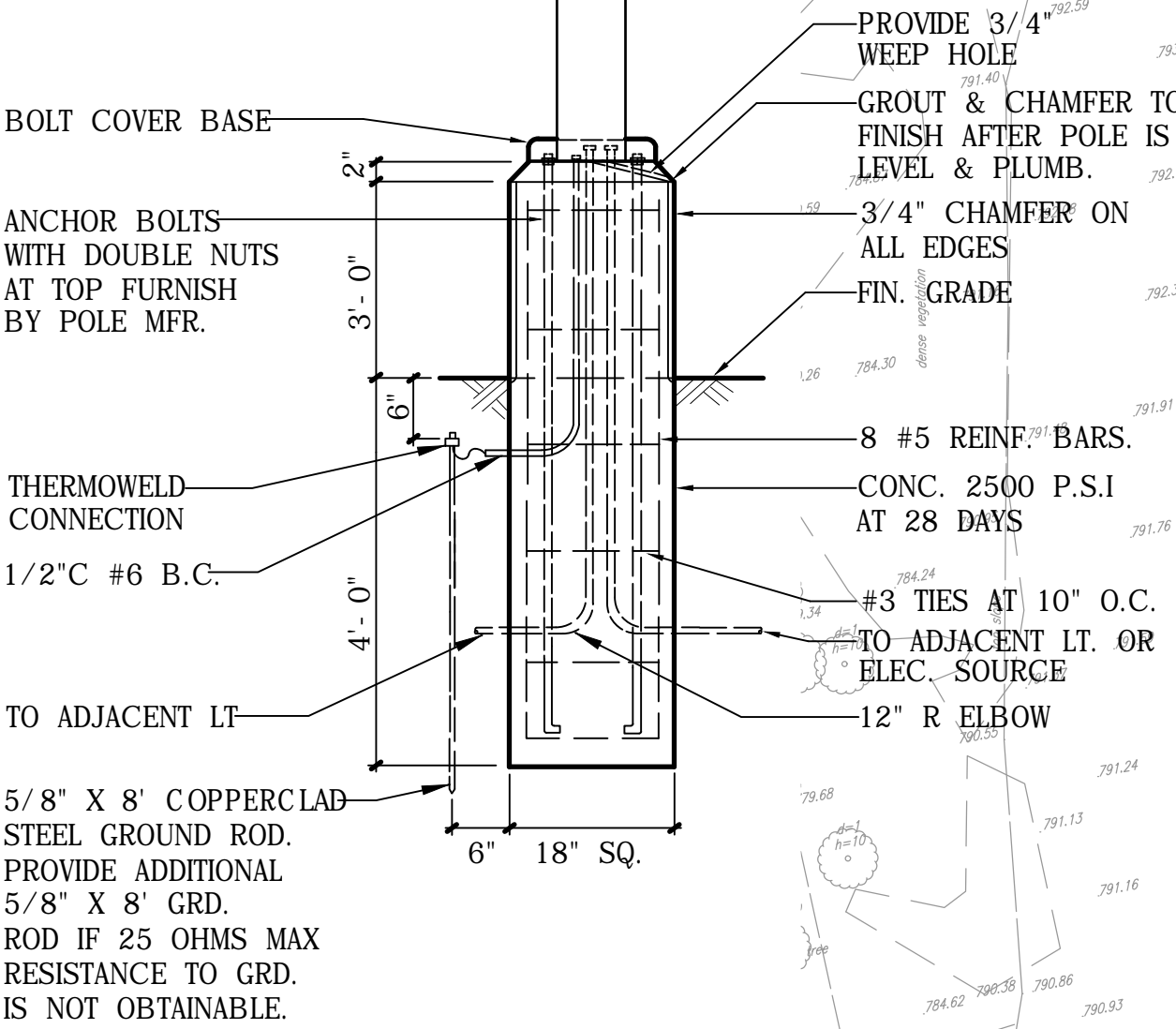
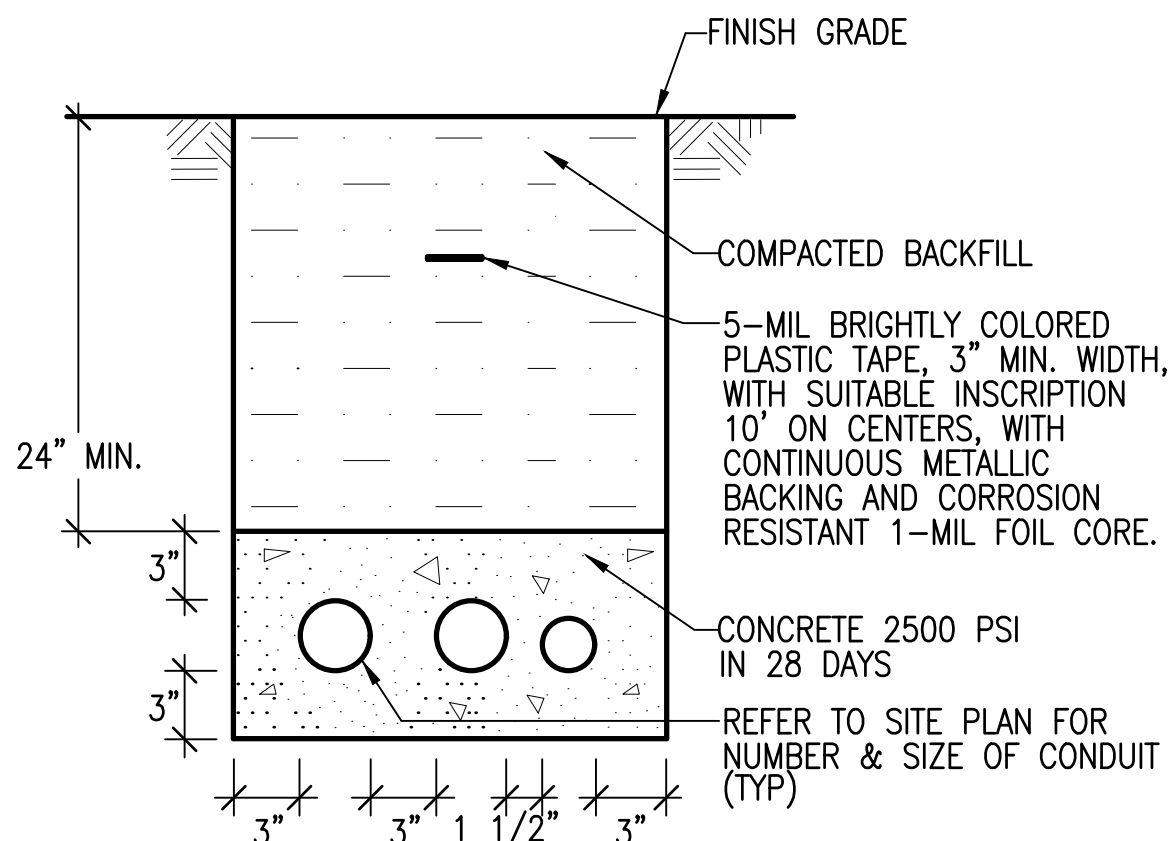
THIS WORK WAS PREPARED BY ME OR UNDER MY
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RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS,
SURVEYORS, AND LANDSCAPE ARCHITECTS 8/23/94).

[Signature]

SHEET 48 OF 57

DEPARTMENT OF HAWAIIAN HOMELANDS			
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER			
ENLARGED SCALE FLOOR PLANS - PLUMBING SANITARY PIPING DIAGRAM MECHANICAL EQUIPMENT SCHEDULE			
DESIGNED BY: LS	CHECKED BY: RM	INCH BY: RMA	
M200			4/25/18





NOTE: POLE & LUMINAIRES TO WITHSTAND 100 MPH WIND.

ELECTRICAL SITE PLAN

SCALE: 1" = 30'-0"

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ELECTRICAL SYMBOLS

GUY WIRE

EXISTING ELECTRICAL POLE

CEILING LUMINAIRE

CEILING LUMINAIRE, EMERGENCY CIRCUIT

WALL LUMINAIRE

CEILING LUMINAIRE, NITE LIGHT

WALL LUMINAIRE, NITE LIGHT

AREA LUMINAIRE ON POLE

WALLWASH LUMINAIRE

CEILING LUMINAIRE

CEILING LUMINAIRE WITH EMERGENCY BALLAST

WALLWASH LUMINAIRE

EXIT LIGHT, CEILING, BLACKENED SEGMENT INDICATES ILLUMINATED SIDES AND ARROWS INDICATE DIRECTIONAL ARROWS

EXIT LIGHT, WALL, BLACKENED SEGMENT INDICATES ILLUMINATED SIDES AND ARROWS INDICATE DIRECTIONAL ARROWS

MOTION SWITCH, CEILING MOUNTED

COMBINATION INFRARED/ULTRASONIC MOTION SWITCH, CEILING MOUNTED

SWITCH, 1P20A, +42"

SWITCH, 3P20A, +42"

SWITCH, OCCUPANCY SENSOR, +42"

DIMMER SWITCH, SIZE AS INDICATED OR REQUIRED, +42"

DUPLEX CONVENIENCE OUTLET, 3W, 15A, 125V, GROUNDING TYPE, +18" UNLESS OTHERWISE NOTED

DUPLEX CONVENIENCE RECEPTACLE, 3W, 15A, 125V, GROUND FAULT INTERRUPTING TYPE, +18" UNLESS OTHERWISE NOTED

QUADRAPLEX RECEPTACLE, 2 DUPLEX RECEPTACLES, 3W, 15A, 125V. GROUNDING TYPE, +18" UNLESS OTHERWISE NOTED

SPECIAL OUTLET, RATING AND TYPE AS NOTED

RANGE/OVEN OUTLET, 4W50A, 250V, +18" UNLESS OTHERWISE NOTED

DUPLEX CONVENIENCE OUTLET, CEILING MOUNTED

FLOOR OUTLET, DUPLEX 32, 15A, GROUNDING TYPE WITH DUAL HINGED BRASS CAPS, HUBBEL S3925

CONTACTOR

DISPOSAL CONNECTION

EQUIPMENT CONNECTION

WATER HEATER CONNECTION

TIME SWITCH

CEILING FAN

JUNCTION BOX, WALL, 4 11/16" SQUARE MINIMUM

JUNCTION BOX, CEILING, 4 11/16" SQUARE MINIMUM

JUNCTION BOX, LARGE, CEILING

PANELBOARD, FLUSH

TELECOMMUNICATION OUTLET, +18" UNLESS OTHERWISE NOTED

TELECOMMUNICATION OUTLET, CEILING MOUNTED

TELEPHONE TERMINAL BOARD

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MOTOR CONNECTION

MOTOR CONTROLLER

SAFETY SWITCH

TELEVISION OUTLET, +18" UNLESS OTHERWISE NOTED

TRANSFORMER

WEATHER PROOF

CONDUIT STUB

WIRING IN RACEWAY CONCEALED IN WALL OR CEILING

WIRING IN RACEWAY CONCEALED IN FLOOR OR BELOW GRADE

WIRING IN EXPOSED RACEWAY

EXISTING OVERHEAD PRIMARY CABLE

EXISTING OVERHEAD TELEPHONE CABLE

WIRING IN FLEXIBLE RACEWAY, 6 FEET MAXIMUM

NOTES:

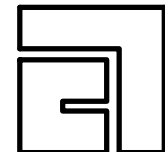
- ANY CIRCUIT WITH NO FURTHER DESIGNATION INDICATES A TWO WIRE CIRCUIT. CIRCUITS WITH ADDITIONAL WIRES ARE INDICATED AS FOLLOWS: 3 WIRES: 4 WIRES, ETC.
- INDICATES GROUNDING CONDUCTOR SIZED PER NATIONAL ELECTRICAL CODE ARTICLE 250.122. PROVIDE GROUNDING CONDUCTOR IN ALL RACEWAYS.

COUNTY OF MAUI
MAUI COUNTY CODE, CHAPTER 16.16A ENERGY CODE

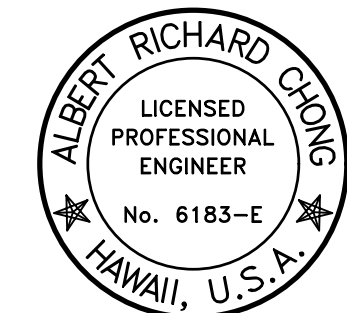
To the best of my knowledge, this project's design substantially conforms to the Building Energy Conservation Code for:

Building Component Systems
Electrical Component Systems
Mechanical Component Systems

Signature: Albert Richard Chong Date: 4/18/18
Name: ALBERT RICHARD CHONG
Title: VICE PRESIDENT
License No.: 6183-E



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SIGNATURE

LICENSE EXP. DATE: APRIL 30, 2020

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HOOLEHUA VETERANS AND
HOMESTEAD RESIDENT'S CENTER
JOB NO.

ELECTRICAL SITE PLAN
ELECTRICAL SYMBOLS LIST

DESIGNED BY: ARC CHECKED BY: ARC DRAWN BY: CAD

1/25/2018 11:15:00 AM 1/25/2018 11:15:00 AM 1/25/2018 11:15:00 AM

JANUARY 2018

FILE POCKET FOLDER NO.

HAWAIIAN TELCOM, GENERAL CONSTRUCTION/DESIGN NOTES

1. THE CONTRACTOR SHALL PROCURE AND PAY ALL LICENSES AND PERMITS AND SHALL GIVE ALL NOTICES NECESSARY AND INCIDENT TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.

2. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT AND TONING REQUEST FROM HAWAIIAN TELCOM'S EXCAVATION PERMIT SECTION, LOCATED AT 1177 BISHOP STREET, THIRD FLOOR, TWO WEEKS PRIOR TO THE START OF CONSTRUCTION. HOURS OF BUSINESS ARE 8:00 A.M. TO 11:00 P.M. AND 12:00 P.M. TO 3:00 P.M. MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS.

3. PRIOR TO THE EXCAVATION OF THE DUCT LINE, THE CONTRACTOR SHALL REQUEST HAWAIIAN TELCOM TO LOCATE EXISTING DUCT LINE WHEREVER REQUIRED. FOR UNDERGROUND CABLE LOCATING AND MARKING, FIVE (5) WORKING DAYS ADVANCE NOTICE IS REQUIRED. THREE (3) WORKING DAYS ADVANCE NOTICE IS REQUIRED FOR ANY INSPECTION BY A DESIGNATED REPRESENTATIVE.

4. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND SHALL MAINTAIN PROPER CLEARANCES WHENEVER CONSTRUCTION CROSSES OR IS IN CLOSE PROXIMITY OF HAWAIIAN TELCOM FACILITIES. THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND SHALL BE LIABLE FOR ANY DAMAGES TO HAWAIIAN TELCOM FACILITIES. ANY DAMAGES SHALL BE REPORTED IMMEDIATELY TO HAWAIIAN TELCOM'S REPAIR SECTION AT #611 (24 HOURS) OR TO THE EXCAVATION PERMIT SECTION AT 546-7746 (NORMAL WORKING HOURS, MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS). AS A RESULT OF HIS OPERATIONS, ADJUSTMENTS TO THE NEW DUCT LINE ALIGNMENT, IF REQUIRED, SHALL BE MADE TO PROVIDE THE REQUIRED CLEARANCES.

5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTION NOT TO DAMAGE EXISTING CABLES OR DUCTS. A HAWAIIAN TELCOM INSPECTOR OR DESIGNATED REPRESENTATIVE IS REQUIRED TO BE AT ANY JOB SITE WHENEVER THERE WILL BE A BREAKAGE INTO OR ENTRY INTO ANY STRUCTURE THAT CONTAIN HAWAIIAN TELCOM FACILITIES. TEMPORARY CABLE AND DUCT SUPPORTS SHALL BE PROVIDED WHENEVER NECESSARY.

6. THE CONTRACTOR SHALL NOTIFY HAWAIIAN TELCOM'S INSPECTOR OF DESIGNATED REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION, BRACING, OR BACK FILLING OF HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.

7. ALL APPLICABLE CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE "HAWAIIAN TELCOM STANDARD SPECIFICATIONS FOR PLACING TELEPHONE SYSTEMS", DATED JANUARY 2007. ALL SUBSEQUENT AMENDMENTS AND ADDITIONS, AND ALL OTHER PERTINENT STANDARDS FOR TELEPHONE CONSTRUCTION. CONTRACTOR SHALL FAMILIARIZE HIS PERSONNEL BY OBTAINING APPLICABLE SPECIFICATIONS.
8. WHEN EXCAVATION IS ADJACENT TO OR BENEATH HAWAIIAN TELCOM'S EXISTING STRUCTURES OF FACILITIES, THE CONTRACTOR SHALL:

a) SHEET AND/OR BRACE THE EXCAVATION TO PREVENT SLIDES, CAVE-INS, OR SETTLEMENTS TO ENSURE NO MOVEMENT TO HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.

b) PROTECT EXISTING STRUCTURES AND/OR FACILITIES WITH BEAMS, STRUTS, OR UNDERPINNING WHILE EXCAVATING BENEATH THEM TO ENSURE NO MOVEMENT TO HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.

9. THE CONTRACTOR SHALL BRACE ALL POLES OR LIGHT STANDARDS NEAR THE NEW DUCTLINE, MANHOLE, OR HANDHOLE DURING HIS OPERATIONS.

10. THE CONTRACTOR SHALL SAW-CUT A.C. PAVEMENT AND CONCRETE GUTTER WHEREVER NEW MANHOLES, OR DUCTLINES ARE TO BE PLACED AND SHALL RESTORE TO EXISTING CONDITION OR BETTER.

11. THE CONTRACTOR SHALL COMPLY WITH THE POLICY ADOPTED BY THE DEPARTMENT OF PUBLIC WORKS, CITY AND COUNTY OF HONOLULU, CONCERNING THE REPLACEMENT OF CONCRETE SIDEWALKS AFTER EXCAVATION WORK.

12. THE UNDERGROUND PIPES, CABLES, OR DUCTLINES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS AND INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. WHEREVER CONNECTIONS OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR THE NEW LINES.

13. WHENEVER CONNECTIONS TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES PRIOR TO EXCAVATION OF THE MAIN TRENCHES TO VERIFY THEIR LOCATIONS AND DEPTHS.

14. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE COST FOR SUPPLEMENTARY MEASURES, WHICH WILL BE REQUIRED BY THE CITY AND COUNTY, SHALL BE BORNE BY THE CONTRACTOR.

15. THE CONTRACTOR SHALL PUMP THE MANHOLES DRY DURING FINAL INSPECTION.

16. THE CONTRACTOR SHALL NOTIFY HAWAIIAN TELCOM INSPECTOR 24 HOURS PRIOR TO THE POURING OF CONCRETE OR BACKFILLING.
17. WHEN CONNECTING TO MANHOLE WALLS, ALL EXISTING REINFORCING BARS SHALL BE LEFT INTACT. DUCTS SHALL BE ADUSTED IN THE FIELD IN ORDER TO CLEAR REINFORCING.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT ALL REQUIRED LINES AND GRADES AND SHALL PRESERVE ALL BENCH MARKS AND WORKING POINTS NECESSARY TO LAY OUT THE WORK CORRECTLY. THE NEW DUCT LINE SHALL BE ADJUSTED BY THE CONTRACTOR TO SUIT THE EXISTING CONDITIONS AND THE DETAILS AS DESCRIBED IN THE PLANS.

19. MINIMUM, CONCRETE STRENGTH SHALL BE:

FOR DUCTLINE

FOR MANHOLE

OR AS SPECIFIED IN DESIGN NOTES

2500 PSI AT 28 DAYS

3000 PSI AT 28 DAYS

20. BENDS IN THE DUCT ALIGNMENT, DUE TO THE CHANGES IN GRADE SHALL HAVE A MINIMUM RADIUS OF 25 FEET. ALL 90 DEGREE C-BENDS AT A POLE OR BUILDING FLOOR SLAB PENETRATION, SHALL HAVE A BEND RADIUS OF TEN TIMES THE DIAMETER OF THE DUCT OR GREATER.

21. AFTER DUCT LINE HAS BEEN COMPLETED, A MANDREL WITH A SQUARE FRONT NOT LESS THAN 12" LONG AND HAVING A DIAMETER OF 1/4" LESS THAN THE INSIDE DIAMETER OF THE DUCT, SHALL BE PULLED THROUGH EACH DUCT AFTER WHICH A BRUSH WITH STIFF BRISTLES SHALL BE PULLED THROUGH TO MAKE CERTAIN THAT NO PARTICLES OF EARTH, SAND, OR GRAVEL HAVE BEEN LEFT INSIDE. DUCTS SHALL BE COMPLETELY DRY AND CLEAN.

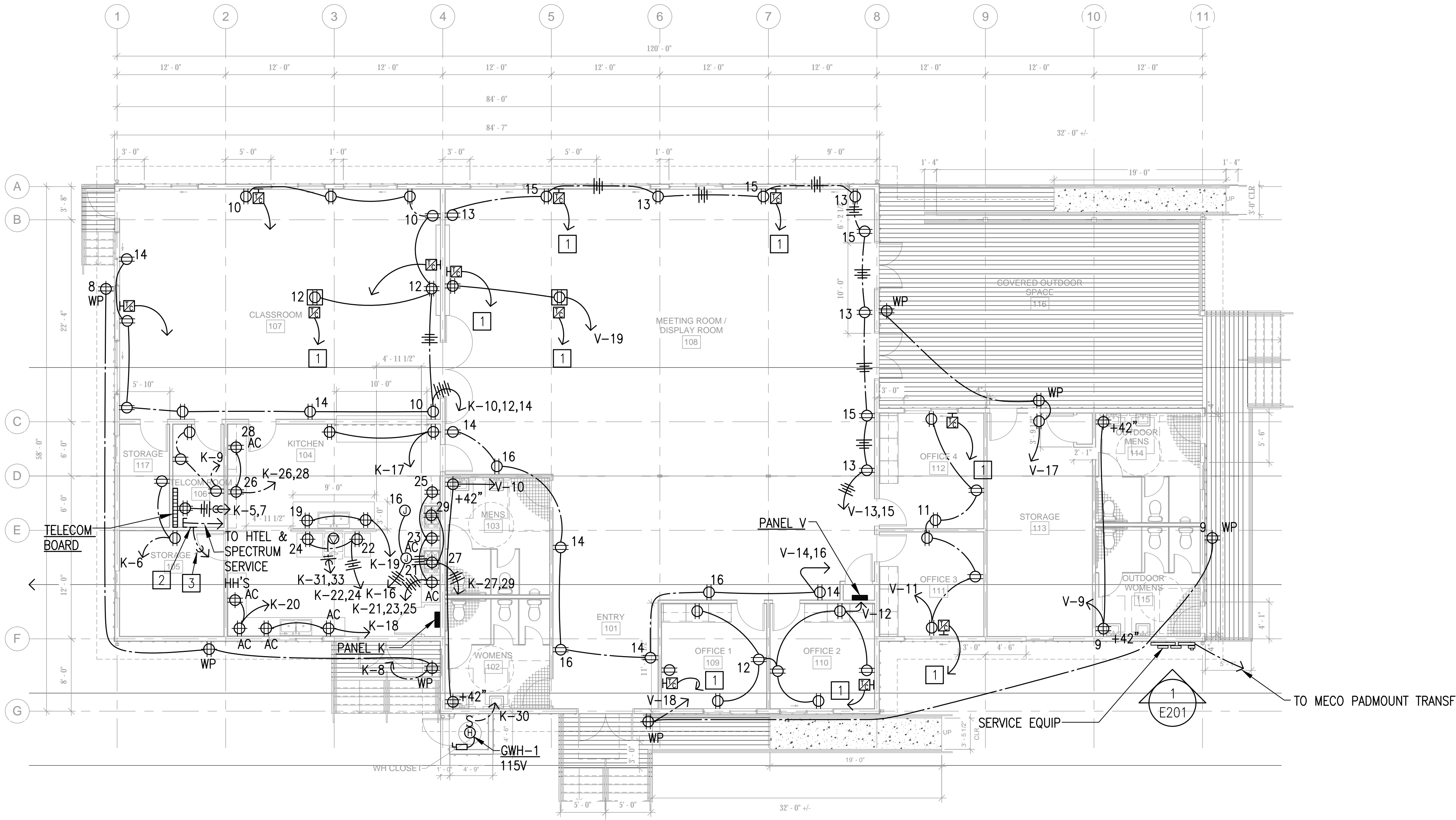
22. ALL DUCTS AND CONDUITS SHALL HAVE AN 1800# POLYESTER MULE-TAPE (NEPTCO, WP1800P, HAWAIIAN TELCOM MATERIAL CODE NO. 571154) INSTALLED THROUGHOUT ITS ENTIRE LENGTH. ALL DUCTS SHALL BE CAPPED TO PREVENT ENTRY OF FOREIGN MATERIAL DURING CONSTRUCTION AND AT THE COMPLETION OF INSTALLATION.
- HAWAIIAN TELCOM NOTES
NOT TO SCALE
-
- Albert Chong Associates Inc.
Consulting Electrical Engineers
and Lighting Designers
1117 Kapaehulu Avenue
Honolulu, Hawaii 96816
Telephone: (808) 738-5355
-
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- SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020
-
- DWG. NO.
E101
SHEET 52 OF 57
- | | | | | |
|----------|------|-------|---------|----------|
| REVISION | DATE | BRIEF | MADE BY | APPROVED |
|----------|------|-------|---------|----------|
- DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
- HOOLEHUA VETERANS AND
HOMESTEAD RESIDENT'S CENTER
JOB NO.
- HAWAIIAN TELCOM NOTES
- DESIGNED BY: ARC CHECKED BY: ARC DRAWN BY: CAD
- JANUARY 2018
- | | | | |
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| FILE | POCKET | FOLDER | NO. |
|------|--------|--------|-----|
- FILE: F-101-Hawaiian Telecom Notes.dwg
DATE REV.: 11/05/2018



- ① MOUNT ABOVE FINISH FLOOR.
- ② MOUNT ABOVE MIRROR.
- ③ TO CEILING FAN SWITCH, AS DESIGNATED.
- ④ MOUNT 6" ABOVE DOOR.
- ⑤ SWITCH BANK "A". SEE DETAIL THIS SHEET.
- ⑥ SWITCH BANK "B". SEE THIS SHEET.
- ⑦ SURFACE MOUNT UNDER OVERHANG. PAINT ALL EXPOSED RACEWAY TO MATCH.
- ⑧ PROVIDE 0-10V WIRING TO ALL 0-10V LUMINAIRES FOR LIGHTING CONTROL.

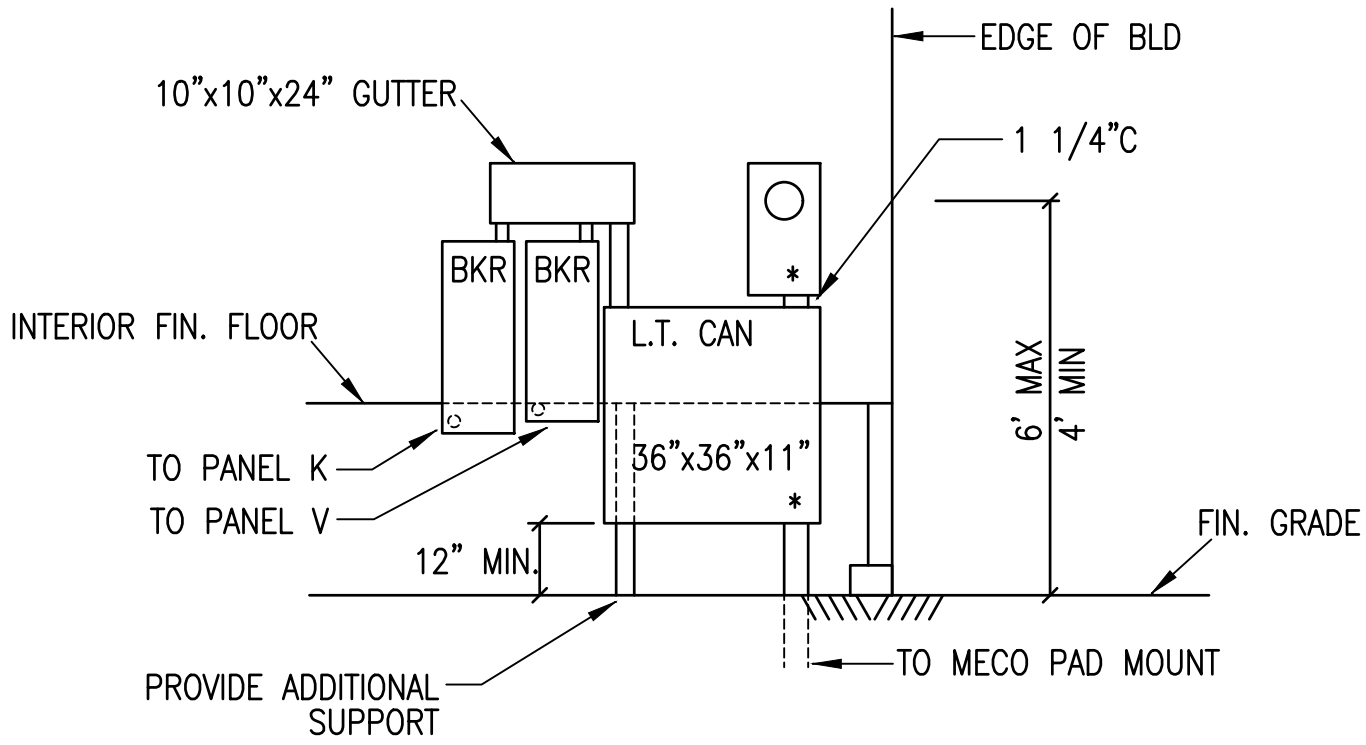


1. LABEL ALL SWITCHES.
2. COORDINATE LIGHT SWITCHES WITH DIMMABLE DRIVER TYPE. PROVIDE 0-10V WIRING AS REQUIRED.
3. FAN SWITCHES SHALL BE FULLY COMPATIBLE WITH FAN.
4. PROVIDE GANGED COVER PLATES.



POWER & SIGNAL NOTES:

- 1 1" C, TO TELECOM TERMINAL BOARD.
2 1/4"(TH)x4"x10" COPPER 1 BUS BAR
3 3/4"C, #1/0, GROUNDING CONDUCTOR



NOTES:

1. ELECTRICAL EQUIPMENT SHALL BE NEMA 4XS.S.
2. * SEALABLE ENCLOSURE

1
E201
ELEVATION
SCALE: 3/8" = 1'-0"

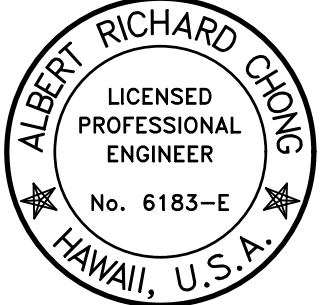
POWER & SIGNAL PLAN
SCALE: 1/8" = 1'-0"

FILE: E-201 Power & Signal Plan.dwg
DATE REV.: 11/05/2018

0 4' 8' 16'
Scale: 1/8" = 1'-0"

E201
SHEET 54 OF 57

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11/05/2018 09:15:00 E201.dwg Albert Chong, E201.dwg

DEPARTMENT OF HAWAIIAN HOME LANDS

HOOLEHUA VETERANS AND
HOMESTEAD RESIDENT'S CENTER

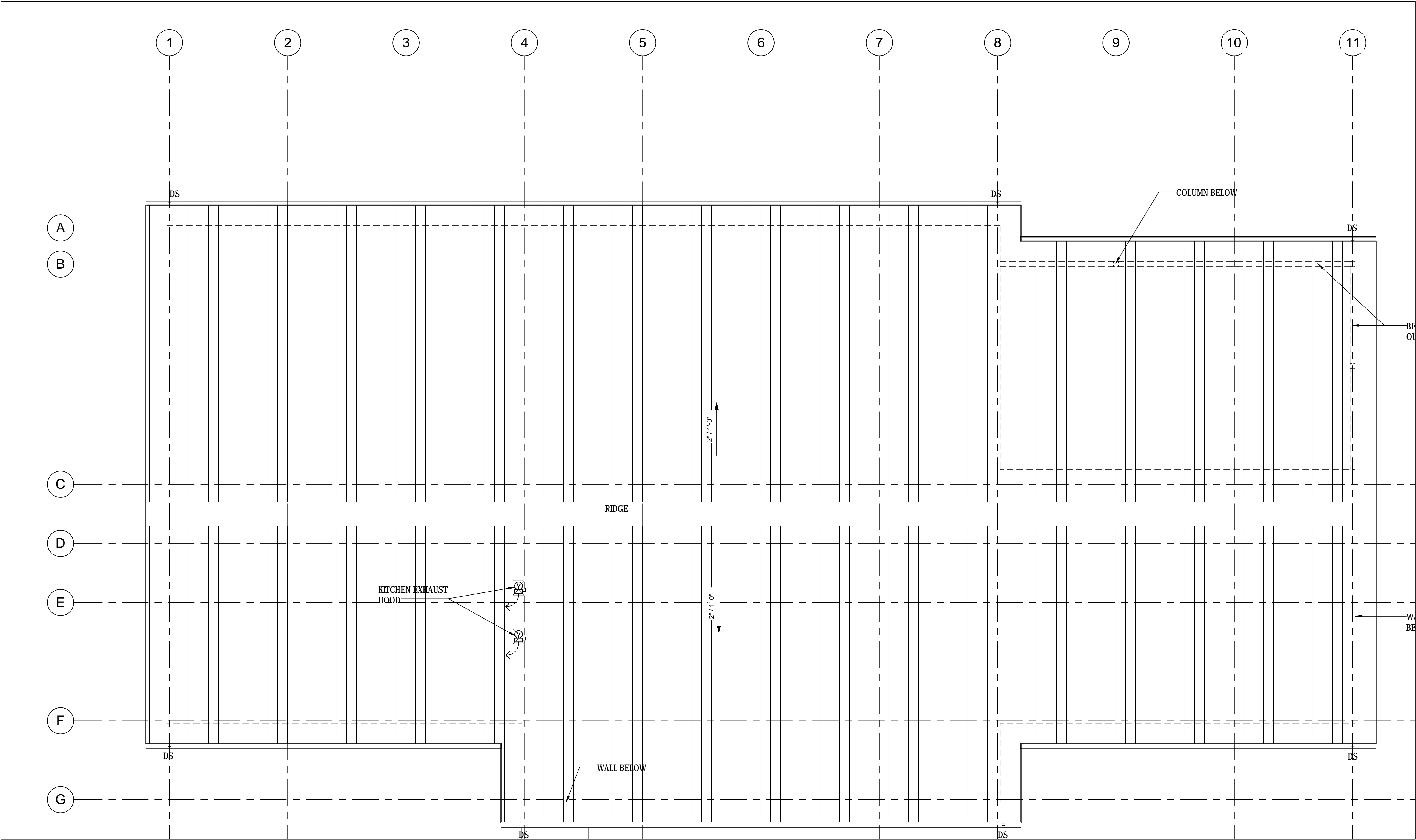
POWER & SIGNAL
PLAN

DESIGNED BY: ARC CHECKED BY: ARC DRAWN BY: CAD

11/05/2018 09:15:00 E201.dwg Albert Chong, E201.dwg

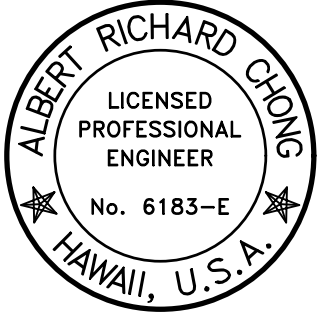
JANUARY 2018

FILE: E-202 - Roof Electrical Plan.dwg
DATE REV: 11/05/2018



ROOF ELECTRICAL PLAN
SCALE: 3/16"=1'-0"

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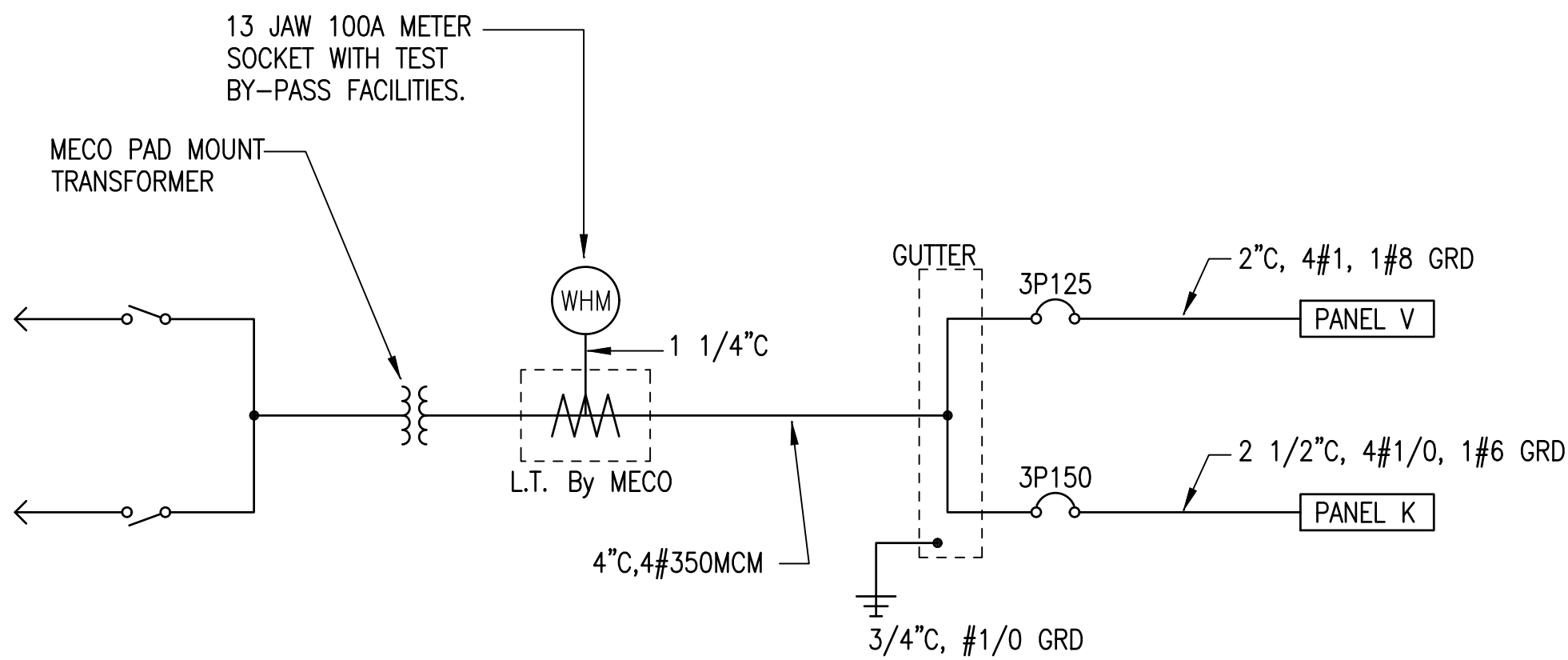
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Albert Chong

E202
SHEET 55 OF 57


DEPARTMENT OF HAWAIIAN HOME LANDS					
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER					
ROOF ELECTRICAL PLAN					
DESIGNED BY: ARC	CHECKED BY: ARC	DRAWN BY: CAD			
				JANUARY 2018	

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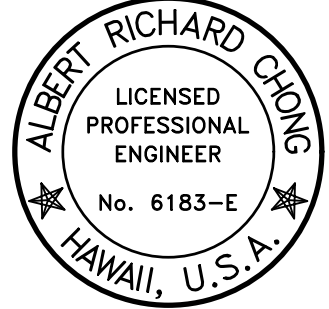
SINGLE LINE DIAGRAM

FILE: E-300 - Single Line Diagram.dwg
DATE REV: 11/05/2018



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REVISION	DATE	BRIEF	MADE BY	APPROVED



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Albert Chong
SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

DESIGNED BY: ARC
CHECKED BY: ARC
DRAWN BY: CAD

JANUARY 2018

FILE	POCKET	FOLDER	NO.

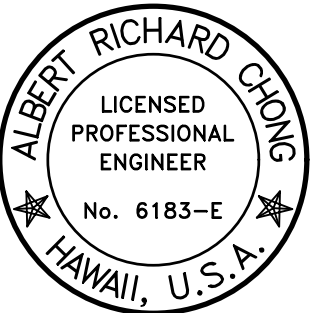
FILE: F-400 - Panel Schedule.dwg
DATE REV.: 11/05/2018

PANEL K 208/120 VOLTS 3 PHASE 4 WSN 3P150A MAIN BREAKER						
BREAKER I.C. 10,000A 20" WIDE CABINET INDUSTRIAL-BOLTED						
COPPER BUS SURFACE ENCL						
CKT NO.	BREAKER	LOAD	KVA			WIRE
			PHASE A	PHASE B	PHASE C	
1	1P20A	LIGHTS - KITCHEN, TELECOM, STOR	0.2			12
2	1P20A	LIGHTS - CLASSROOM	0.4			12
3	1P20A	SPARE				
4	1P20A	FANS - CLASSROOM		1.5		12
5	1P20A	RECEP - TELECOM BOARD			0.2	12
6	1P20A	RECEP - STORAGE			0.4	12
7	1P20A	RECEP - TELECOM BOARD	0.2			12
8	1P20A	RECEP - EXTERIOR	0.6			12
9	1P20A	RECEP - TELECOM		0.4		12
10	1P20A	RECEP - CLASSROOM		1.0		12
11	1P20A	SPARE				
12	1P20A	RECEP - CLASSROOM			0.6	12
13	1P20A	SPARE				
14	1P20A	RECEP - CLASSROOM	1.0			12
15	1P20A	SPARE				
16	1P20A	HOODS		0.4		12
17	1P20A	RECEP - KITCHEN COUNTER			0.4	12
18	1P20A	RECEP - KITCHEN COUNTER			0.4	12
19	1P20A	RECEP - KITCHEN COUNTER	0.4			12
20	1P20A	RECEP - KITCHEN COUNTER	0.4			12
21	1P20A	RECEP - KITCHEN		1.0		12
22	1P20A	RECEP - KITCHEN		1.0		12
23	1P20A	RECEP - KITCHEN			1.0	12
24	1P20A	RECEP - KITCHEN			1.0	12
25	1P20A	RECEP - KITCHEN	1.0			12
26	1P20A	RECEP - KITCHEN	1.0			12
27	1P20A	RECEP - GAS RANGE PILOT LIGHT		0.2		12
28	1P20A	RECEP - KITCHEN		1.0		12
29	1P20A	RECEP - GAS RANGE PILOT LIGHT			0.2	12
30	1P20A	GWH PILOT			0.2	12
31,33	2P30A	RECEP	2.0	2.0		10
32	1P	PFB				
34	1P	PFB				
35	1P	PFB				
36	1P	PFB				
37	1P	PFB				
38	1P	PFB				
39	1P	PFB				
40	1P	PFB				
41	1P	PFB				
42	1P	PFB				
		NOTES:				
		1. *GFI BREAKER				
		TOTALS	7.2	8.5	4.4	

PANEL V 208/120 VOLTS 3 PHASE 4 WSN 3P125A MAIN BREAKER						
BREAKER I.C. 10,000A 20" WIDE CABINET INDUSTRIAL-BOLTED						
COPPER BUS SURFACE ENCL						
CKT NO.	BREAKER	LOAD	KVA			WIRE
			PHASE A	PHASE B	PHASE C	
1	1P20A	LIGHTS - PARKING/DRIVEWAY	NL	0.8		10
2	1P20A	LIGHTS - EXTERIOR	NL	0.3		12
3	1P20A	LIGHTS - OFFICES, RESTROOMS		1.0		12
4	1P20A	LIGHTS - MEETING ROOM		1.3		12
5	1P20A	LIGHTS - STOR, RESTROOM			0.4	12
6	1P20A	CEILING FAN - MEETING ROOM			1.5	12
7	1P20A	LIGHTS - COVERED OUTDOOR SPACE	0.2			12
8	1P20A	CEILING FAN - MEETING ROOM	1.5			12
9	1P20A	RECEP - RESTROOM		0.4		12
10	1P20A	RECEP - RESTROOM		0.4		12
11	1P20A	RECEP - OFFICES			1.2	12
12	1P20A	RECEP - OFFICES			1.2	12
13	1P20A	RECEP - MEETING ROOM	1.0			12
14	1P20A	RECEP - MEETING ROOM	1.0			12
15	1P20A	RECEP - MEETING ROOM		0.8		12
16	1P20A	RECEP - MEETING ROOM		0.8		12
17	1P20A	RECEP - STOR, OUTDOOR SPACE			0.6	12
18	1P20A	RECEP - EXTERIOR			0.4	12
19	1P20A	RECEP - MEETING ROOM				12
20	1P20A	SPARE	0.8			12
21	1P20A	SPARE				
22	1P20A	SPARE				
23	1P20A	SPARE				
24	1P20A	SPARE				
25	1P	PFB				
26	1P	PFB				
27	1P	PFB				
28	1P	PFB				
29	1P	PFB				
30	1P	PFB				
31	1P	PFB				
32	1P	PFB				
33	1P	PFB				
34	1P	PFB				
35	1P	PFB				
36	1P	PFB				
		NOTES:				
		1. *GFI BREAKER				
		TOTALS	5.6	4.7	5.3	

LUMINAIRE SCHEDULE		
TYPE	LAMP	DESCRIPTION
A	30W/LED/35K	METALUX 24GR4235
B	20.5W/LED/35K	METALUX 4WPLD4035R
C	36W/LED/35K	LIGHTWAY VTEV-U-36W-3-Z1-WSA
D	35.7W/LED/35K	METALUX 24CZLD5-45-UNV-L835-CD1
E	40.7W/LED/35K	METALUX 24CZLD5-50-UNV-L835-CD1
F	35.7W/LED/35K	METALUX 14CZLD5-39-UNV-L835-CD1
G	21.2W/LED/35K	PORTFOLIO LD4B20D010-EU4B10209035-4LBW1LI
H	15.5W/LED/35K	PORTFOLIO LD4B15D010-EU4B10209035-4LBW1LI
I		CEILING FAN, 42" WOOD BLADES
J	21W/LED/30K	LIGHTWAY MDIW-726-LED-X-U-21W-2-Z1-WSA
K	28.6W/LED/30K	LUMIERE 1004-A1-RCS-RW-LED-3090-W-BZ-L1-UNV-RSM
L		
X	LED	SURE LITES APXH-7-G
EB	20.5W/LED/35K	METALUX 14CZLD5-25-UNV-EL7W-L835-CD1
ED	35.7W/LED/35K	METALUX 24CZLD5-45-UNV-EL7W-L835-CD1
EE	40.7W/LED/35K	METALUX 24CZLD5-50-UNV-EL7W-L835-CD1
EG	21.2W/LED/35K	PORTFOLIO LD4B20D010EM7-EU4B10209035-4LBW1LI
EH	15.5W/LED/35K	PORTFOLIO LD4B15D010EM7-EU4B10209035-4LBW1LI
PA	52W/LED/30K	INVUE VXS-E02-LED-E1-SL3-BZPRCPS-PC-7030-MA1101-BZ WITH 10' SQUARE ANODIZED ALUMINUM POLE

Albert Chong Associates Inc.
Consulting Electrical Engineers
and Lighting Designers
1117 Kapaehulu Avenue
Honolulu, Hawaii 96816
Telephone (808) 738-5355



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION. (OBSERVATION OF CONSTRUCTION AS DEFINED IN SECTION 16-115-2 OF THE STATE OF HAWAII, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, HAWAII ADMINISTRATIVE RULES FOR PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS, AND LANDSCAPE ARCHITECTS 8/29/94).

SIGNATURE
LICENSE EXP. DATE: APRIL 30, 2020

DWG. NO.
E400
SHEET 57 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED		
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII						
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER JOB NO.						
PANEL SCHEDULE						
DESIGNED BY: ARC	CHECKED BY: ARC	DRAWN BY: CAD				
JANUARY 2018						