

# HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER

## RFP-19-HHL-007

ADDRESS: 2200 FARRINGTON AVE.,  
HO'OLEHUA, MOLOKA'I, HAWAII 96729  
TMK: (2) 5-2-015:053

### PROJECT TEAM

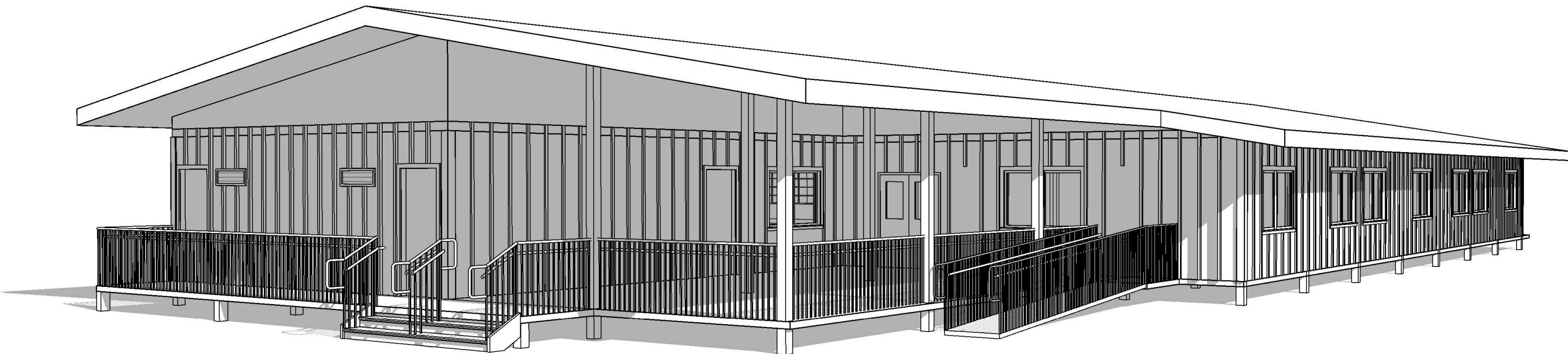
**OWNER/CLIENT:**  
DEPARTMENT OF HAWAIIAN HOME LANDS  
91-5420 KAPOLEI PKWY, KAPOLEI, HI 96707

**CIVIL/ARCHITECT:**  
G70  
111 S. KING STREET SUITE 170  
HONOLULU, HAWAII 96813

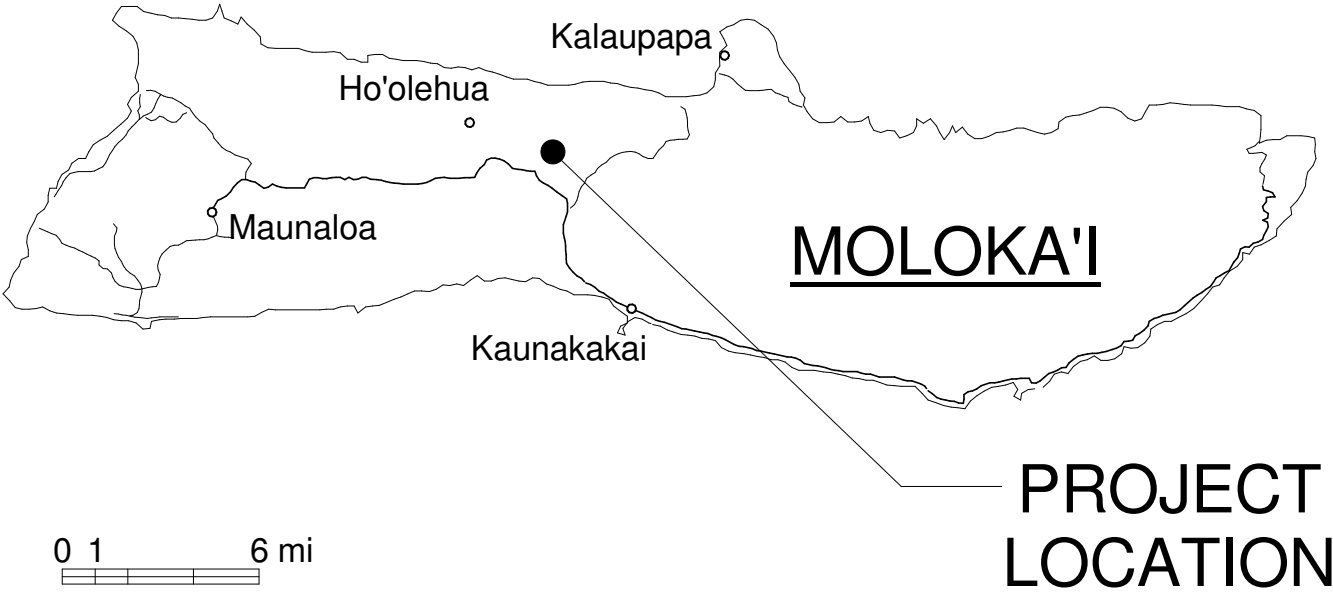
**STRUCTURAL ENGINEER:**  
TANIMURA & ASSOCIATES INC  
925 BETHEL ST # 309, HONOLULU, HI 96813

**MECHANICAL ENGINEER:**  
RANDOLPH H MURAYAMA & ASSOCIATES  
1267 YOUNG ST, HONOLULU, HI 96814

**ELECTRICAL ENGINEER:**  
ALBERT CHONG ASSOCIATES INC  
1117 KAPAHULU AVE, HONOLULU, HI 96816



### LOCATION MAP



### VICINITY MAP

### ACKNOWLEDGEMENTS

|  |      |       |         |          |           |
|--|------|-------|---------|----------|-----------|
|  |      |       |         |          |           |
| REVISION   | DATE | BRIEF | MADE BY | APPROVED |           |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |       |         |          |           |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |       |         |          |           |
| TITLE SHEET  |      |       |         |          |           |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |      |       |         |          | JUNE 2019 |

DWG. NO.  
**T-101**  
SHEET 1 OF 57

|      |        |        |     |
|------|--------|--------|-----|
| FILE | POCKET | FOLDER | NO. |
|------|--------|--------|-----|

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REVISION

DATE

BRIEF

MADE BY

APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD  
RESIDENT'S CENTER  
RFP-19-HHL-007

INDEX TO DRAWINGS

OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

JUNE 2019

PROJECT INFORMATION

GENERAL

LOT SIZE:

EXISTING FLOOR AREA: 8400SF  
EXISTING PERIMETER: 380'-0"  
TOTAL PERIMETER:> 30'-0"  
OPEN = 275'-0"

TAX MAP KEY

(2) 5-2-015:053

SCOPE OF WORK

MODULAR DESIGN FOR NEW COMMUNITY CENTER WITH MULTI-PURPOSE, CLASSROOM, KITCHEN AND OFFICES, SITE IMPROVEMENTS TO INCLUDE PARKING LOT, SIDEWALKS AND UTILITY SERVICES.

REFERENCE CODES

BUILDING CODE: (OAHU/MAUI/HAWAII/KAUAI) COUNTY CODE - INTERNATIONAL BUILDING CODE 2006

ACCESSIBILITY: AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES

ENERGY CODE: (OAHU/MAUI/HAWAII/KAUAI) MODEL ENERGY CODE

ZONING

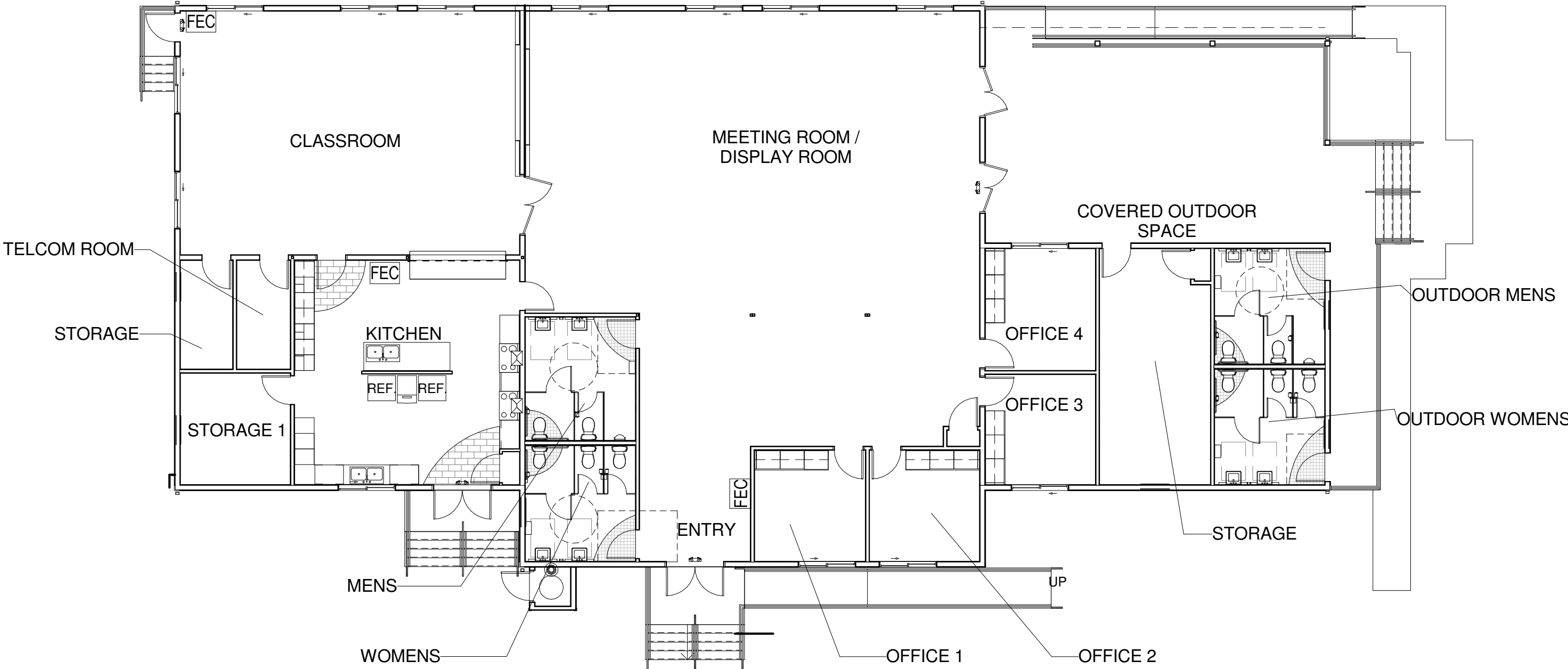
MAUI ZONING ORDINANCE

PARKING:  
CLUBHOUSE (1 STALL: 200 S.F.): 32 STALLS

SANITARY FACILITIES

ALLOWABLE MINIMUM SANITARY FACILITIES PER UNIFORM PLUMBING CODE (1991,1997)

CODE DIAGRAM



CODE - FLOOR PLAN

BUILDING CODE NOTES

OCCUPANCY: OCCUPANCY A-3 - TRAINING AND SKILLED DEVELOPMENT NOT WITHIN A SCHOOL

CONSTRUCTION TYPE: V-B NON-SPRINKLERED

PROPOSED BUILDING AREA: 6,342 SF  
BASE ALLOWABLE BUILDING AREA (TABLE 503): 6,000 SF

SECTION 506.2 FRONTAGE INCREASE  
274'-0" / 380'-0" = 0.724 = 0.72  
0.72 - 0.25 = 0.47 = 47% BONUS

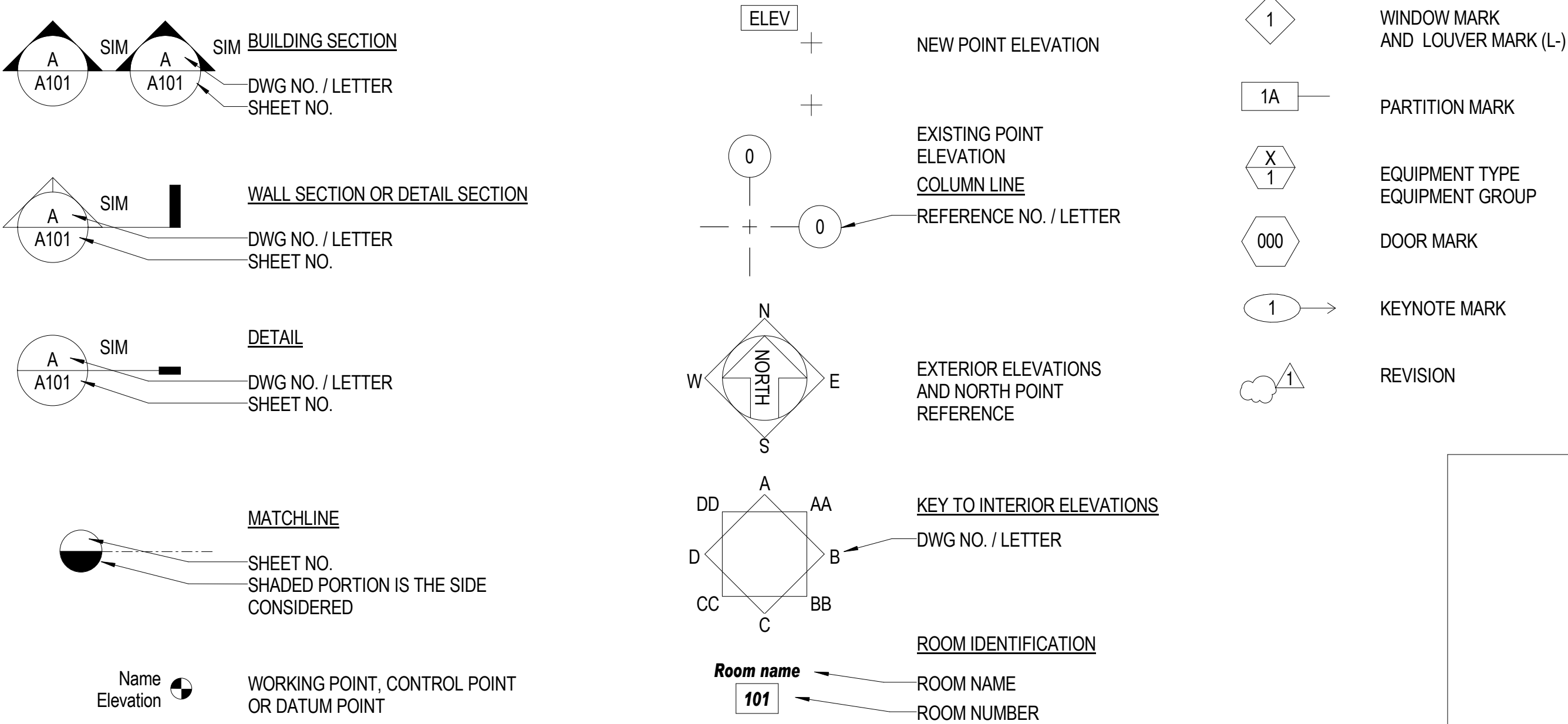
TOTAL ALLOWABLE AREA  
6,000 S.F. X 1.47 = 8,820 S.F. EXCEEDS PROPOSED BUILDING AREA

MAX HEIGHT: 26'

MAX STORIES: 1-STORY

FLOOD ZONE: AE 10'  
CURRENT ELEVATION: FINISH FLOOR 7.70', FLOOD PROTECTION PROVIDED TO 10'

SYMBOLS



DWG. NO.  
**T-103**  
SHEET 3 OF 57

|  |      |       |         |          |  |
|--|------|-------|---------|----------|--|
|  |      |       |         |          |  |
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| JUNE 2019  |      |       |         |          |  |

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ABBREVIATIONS

GENERAL NOTES

|          |                               |         |   |         |                                      |         |   |
|----------|-------------------------------|---------|---|---------|--------------------------------------|---------|---|
| &        | AND                           | DW      | DISH WASHER                             | JAL     | ALOUSIE                              | REBAR   | REINFORCING BAR                             |
| @        | ANGLE                         | DWG     | DRAWING                                 | JAN     | JANITOR                              | REC     | RECESSED                                    |
|          | AT                            | DWR     | DRAWER                                  | JB      | JUNCTION BOX                         | REF     | REFERENCE                                   |
|          | CENTER LINE                   |         |   | JC      | JANITOR'S CLOSET                     | REINF   | REINFORCED OR REINFORCING                   |
|          | DIAMETER                      |         |   | JST     | JOIST                                | REQD    | REQUIRED                                    |
| '        | FOOT; FEET                    | E       | EAST                                    |         |                                      | RESIL   | RESILIENT                                   |
| "        | INCH                          | EA      | EACH                                    |         |                                      | REV     | REVISED, REVISION OR REVERSED               |
| %        | PERCENT                       | EC      | ELASTOMERIC COATING                     | JT      | JOINT                                | RF      | ROOF, RESILIENT FLOOR                       |
|          | PERPENDICULAR                 | EFS     | EXTERIOR FINISH                         | KIT     | KITCHEN                              | RFG     | ROOFING                                     |
| #        | POUND OR NUMBER               | EJ      | EXPANSION JOINT                         | L       | LENGTH OR LONG                       | RGH     | ROUGH                                       |
| A/C      | AIR CONDITIONING              | EL      | ELEVATION                               | LAB     | LABORATORY                           |         |   |
| AB       | ANCHOR BOLT                   | ELEC    | ELECTRICAL                              | LAM     | LAMINATE OR LAMINATED                | RGTR    | REGISTER                                    |
| ABV      | ABBREVIATION                  | ELEV    | ELEVATOR                                | LAV     | LAVATORY                             | RH      | ROBE HOOK, RIGHT HAND                       |
| AC       | ASPHALT CONCRETE              | ENCL    | ENCLOSURE                               | LDG     | LANDING                              | RM      | ROOM  |
|          |                               |         |   |         |                                      | RND     | ROUND                                       |
|          |                               |         |   |         |                                      | RO      | ROUGH OPENING                               |
| ACT      | ACOUSTICAL TILE               | EPS     | EXPANDED POLYSTYRENE                    | LF      | LINEAR FOOT                          | RWC     | RAIN WATER CONDUCTOR                        |
| ACOUS    | ACOUSTICAL                    | EQ      | EQUAL                                   | LH      | LEFT HAND                            | RWD     | REDWOOD                                     |
| AD       | AREA DRAIN                    | EQPT    | EQUIPMENT                               | LOC     | LOCATION                             | RWL     | RAIN WATER LEADER                           |
| ADD      | ADDITIVE, ADDENDUM            | EXP     | EXPANSION                               | LT      | LIGHT                                |         |   |
| ADJ      | ADJUSTABLE                    | EWC     | ELEC. WATER COOLER                      | LP      | LOW POINT                            |         |   |
|          |                               | EXIST   | EXISTING                                | LVR     | LOUVER                               | S       | SOUTH                                       |
| ADJA     | ADJACENT                      | EXT     | EXTERIOR                                |         |                                      | SA      | SINGLE ACTING                               |
| AFP      | ABOVE FINISH FLOOR            |         |   | MAR     | MARBLE                               | SAFB    | SOUND ATTENUATION FIRE BLANKET              |
| AGGR     | AGGREGATE                     | FA      | FIRE ALARM                              | MAX     | MAXIMUM                              |         |   |
| AHU      | AIR HANDLING UNIT             | FAB     | FABRICATE                               | MAT     | MATERIAL                             | SB      | SPLASH BLOCK                                |
| AL/ALUM  | ALUMINUM                      | FAEM    | FLUID APPLIED ELASTOMERIC MEMBRANE      | MC      | MEDICINE CABINET                     | SC      | SCALE OR SOLID CORE                         |
|          |                               | FB      | FLAT BAR                                | MECH    | MECHANICAL                           |         |   |
|          |                               | FCU     | FAN COIL UNIT                           |         |                                      | SCD     | SEAT COVER DISPENSER                        |
| ALT      | ALTERNATE                     |         |   | MEMB    | MEMBRANE                             | SCHED   | SCHEDULE                                    |
| ANOD     | ANODIZED                      | FD      | FLOOR DRAIN                             | MET/MTL | METAL                                | SCP     | SCUPPER                                     |
| AP       | ACCESS PANEL                  | FDN     | FOUNDATION                              | MFR     | MANUFACTURER                         | SD      | SOAP DISPENSER OR SMOKE DETECTOR            |
| APPROX   | APPROXIMATE                   | FE      | FIRE EXTINGUISHER                       | MH      | MANHOLE OR MOP HOLDER                |         |   |
| ARCH     | ARCHITECTURAL                 | FEC-S   | FIRE EXTINGUISHER CABINET-SURFACE       | MIN     | MINIMUM                              | SEC     | SECTION                                     |
|          |                               | FEC-SR  | FIRE EXTINGUISHER CABINET-SEMI RECESSED |         |                                      | SEP     | SEPARATION                                  |
| BD       | BOARD                         |         |   | MIRR    | MIRROR                               | SF      | SQUARE FOOT                                 |
| BLDG     | BUILDING                      | FEC-R   | FIRE EXTINGUISHER CABINET-RECESSED      | MISC    | MISCELLANEOUS                        | SH      | SHELF                                       |
| BLKS     | BLOCKING                      | FF      | FINISH FLOOR                            | MLDG    | MOLDING                              | SHR     | SHOWER                                      |
| BLVD     | BOULEVARD                     | FF&E    | FURNITURE, FIXTURE & EQUIPMENT          | MR      | MOISTURE RESISTANT                   | SHT     | SHEET                                       |
| BM       | BEAM                          | FIN     | FINISH                                  | MO      | MASONRY OPENING                      |         |   |
|          |                               | FIX     | FIXTURE                                 |         |                                      | SHTG    | SHEATHING                                   |
| BOH      | BACK OF HOUSE                 |         |   | MS      | MOP SINK                             | SIM     | SIMILAR                                     |
| BOT      | BOTTOM                        | FLR     | FLOOR                                   | MTD     | MOUNTED                              | SL      | SLOPE                                       |
| BRKT     | BRACKET                       | FLASH'G | FLASHING                                | MTG     | MOUNTING                             | SLDG    | SLIDING                                     |
| BS       | BOTH SIDES                    | FLDG    | FOLDING                                 | MUL     | MULLION                              | SLNT    | SEALANT                                     |
| BTWN     | BETWEEN                       | FLUOR   | FLUORESCENT                             | MUN     | MUNTIN                               |         |   |
|          |                               | FOC     | FACE OF CONCRETE                        |         |                                      | NIC     | NOT IN CONTRACT                             |
| BUR      | BUILT-UP ROOFING              |         |   | NOIM    | NOT IN CONTRACT                      | NOIM    | NOT TO SCALE                                |
|          |                               | FOF     | FACE OF FINISH                          | NTS     | NOT TO SCALE                         | SM      | SHEET METAL                                 |
| CAB      | CABINET                       | FOM     | FACE OF MASONRY                         |         |                                      | SND     | SANITARY NAPKIN DIPOSAL                     |
| CB       | CATCH BASIN                   | FOS     | FACE OF STUDS, SLAB OR STRUCTURE        |         |                                      | SP      | SOLID PHENOLIC                              |
| CEM      | CEMENT                        | FR      | FRAME                                   | OA      | OVERALL                              | SPEC    | SPECIFICATION                               |
| CEM PLAS | CEMENT PLASTER                | FS      | FULL SIZE OF FLOOR SINK                 | OC      | ON CENTER                            | SQ      | SQUARE                                      |
| CER      | CERAMIC                       |         |   | OD      | OUTSIDE DIAMETER                     |         |   |
|          |                               | FT      | FOOT OR FEET                            | OFCI    | OWNER FURNISHED CONTRACTOR INSTALLED |         |   |
| CG       | CORNER GUARD                  | FTG     | FOOTING                                 | OFF     | OFFICE                               | SS      | SERVICE SINK                                |
| CI       | CAST IRON                     | FURR    | FURRING                                 | OFOI    | OWNER FURNISHED OWNER INSTALLED      | SST     | STAINLESS STEEL                             |
| CIP      | CAST IN PLACE                 | FUT     | FUTURE                                  | OH      | OVERHANG                             | ST      | STONE                                       |
| CJ       | CONSTRUCTION OR CONTROL JOINT |         |   | OPNG    | OPENING                              | STD     | STANDARD                                    |
| CLG      | CEILING                       | GA      | GAUGE                                   | OPP     | OPPOSITE                             | STL     | STEEL                                       |
|          |                               | GALV    | GALVANIZED                              | OVHD    | OVERHEAD                             |         |   |
| CLO      | CLOSET                        | GB      | GRAB BAR                                |         |                                      | STN     | STAIN                                       |
| CLR      | CLEAR                         | GFRC    | GLASS FIBER REINFORCED CONCRETE         |         |                                      | STOR    | STORAGE                                     |
| CMU      | CONCRETE MASONRY UNITS        | GI      | GALVANIZED IRON                         | PC      | PIECE                                | STRUC   | STRUCTURAL                                  |
| CNTR     | COUNTER                       |         |   | PD      | PLANTER DRAIN                        | SUSP    | SUSPENDED                                   |
| COL      | COLUMN                        | GL      | GLASS                                   | PERIM   | PERIMETER                            | SYM     | SYMMETRICAL                                 |
|          |                               | GLU-LAM | GLUE LAMINATED                          | PL      | PLATE OR PROPERTY LINE               | SYS     | SYSTEM                                      |
| CONC     | CONCRETE                      |         |   | PLAM    | PLASTIC LAMINATE                     | SW      | SWITCH                                      |
| COND     | CONDITION                     | GND     | GRADE                                   |         |                                      |         |   |
| CONN     | CONNECTION                    | GR      | GYPSUM                                  |         |                                      | T       | TREAD                                       |
| CONSTR   | CONSTRUCTION                  | GYP     |   |         |                                      | TB      | TOWEL BAR                                   |
| CONT     | CONTINUOUS                    |         |   |         |                                      | TD      | TRENCH DRAIN                                |
|          |                               | H       | HIGH OR HEIGHT                          |         |                                      | TEMP    | TEMPERED                                    |
| CONTR    | CONTRACTOR                    | HB      | HOLLOW CORE                             | PLAS    | PLASTER                              | THK     | THICK                                       |
| COP      | COPPER                        | HC      | HEAD                                    | PLBG    | PLUMBING                             |         |   |
| CORR     | CORRIDOR                      | HD      | HANDICAPPED                             | PLYWD   | PLYWOOD                              | THR     | THRESHOLD                                   |
| CPT      | CARPET                        | HDCP    |   | PNL     | PANEL                                | TP      | TOILET PARTITION                            |
| CT       | CERAMIC TILE                  |         |   | PR      | PAIR                                 | TSC-TTD | TOILET SEAT COVER - TOILET TISSUE DISPENSER |
|          |                               |         |   |         |                                      |         |   |
| CTR      | CENTER                        | HDWD    | HARDWOOD                                | PREFAB  | PREFABRICATE                         |         |   |
| CTSK     | COUNTERSINK                   | PREP    | PREPARATION                             | PROP    | PROPERTY                             |         |   |
| CW       | COLD WATER                    | HT      | HOLLOW METAL                            | PT      | PAINT, POINT                         |         |   |
|          |                               | HORIZ   | HORIZONTAL                              | PTDR    | PAPER TOWEL DISPENSER AND RECEPTACLE | TPH     | TOILET PAPER HOLDER                         |
|          |                               |         |   |         |                                      | TW      | TOP OF WALL                                 |
| DA       | DOUBLE ACTING                 |         |   |         |                                      | TYP     | TYPICAL                                     |
| DBL      | DOUBLE                        | HR      | HOSE BIBB                               | PTN     | PARTITION                            | UON     | UNLESS OTHERWISE NOTED                      |
| DD       | DECK DRAIN                    | HS      | HIGH POINT                              | PIP     | POURED IN PLACE                      | UR      | URINAL                                      |
| DECOR    | DECORATIVE                    | HP      | HEATING, VENTILATION, AIR CONDITIONING  | PIV     | POST INDICATE VALVE                  |         |   |
| DEMO     | DEMOLITION                    | HVAC    |   | PVC     | POLYVINYL CHLORIDE                   |         |   |
|          |                               |         |   | PVMT    | PAVEMENT                             | VCT     | VINYL COMPOSITION TILE                      |
| DEPT     | DEPARTMENT                    | ID      | INSIDE DIAMETER                         |         |                                      | VERT    | VERTICAL                                    |
| DET      | DETAIL                        | IN      | INCLUSIVE, INCLUDED OR INCLUDING        | QT      | QUARRY TILE                          | VIF     | VERIFY IN FIELD                             |
| DF       | DRINKING FOUNTAIN             | INCL    | INSULATION                              |         |                                      |         |   |
| DIA      | DIAMETER                      | INSUL   | INTERIOR                                | R       | RISER, RADIUS                        |         |   |
| DIM      | DIMENSION                     | INT     |   | RAD     | RADIUS                               | W/      | WITH  |
|          |                               |         |   | RB      | RESILIENT BASE                       | WC      | WATER CLOSET                                |
| DISP     | DISPENSER                     | INTEG   | INTEGRATED                              | RC      | RAIN CHAIN                           | WD      | WOOD  |
| DN       | DOWN                          | INFO    | INVERT                                  | RD      | ROOF DRAIN                           | WDW     | WINDOW                                      |
| DR       | DOOR                          | INV     |   |         |                                      | WH      | WALL HYDRANT                                |
| DS       | DOWNSPOUT                     |         |   |         |                                      |         |   |
|          |                               |         |   |         |                                      | WJ      | WALL JOINT                                  |
|          |                               |         |   |         |                                      | W/O     | WITHOUT                                     |
|          |                               |         |   |         |                                      | WP      | WATERPROOF                                  |
|          |                               |         |   |         |                                      | WR      | WATER RESISTANT                             |
|          |                               |         |   |         |                                      | WT      | WEIGHT                                      |
|          |                               |         |   |         |                                      | WHL     | WEEP HOLE                                   |

- ALL WORK SHALL CONFORM TO THE HONOLULU INCLUDING ALL AMENDMENTS AND AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND THE BEST TRADE PRACTICES.
- ALL WORK SHALL CONFORM TO SEISMIC REQUIREMENTS OF SEISMIC ZONE XX. (SEE STRL DWGS)
- TOP OF ARCHITECTURAL FINISH FLOOR @ 0.00 ELEVATION = XXXX BASED ON U.S. COAST AND GEODETIC SURVEY. ALTERNATIVE: [REFER TO CIVIL DRAWINGS FOR ARCHITECTURAL FINISH FLOOR ELEVATION]
- THE CONTRACTOR SHALL FULLY EXECUTE ALL CONDITIONS OF THE CONTRACT, INCLUDING THE REQUIREMENTS OF THE GENERAL CONDITIONS (AIA DOCUMENT A201).
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING LOCAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY CONDITIONS OF DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH WORK TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND/OR BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS THAT REQUIRE MODIFICATIONS BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL COOPERATE WITH OWNERS [FF&E, SECURITY, DATA, ETC.] CONTRACTORS FOR SCHEDULING, ACCESS, AND/OR INSTALLATION OF ALL ASSOCIATIVE EQUIPMENT WITHIN THE WORK AREA.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN THE CERTIFICATE OF OCCUPANCY.
- REFER TO CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS LEGENDS, ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING COMPONENTS.
- NOTES APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND MATERIAL. SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE WHERE SPECIFIED DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED; CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

CONSTRUCTION NOTES

UNLESS OTHERWISE NOTED OR INDICATED DIMENSIONS ON THE PLANS SHALL BE FROM CENTERLINE OF THE COLUMN, GRIDLINE, OR FACE OF STRUCTURE/STUD.

ALL EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A WAY AS TO MAKE THEM WEATHERPROOF.

FLOOR SURFACES SHALL BE SLIP RESISTANT MEETING THE MINIMUM STATIC COEFFICIENT OF 0.6 FOR FLOORS AND 0.8 FOR RAMPS AS REQUIRED BY ADAAG.

EXTERIOR PENESTRATION AND PENESTRATION ENCLOSING CONDITIONED SPACE SHALL BE WEATHERSTRIPPED OR OTHERWISE TIGHTLY SEALED TO MINIMIZE AIR LEAKAGE.

EXTERIOR DOORS AND DOORS ENCLOSING CONDITIONED SPACE SHALL MINIMIZE AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION. SEAL OR ASTRAGAL SHALL BE PROVIDED AT HEAD, SILL, AND JAMBS. MEETING PORTIONS OF SECTIONAL, BI-PARTING, OR DOUBLE DOORS SHALL BE PROVIDED WITH A WEATHER TIGHT ASTRAGAL OR SEAL.

WHERE MULTIPLE SWITCHES OR RECEPTACLES ARE LOCATED IN NEAR VICINITY, THE CONTRACTOR SHALL GANG SWITCHES OR RECEPTACLES UP TO THE MAXIMUM WIDTH AVAILABLE FOR FACE PLATES.

ALL SWITCHES AND/OR RECEPTACLES MOUNTED ABOVE COUNTERS SHALL BE INSTALLED SO THAT LENGTH OF FACE PLATE IS ORIENTED HORIZONTALLY.

|          |      |       |         |          |  |
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|          |      |       |         |          |  |
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| REVISION | DATE | BRIEF | MADE BY | APPROVED |  |

DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD  
RESIDENT'S CENTER  
RFP-19-HHL-007

ABBREVIATIONS & NOTES

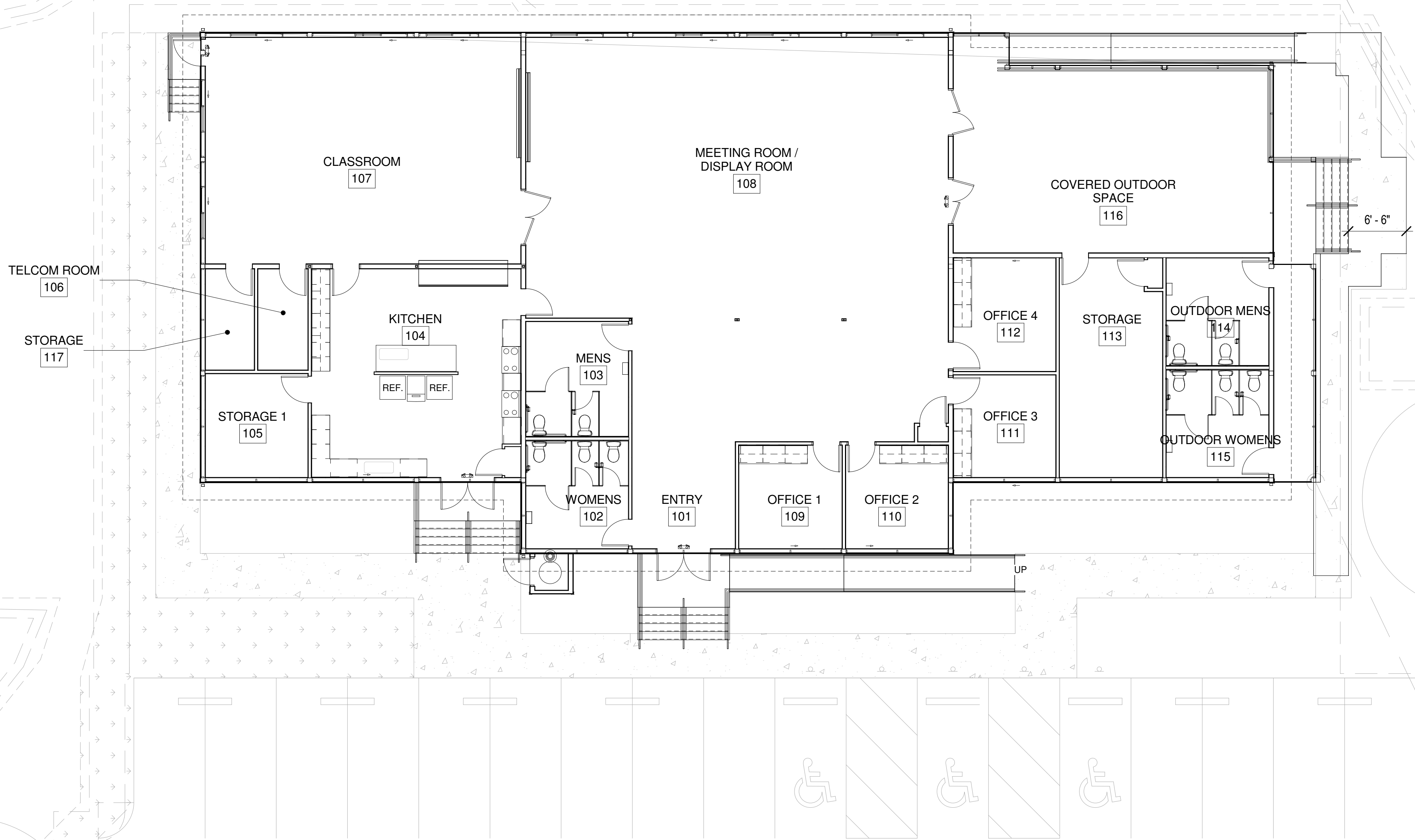
OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

JUNE 2019

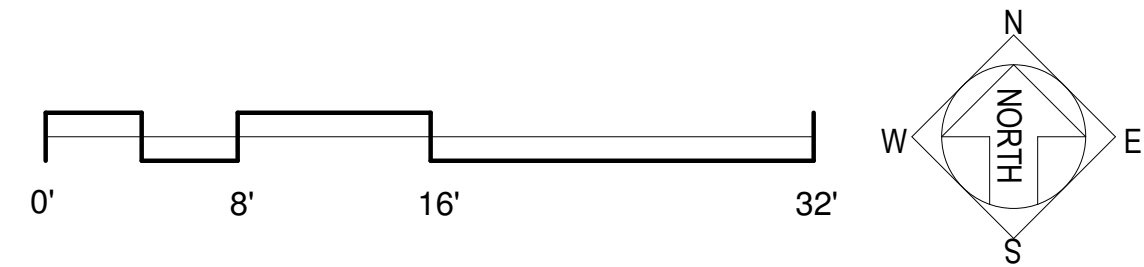
DWG. NO.  
**T-104**  
SHEET 4 OF 57

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| FILE | POCKET | FOLDER | NO. |
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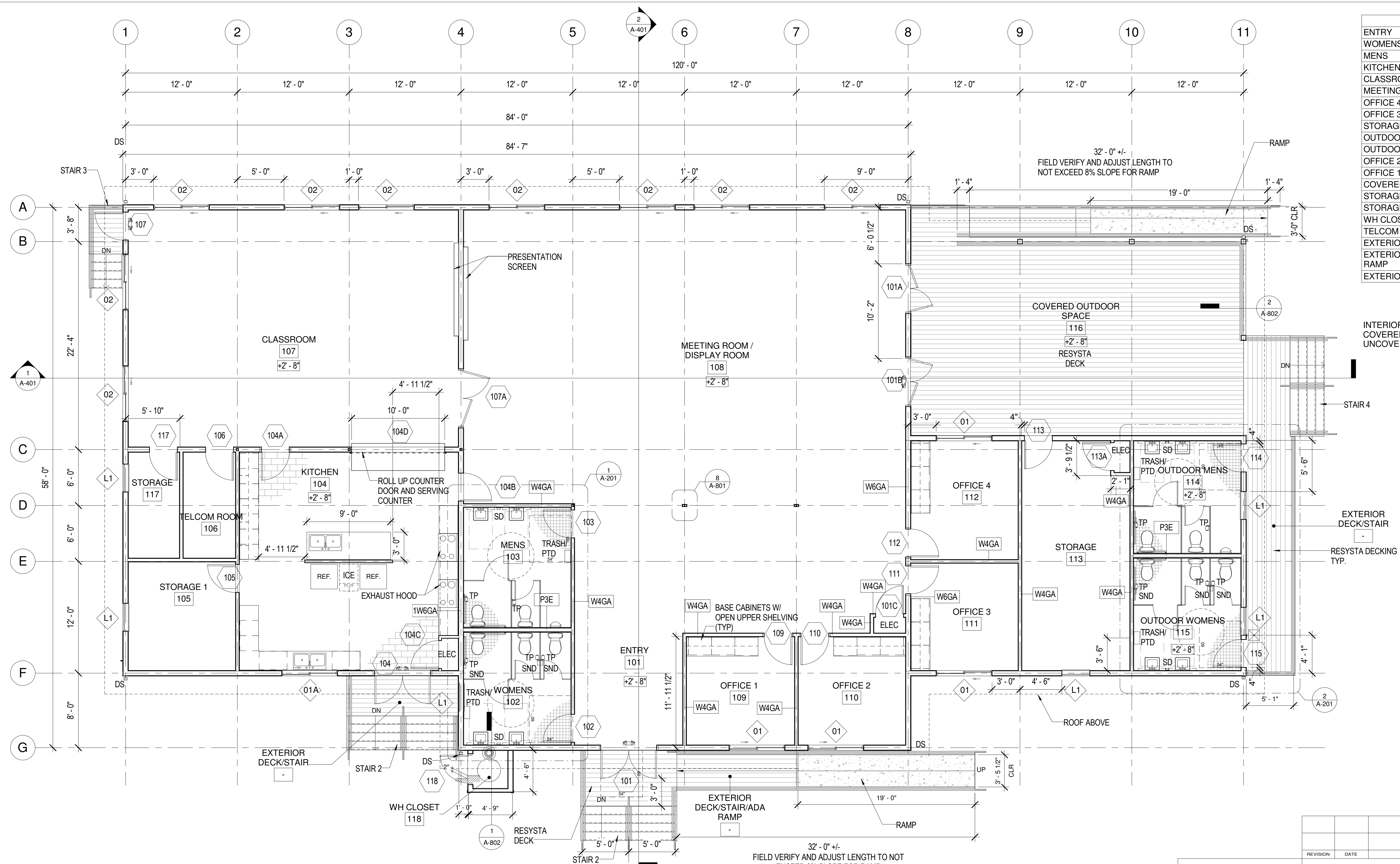
1 SITE PLAN  
SCALE: 1/8" = 1'-0"



DWG. NO.  
**A-100**  
SHEET 5 OF 57

|  |        |        |         |          |  |
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| REVISION   | DATE   | BRIEF  | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |  |
| SITE PLAN  |        |        |         |          |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |        |        |         |          |  |
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| Name                         | Area    |
|------------------------------|---------|
| ENTRY                        | 139 SF  |
| WOMENS                       | 140 SF  |
| MENS                         | 149 SF  |
| KITCHEN                      | 541 SF  |
| CLASSROOM                    | 901 SF  |
| MEETING ROOM / DISPLAY ROOM  | 1982 SF |
| OFFICE 4                     | 147 SF  |
| OFFICE 3                     | 133 SF  |
| STORAGE                      | 278 SF  |
| OUTDOOR MENS                 | 139 SF  |
| OUTDOOR WOMENS               | 139 SF  |
| OFFICE 2                     | 134 SF  |
| OFFICE 1                     | 135 SF  |
| COVERED OUTDOOR SPACE        | 825 SF  |
| STORAGE 1                    | 134 SF  |
| STORAGE                      | 63 SF   |
| WH CLOSET                    | 13 SF   |
| TELCOM ROOM                  | 64 SF   |
| EXTERIOR DECK/STAIR          | 223 SF  |
| EXTERIOR DECK/STAIR/ADA RAMP | 235 SF  |
| EXTERIOR DECK/STAIR          | 95 SF   |
|                              | 6608 SF |

INTERIOR GBA: 5,588 SF  
COVERED LANAI: 758 SF  
UNCOVERED RAMPS/STAIRS: 730 SF

| REVISION | DATE | BRIEF | MADE BY | APPROVED |
|----------|------|-------|---------|----------|
|          |      |       |         |          |

DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD  
RESIDENT'S CENTER  
RFP-19-HHL-007

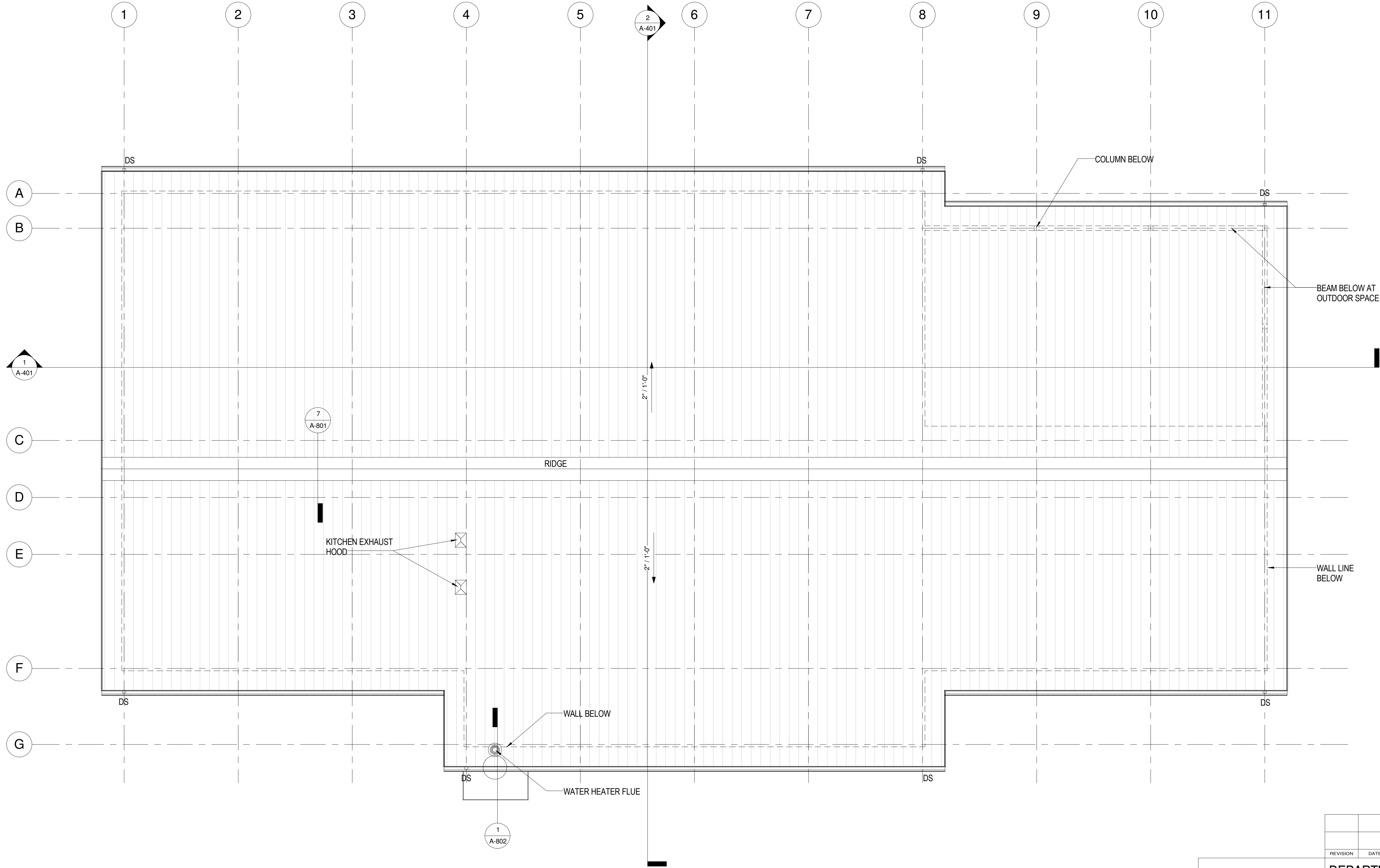
FLOOR PLAN

OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

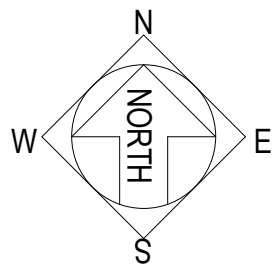
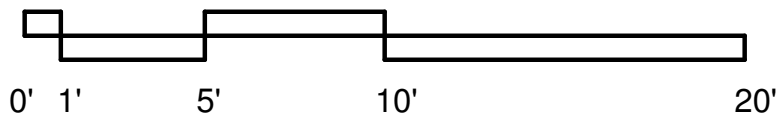
JUNE 2019

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**1** ROOF PLAN  
SCALE: 3/16" = 1'-0"



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**A-102**  
SHEET 7 OF 57

|  |      |       |         |          |
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|  |      |       |         |          |
| REVISION   | DATE | BRIEF | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |       |         |          |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |       |         |          |
| ROOF PLAN  |      |       |         |          |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |      |       |         |          |
| JUNE 2019  |      |       |         |          |

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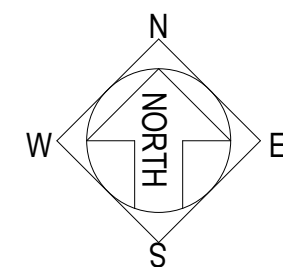
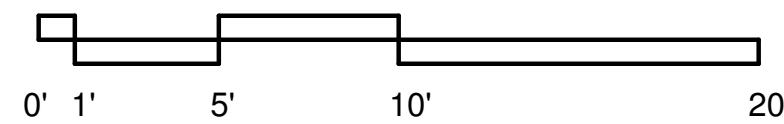
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## LEGEND

|  |  |  |  |  |                               |  |                         |
|--|--|--|--|--|-------------------------------|--|-------------------------|
|  | ACT-1<br>24' x 48' SUSPENDED<br>ACOUSTICAL TILES                         |  | EXTERIOR SOFFIT BD                     |  | 1 X 4 RECESSED<br>FLUORESCENT |  | DECORATIVE<br>SCONCE    |
|  | ACT-2 WASHABLE<br>24' x 48' SUSPENDED<br>ACOUSTICAL TILES<br>WHERE NOTED |  | 2 X 4 RECESSED LAY-IN<br>LIGHT FIXTURE |  | 6" RECESSED<br>DOWNLIGHT      |  | 2 X 2 DIFFUSER          |
|  | PTD GYP BD<br>1 LAYER  |  | 2 X 2 RECESSED LAY-IN<br>LIGHT FIXTURE |  | 6" RECESSED<br>WALL WASHER    |  | LINEAR SLOT<br>DIFFUSER |
|  |  |  | TRACK LIGHT FIXTURE                    |  | 4" DOWNLIGHT                  |  |                         |
|  |  |  | LINEAR PENDANT<br>FIXTURE              |  |                               |  |                         |

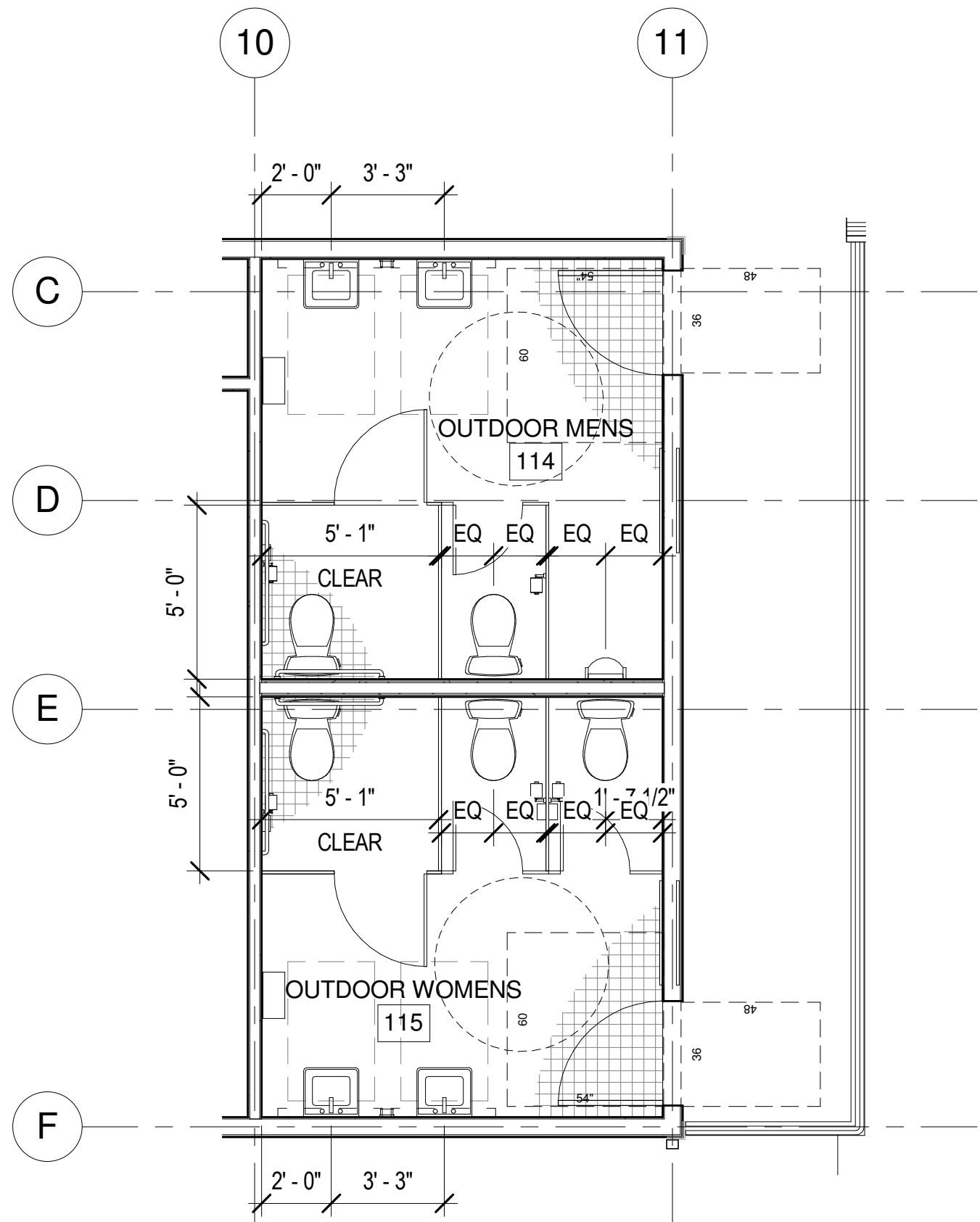
## 1 REFLECTED CEILING PLAN

SCALE: 3/16" = 1'-0"

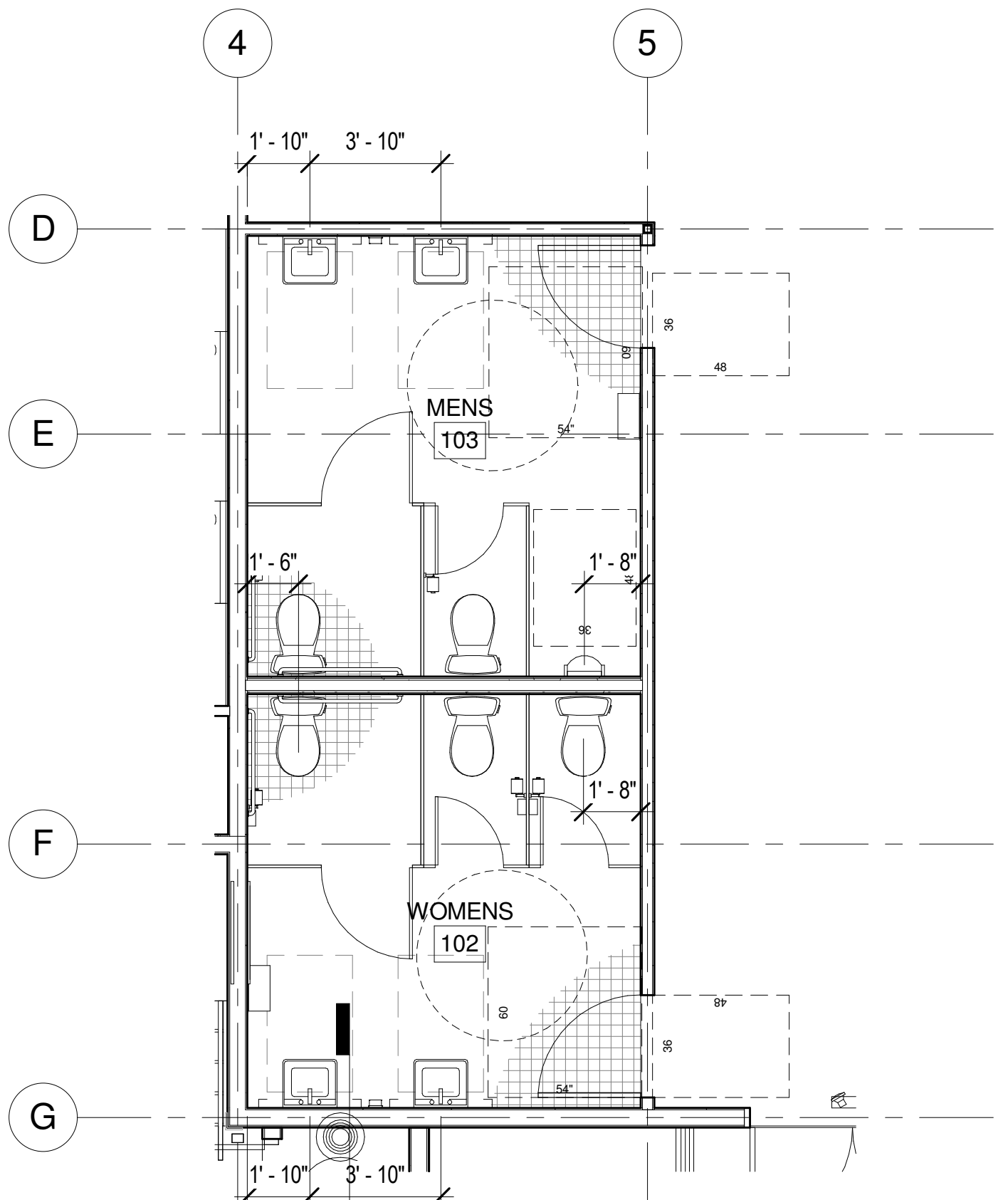


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**A-103**  
SHEET 8 OF 57

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|  |        |        |         |          |  |
| REVISION   | DATE   | BRIEF  | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |  |
| REFLECTED CEILING PLAN   |        |        |         |          |  |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |        |        |         |          |  |
| JUNE 2019  |        |        |         |          |  |
| FILE   | POCKET | FOLDER | NO.     |          |  |



**2** RESTROOM PLAN  
SCALE: 1/4" = 1'-0"



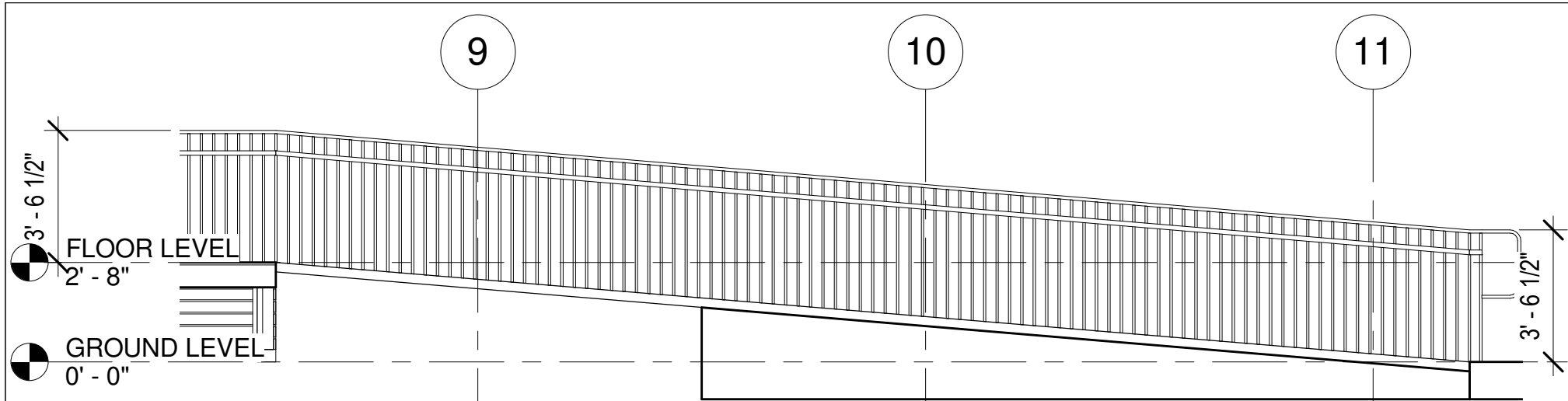
**1** RESTROOM PLAN  
SCALE: 1/4" = 1'-0"  
A-802

DWG. NO.  
**A-201**  
SHEET 9 OF 57

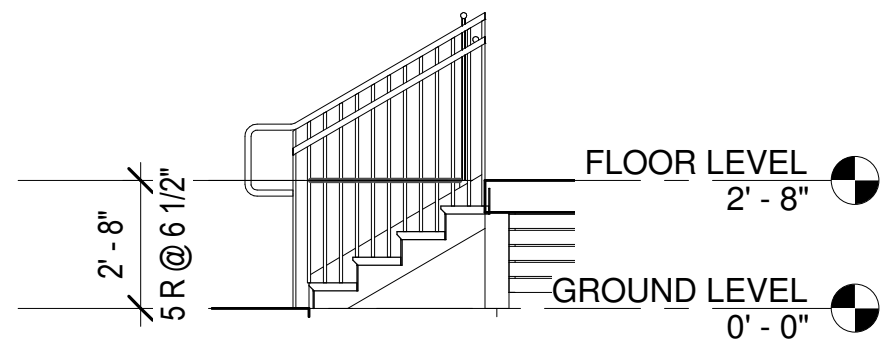
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|  |      |       |         |          |
| REVISION   | DATE | BRIEF | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |       |         |          |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |       |         |          |
| ENLARGED PLANS   |      |       |         |          |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |      |       |         |          |
| JUNE 2019  |      |       |         |          |

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| FILE | POCKET | FOLDER | NO. |
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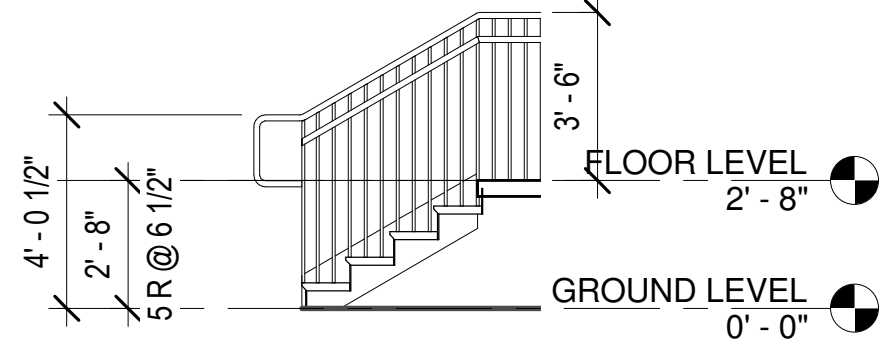
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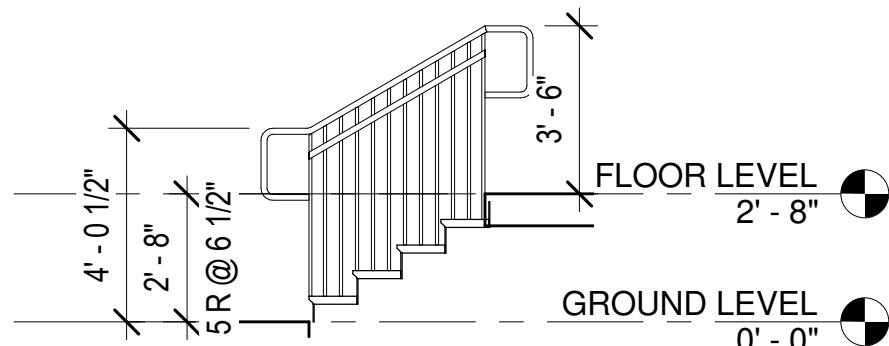
**6 NORTH ENTRY RAMP SECTION**  
SCALE: 1/4" = 1'-0"



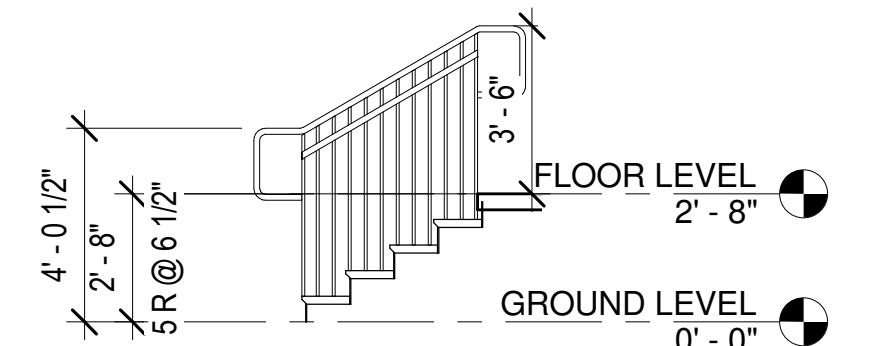
**9 STAIR 4 SECTION**  
SCALE: 1/4" = 1'-0"



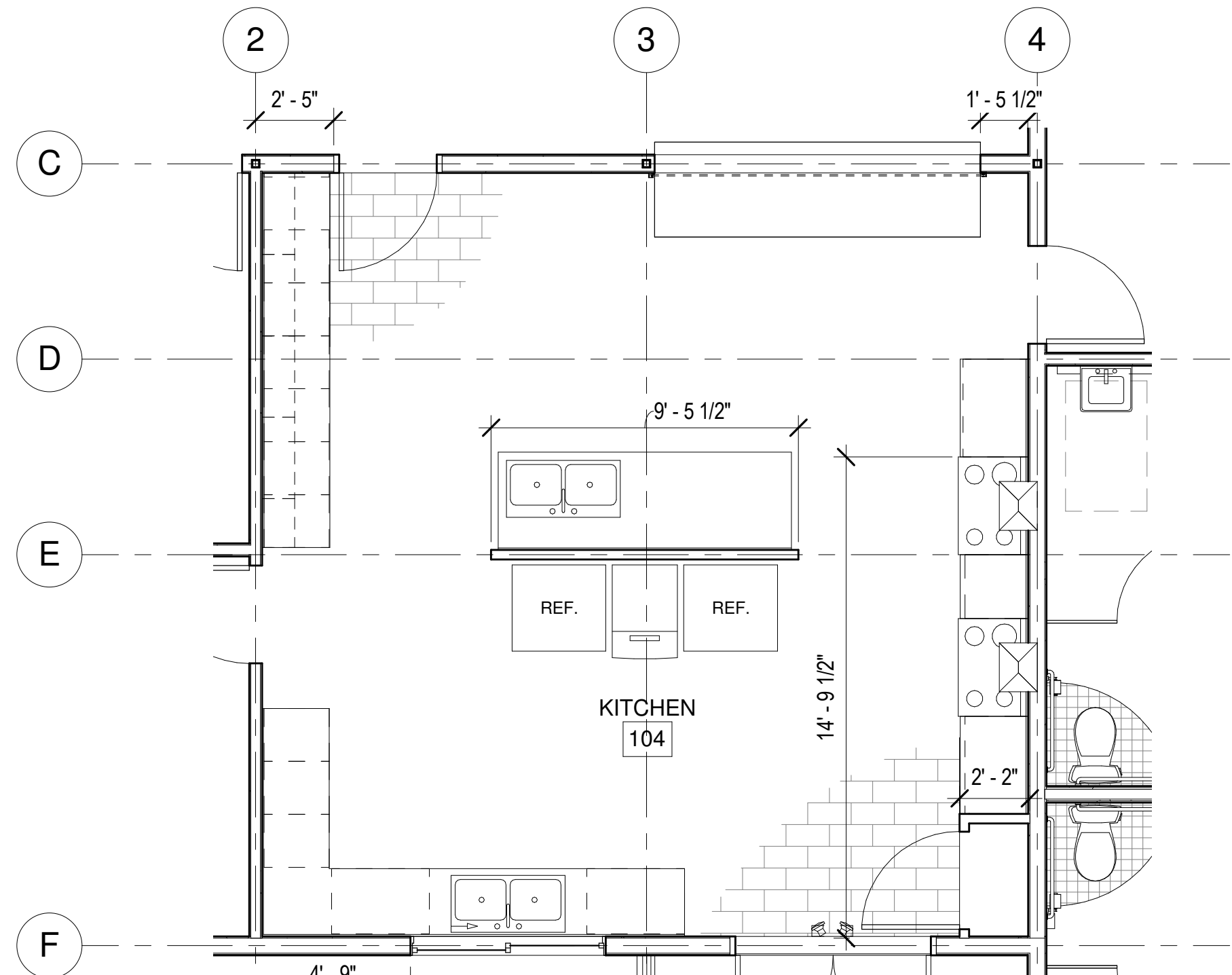
**7 STAIR 2 SECTION**  
SCALE: 1/4" = 1'-0"



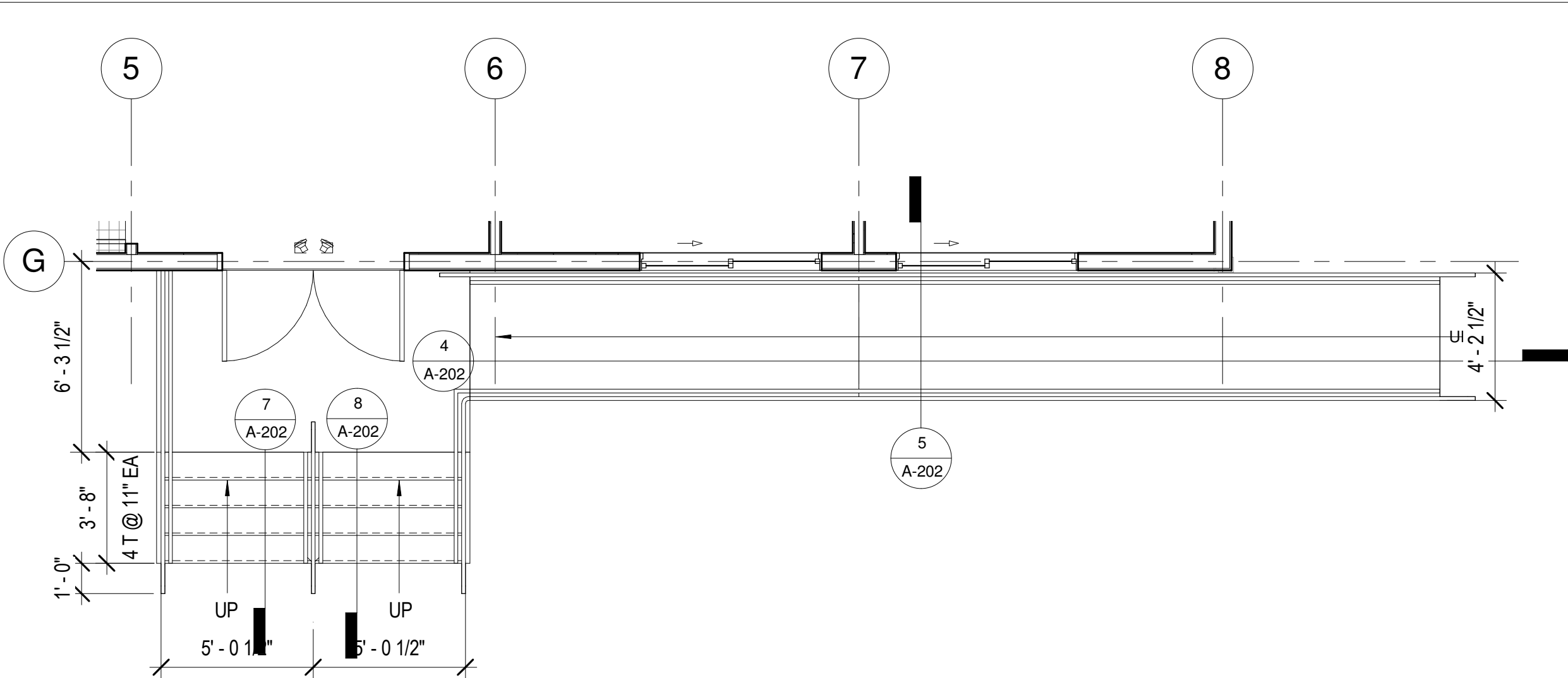
**10 STAIR 4 SECTION**  
SCALE: 1/4" = 1'-0"



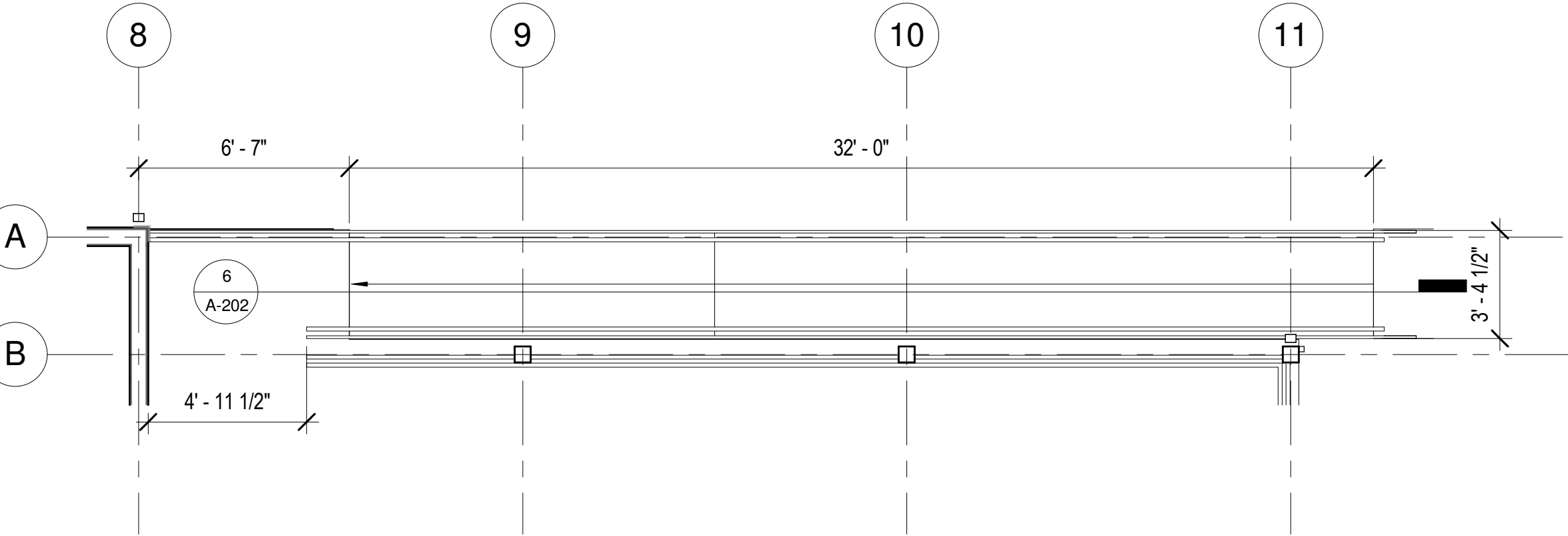
**8 STAIR 2 SECTION**  
SCALE: 1/4" = 1'-0"



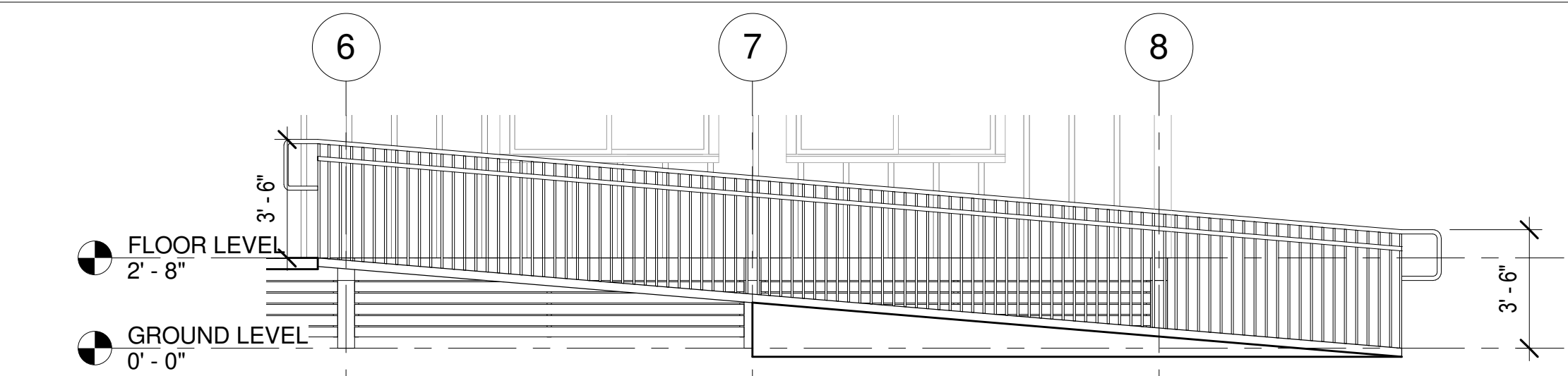
**11 KITCHEN PLAN**  
SCALE: 1/4" = 1'-0"



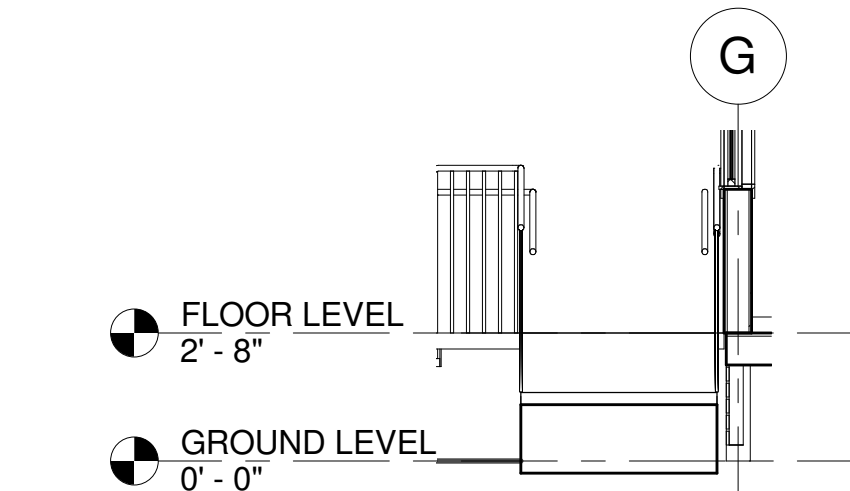
**2 ENTRY STAIR 2 & RAMP AT SOUTH ENTRY**  
SCALE: 1/4" = 1'-0"



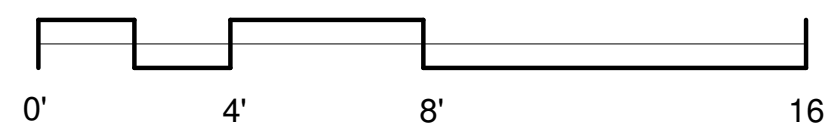
**3 ENTRY STAIR 2 & RAMP AT SOUTH ENTRY**  
SCALE: 1/4" = 1'-0"



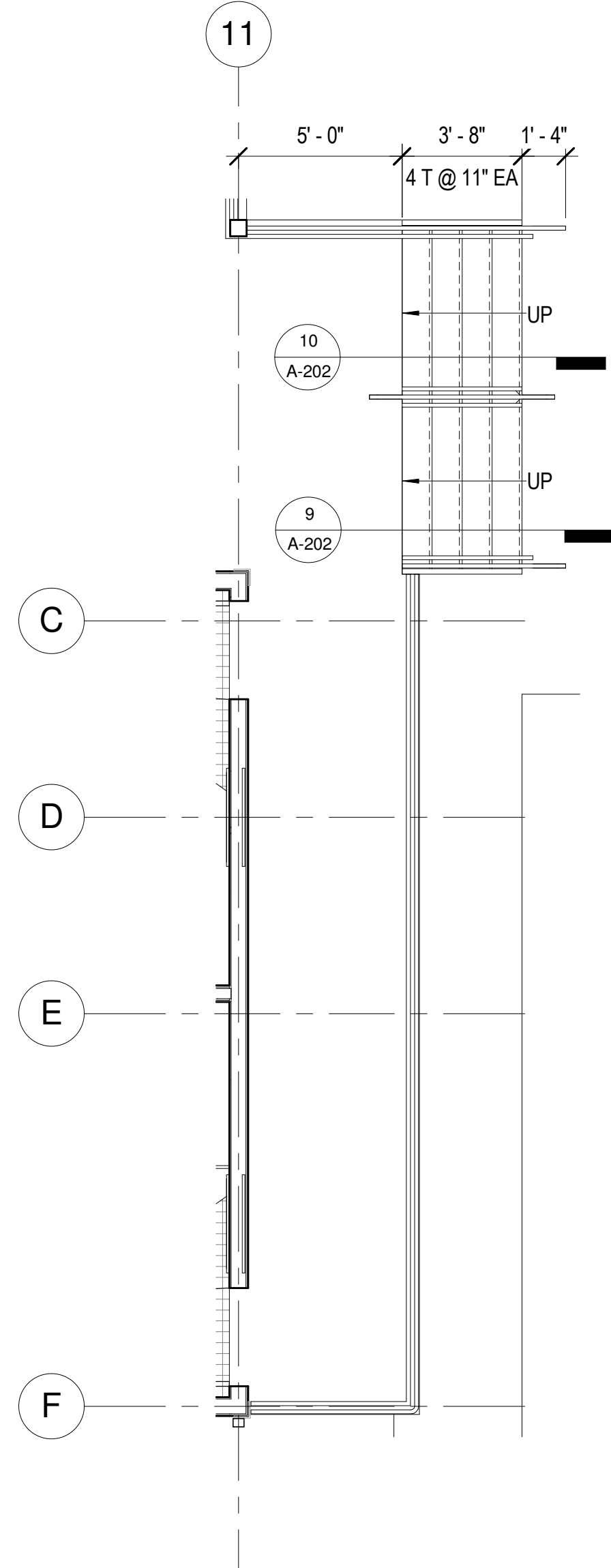
**4 SOUTH ENTRY RAMP SECTION**  
SCALE: 1/4" = 1'-0"



**5 SOUTH ENTRY RAMP SECTION**  
SCALE: 1/4" = 1'-0"

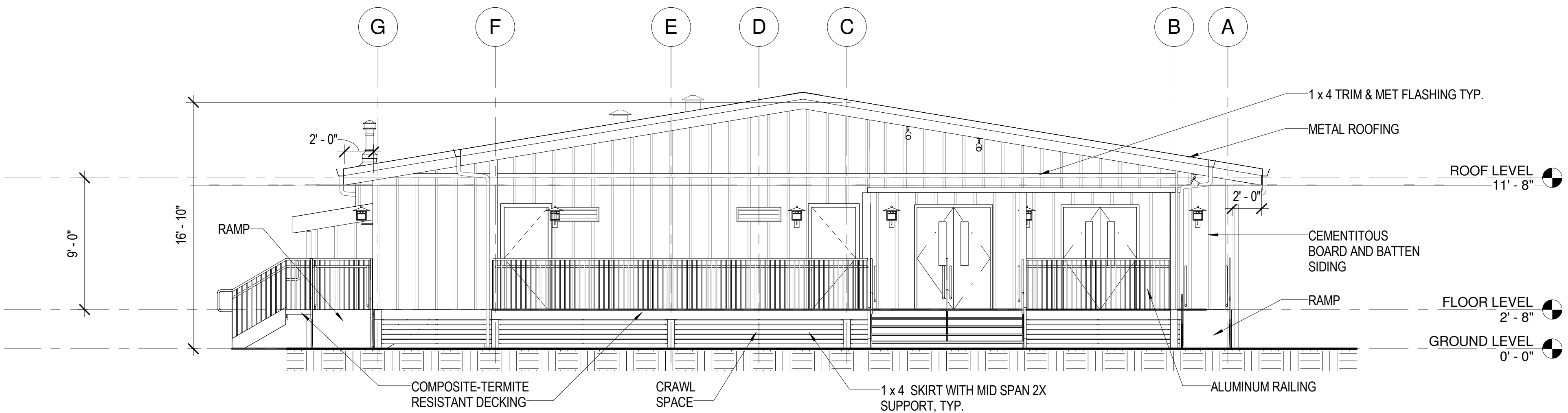


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**A-202**  
SHEET 10 OF 57

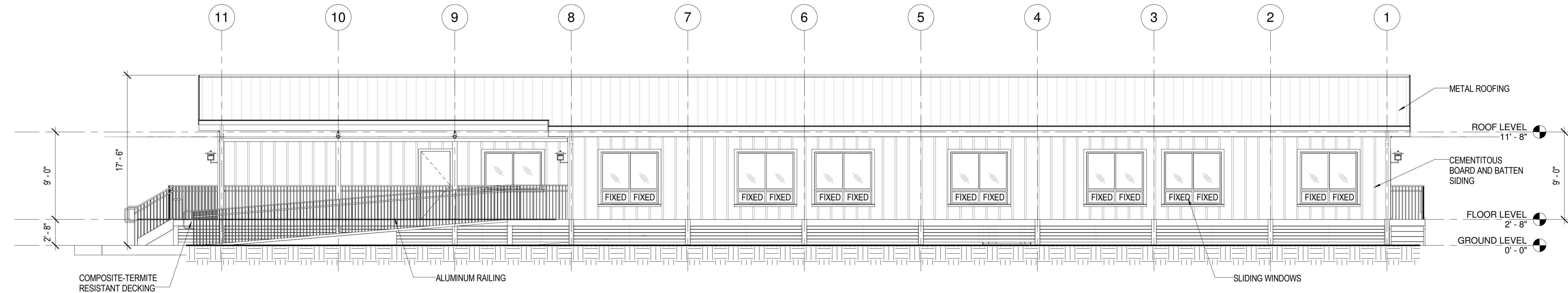


**1 ENTRY STAIR 4 AT EAST ENTRY**  
SCALE: 1/4" = 1'-0"

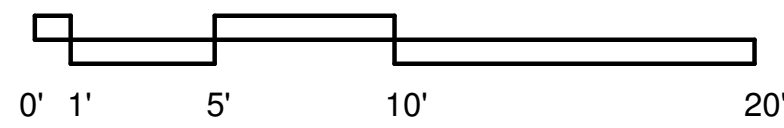
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| REVISION   | DATE   | BRIEF  | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |  |
| ENLARGED PLANS   |        |        |         |          |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |        |        |         |          |  |
| JUNE 2019  |        |        |         |          |  |
| FILE   | POCKET | FOLDER | NO.     |          |  |



1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"

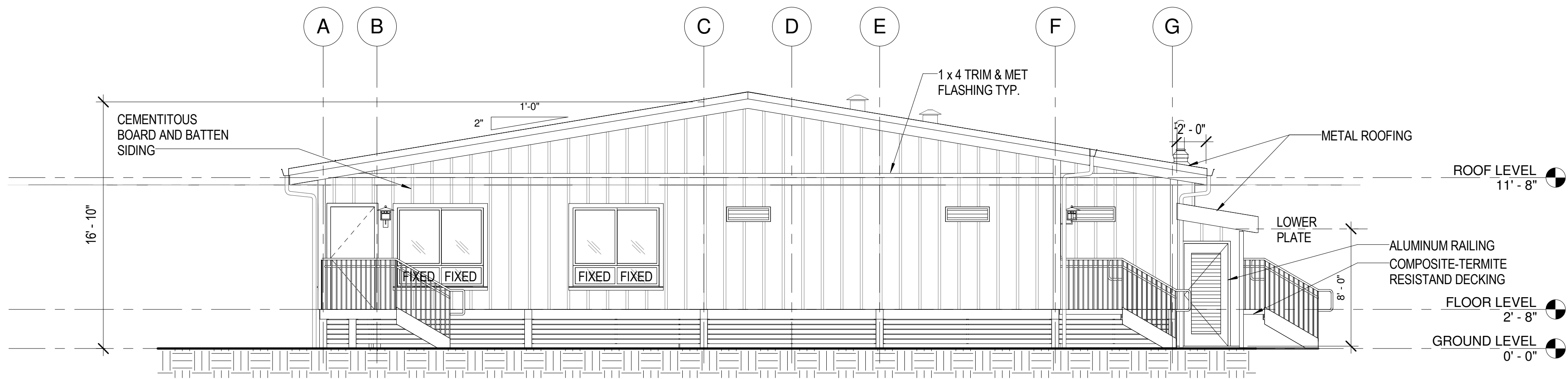


2 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

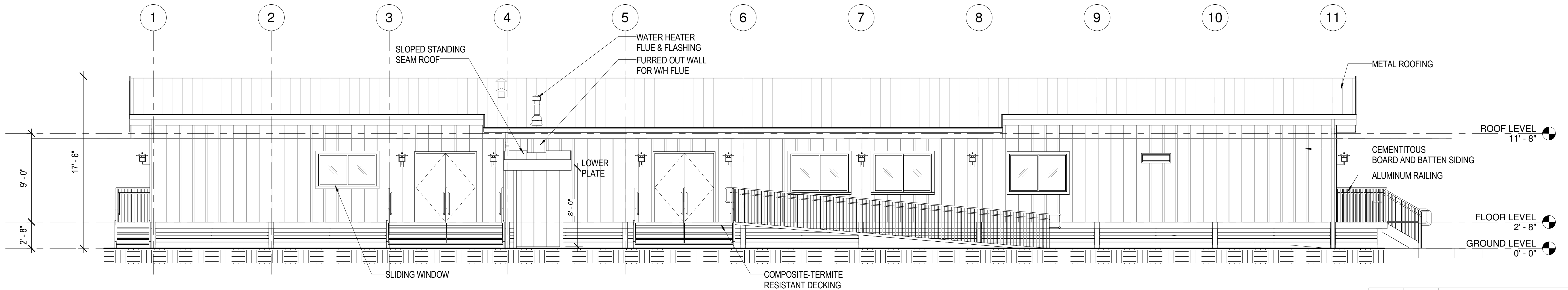


DWG. NO.  
**A-301**  
SHEET 11 OF 57

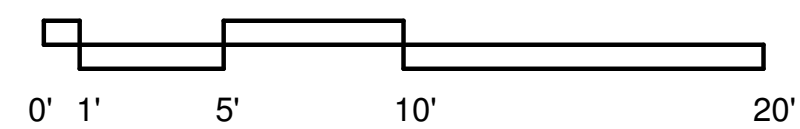
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| REVISION   | DATE   | BRIEF  | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |
| EXTERIOR ELEVATIONS  |        |        |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |        |        |         |          |
| JUNE 2019  |        |        |         |          |
| FILE   | POCKET | FOLDER | NO.     |          |



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

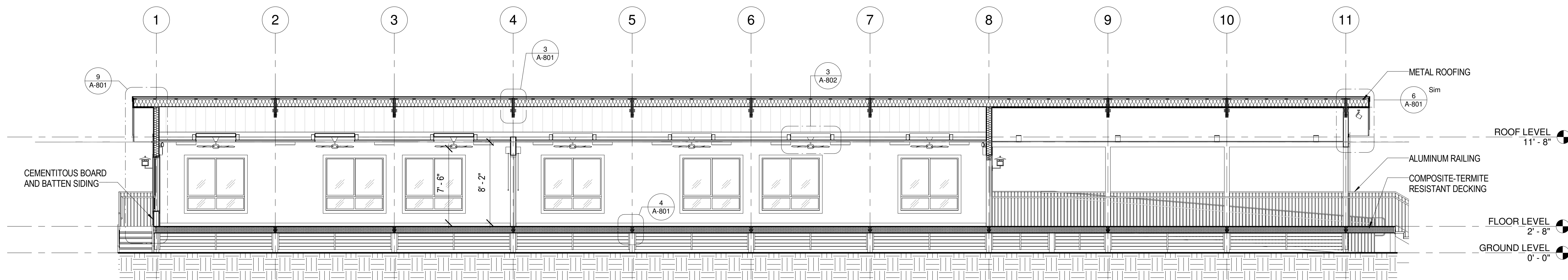


**1 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

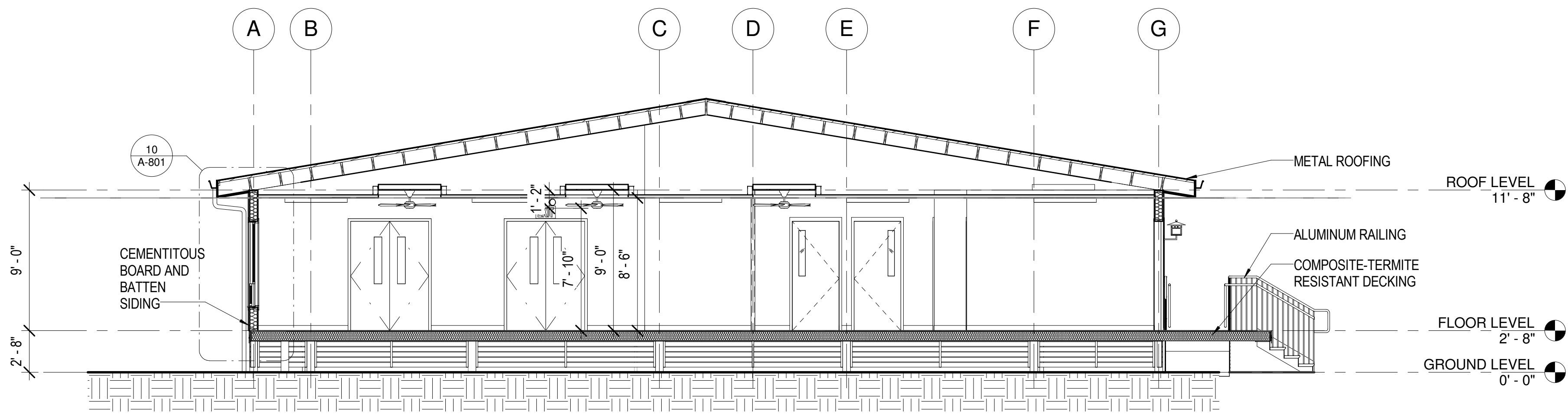


DWG. NO.  
**A-302**  
SHEET 12 OF 57

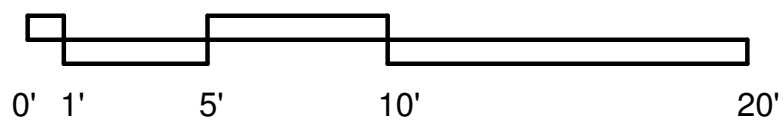
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| REVISION   | DATE   | BRIEF  | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |  |
| EXTERIOR ELEVATIONS  |        |        |         |          |  |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |        |        |         |          |  |
| JUNE 2019  |        |        |         |          |  |
| FILE   | POCKET | FOLDER | NO.     |          |  |



1 LONGITUDINAL SECTION  
SCALE: 3/16" = 1'-0"

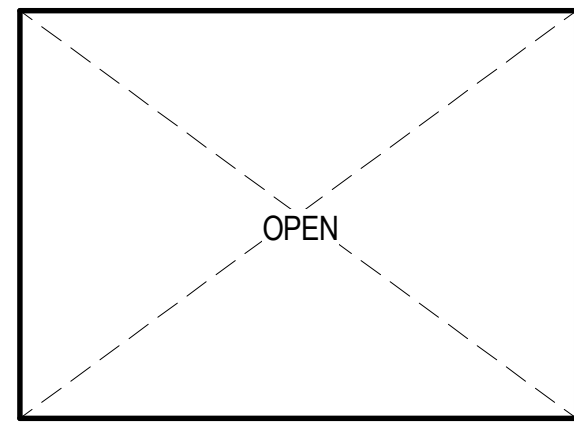


2 CROSS SECTION  
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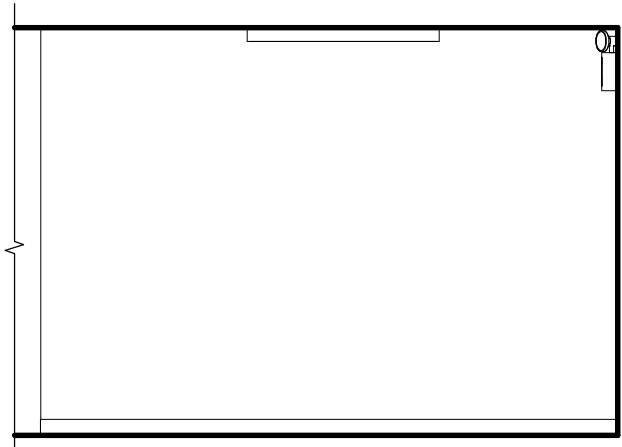


DWG. NO. **A-401**  
SHEET 13 OF 57

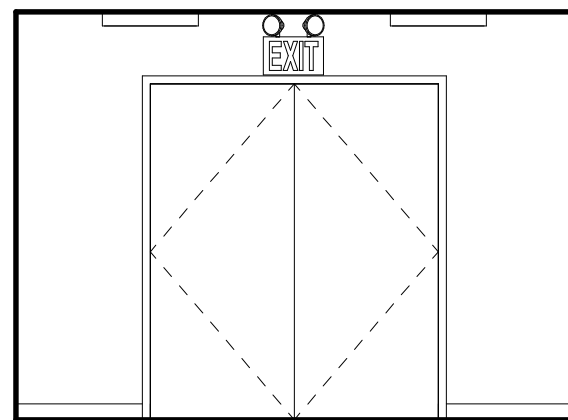
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|  |        |        |         |          |
| REVISION   | DATE   | BRIEF  | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |
| BUILDING SECTIONS  |        |        |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |        |        |         |          |
| JUNE 2019  |        |        |         |          |
| FILE   | POCKET | FOLDER | NO.     |          |



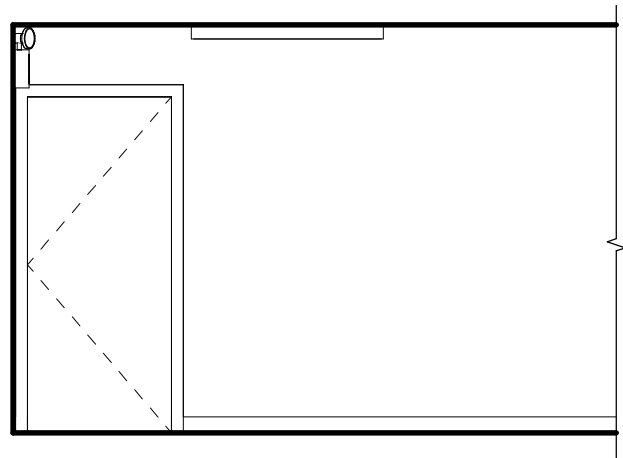
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B



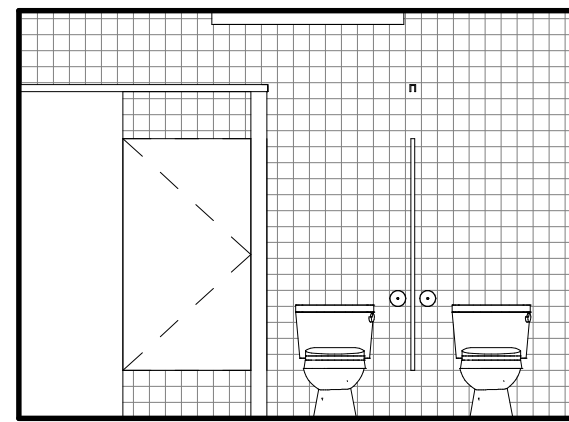
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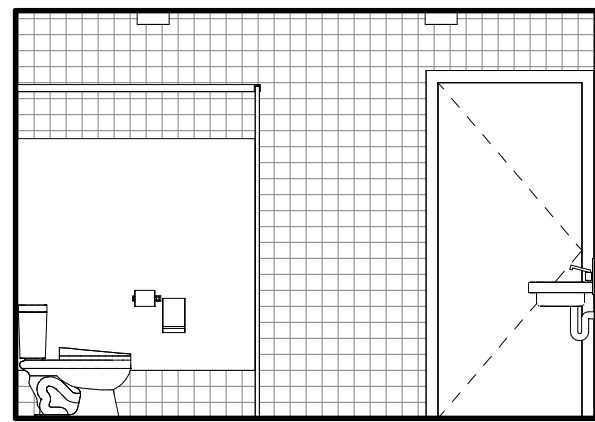
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1 ENTRY 101

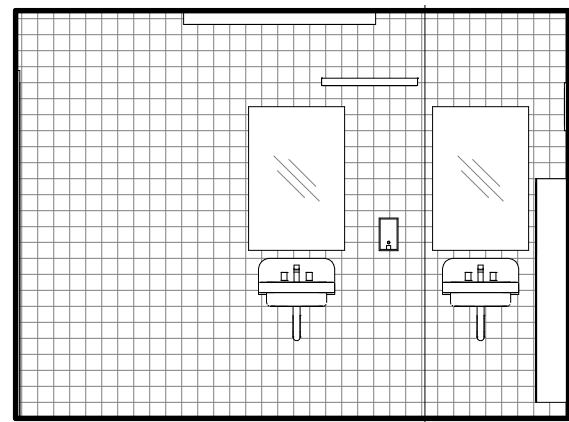
SCALE: 1/4" = 1'-0"



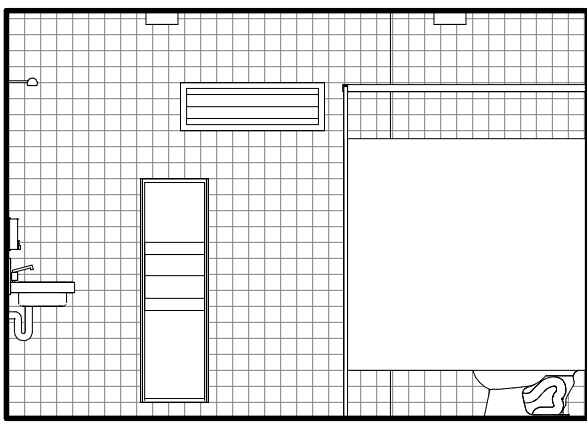
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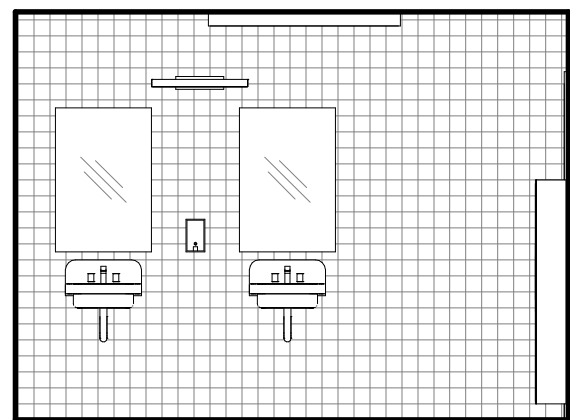
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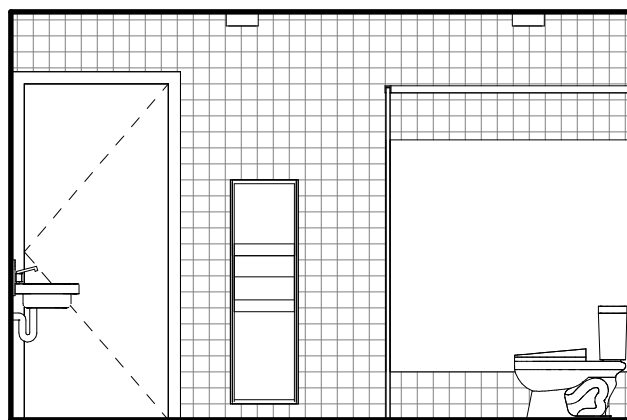
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2 WOMENS 102

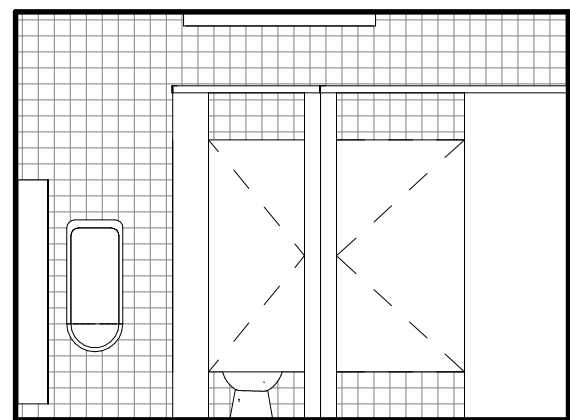
SCALE: 1/4" = 1'-0"



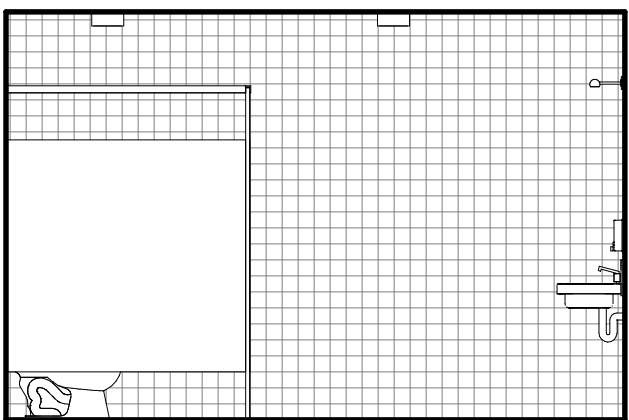
A



B



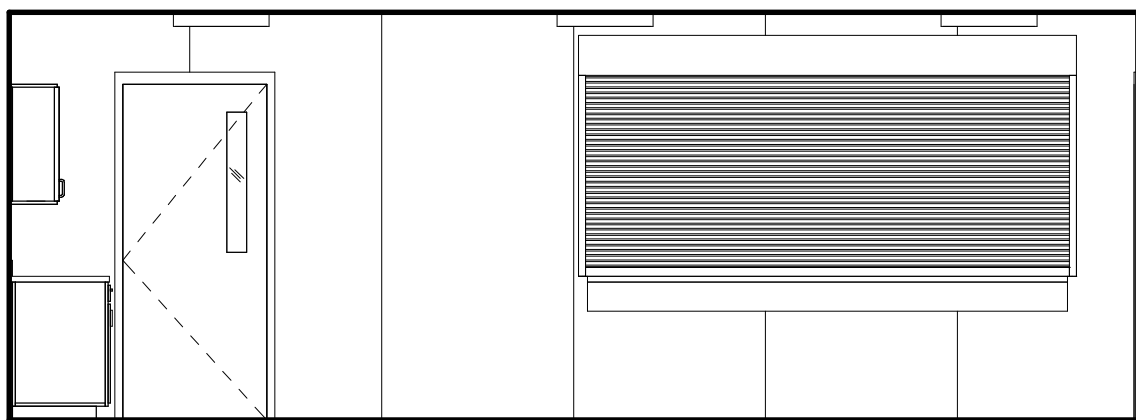
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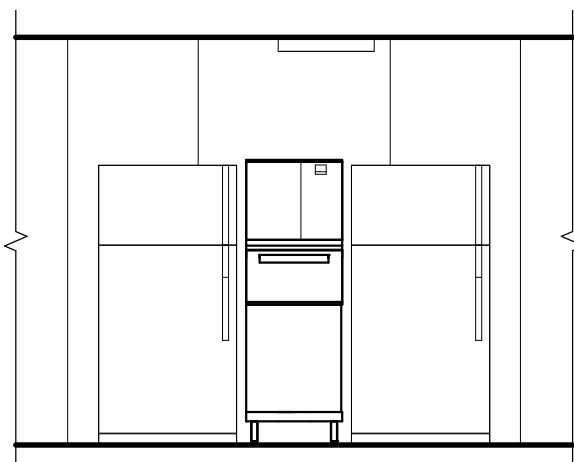
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3 MENS 103

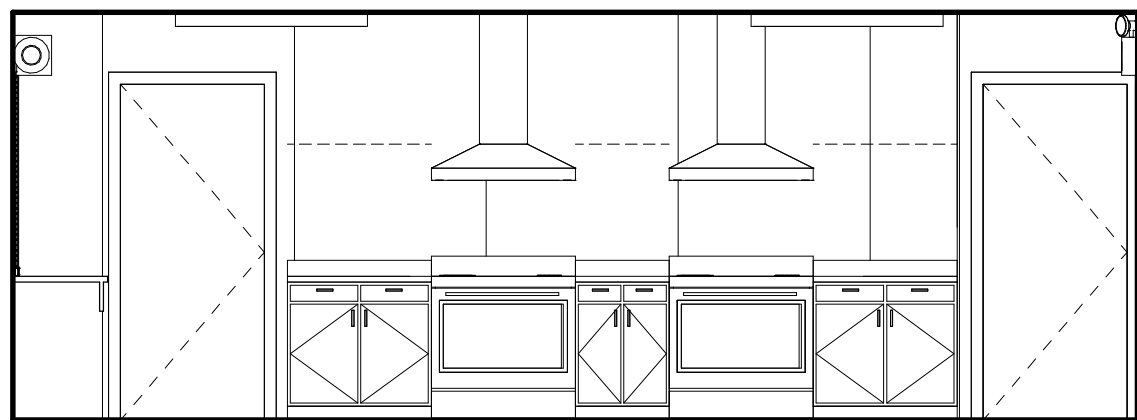
SCALE: 1/4" = 1'-0"



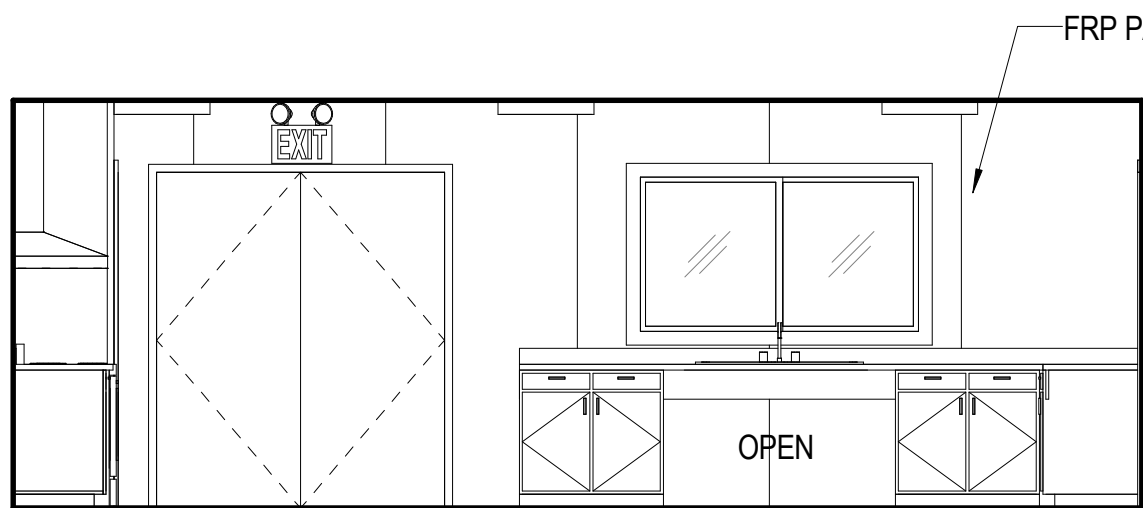
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A1

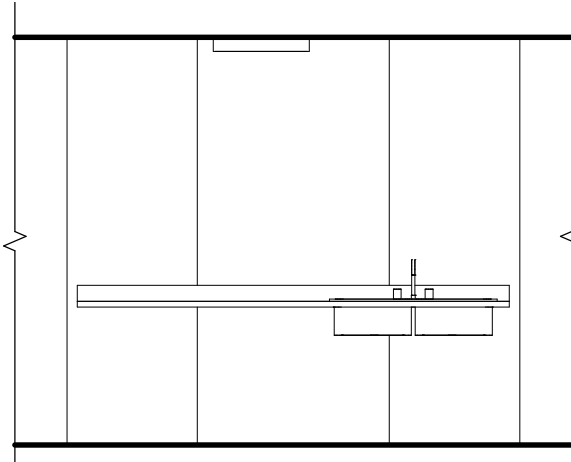


B

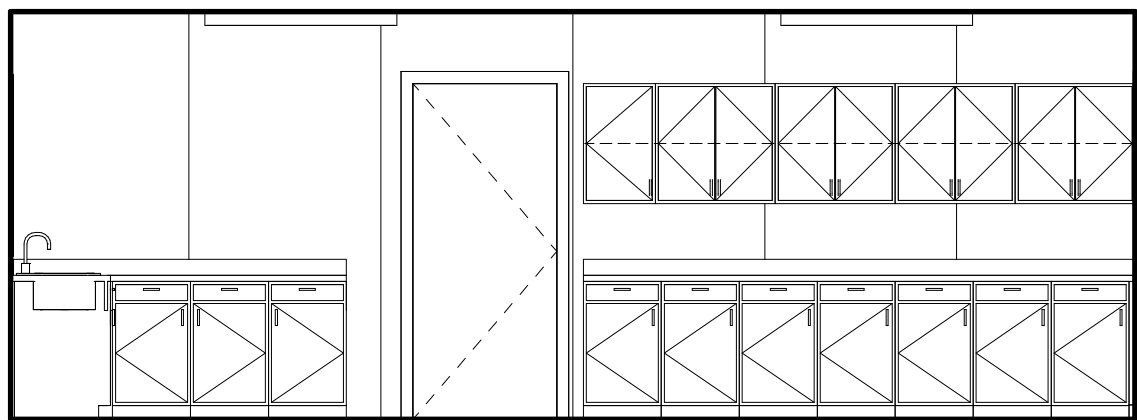


C

FRP PANEL, TYP



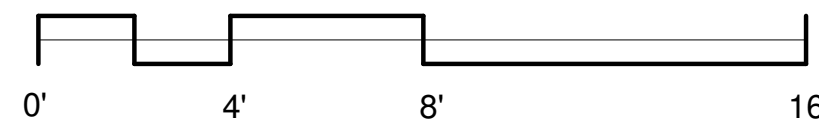
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D

4 KITCHEN 104

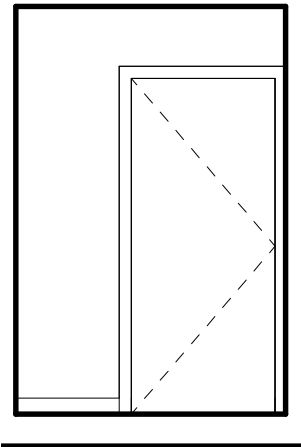
SCALE: 1/4" = 1'-0"



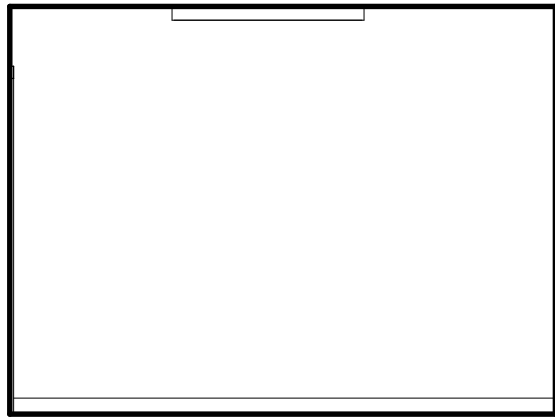
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|  |      |       |         |          |  |
|--|------|-------|---------|----------|--|
|  |      |       |         |          |  |
| REVISION   | DATE | BRIEF | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |       |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |       |         |          |  |
| INTERIOR ELEVATIONS  |      |       |         |          |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |      |       |         |          |  |
| JUNE 2019  |      |       |         |          |  |

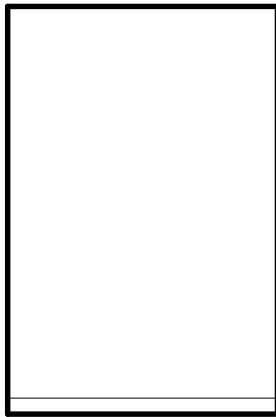
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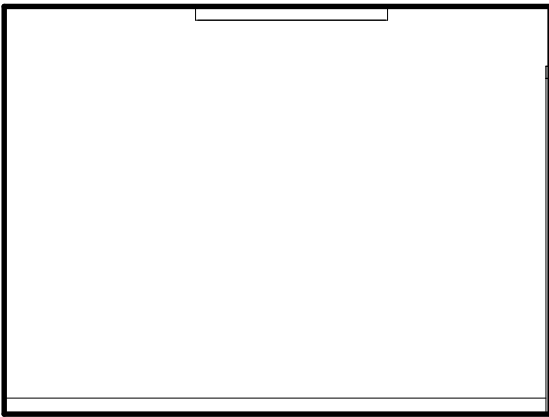
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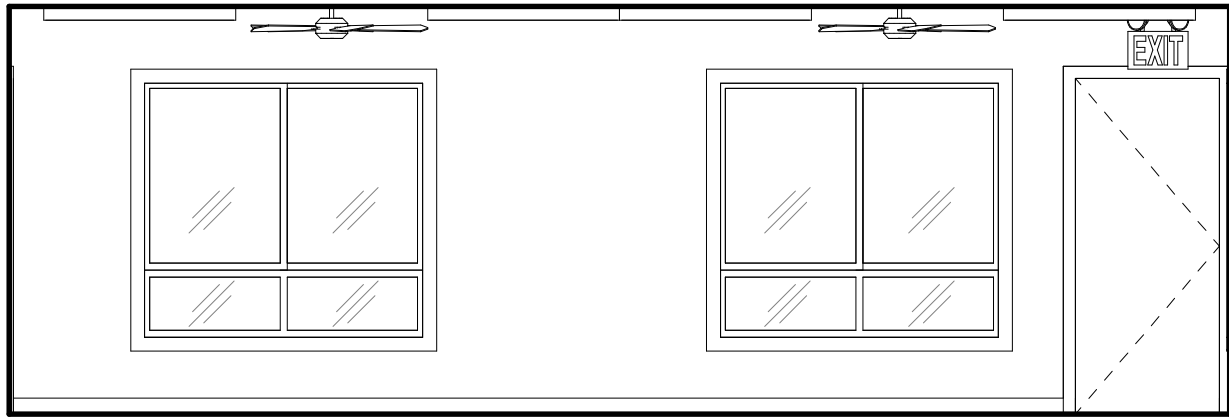
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C

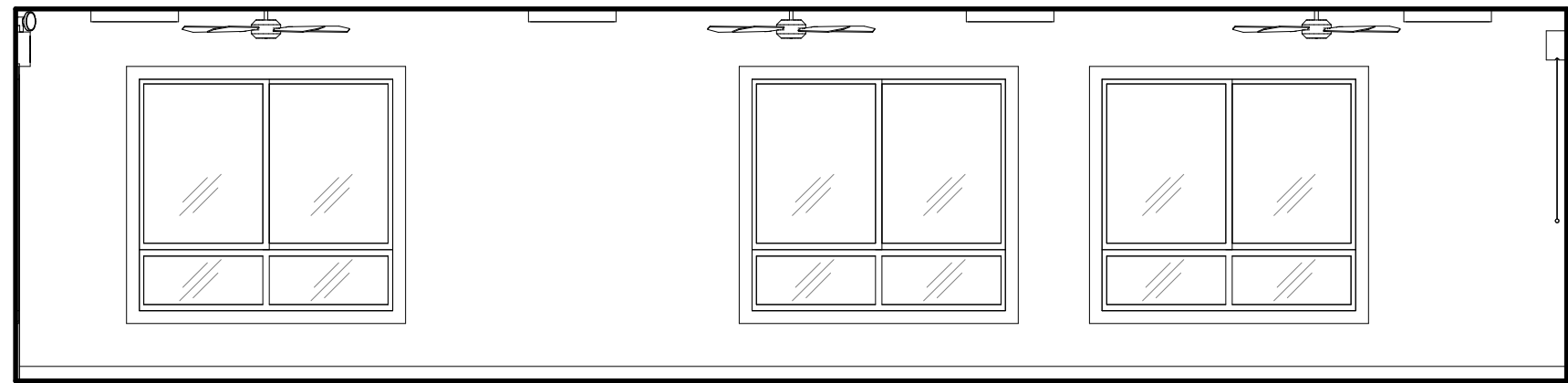


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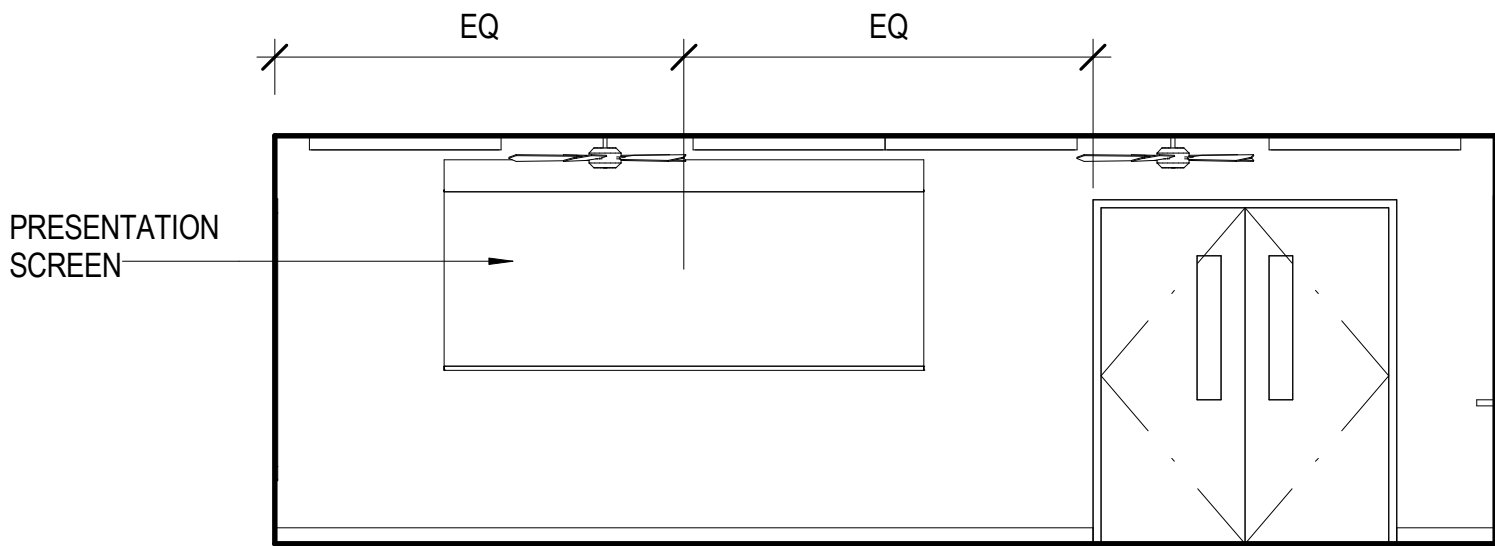


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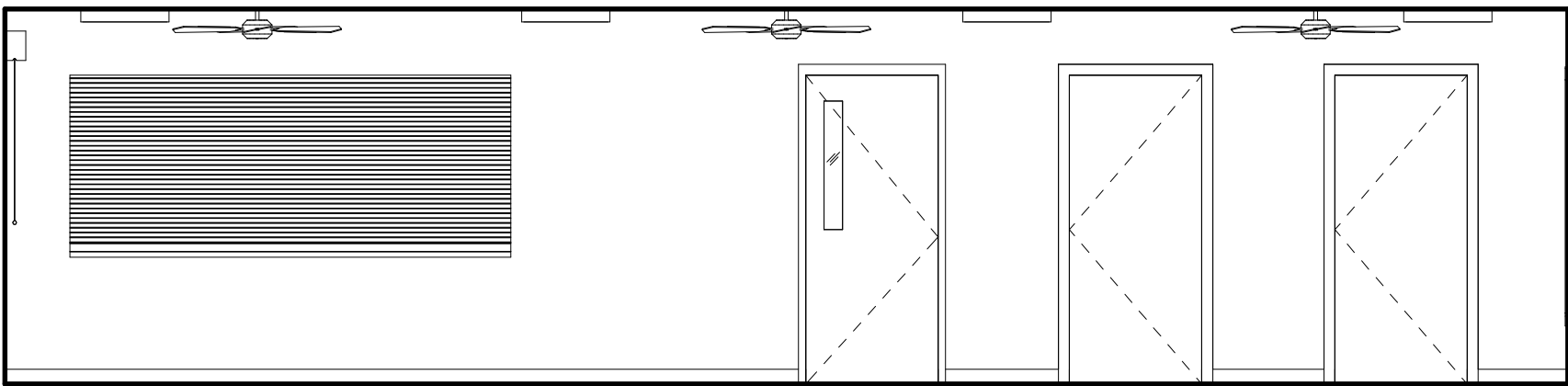
1 TELCOM ROOM 106  
SCALE: 1/4" = 1'-0"



A

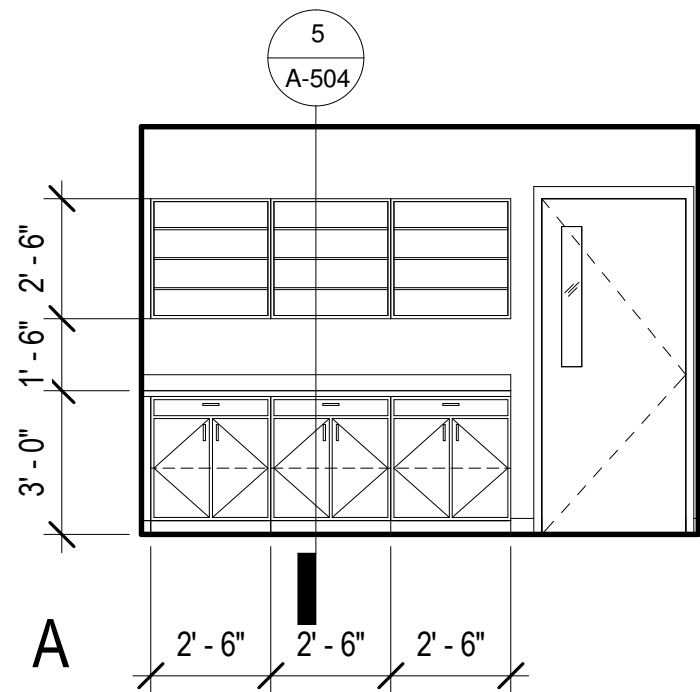


B

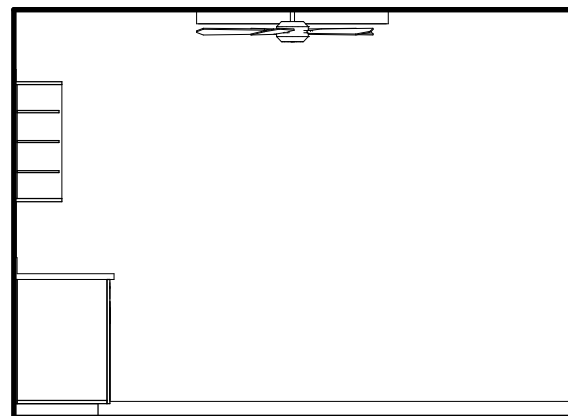


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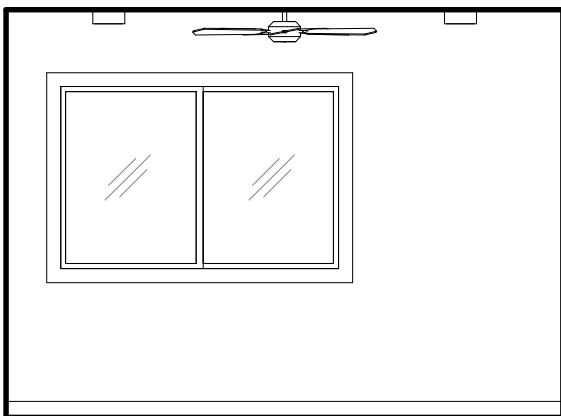
2 CLASSROOM 107  
SCALE: 1/4" = 1'-0"



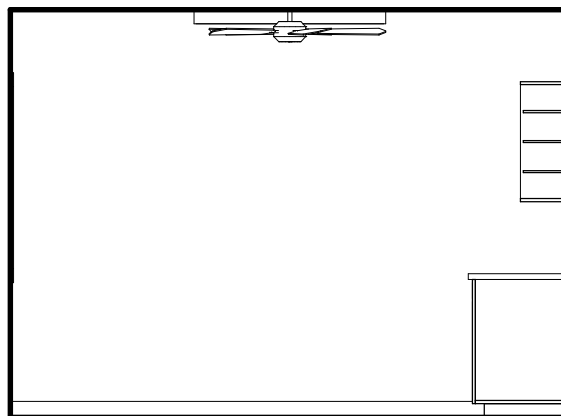
A



B

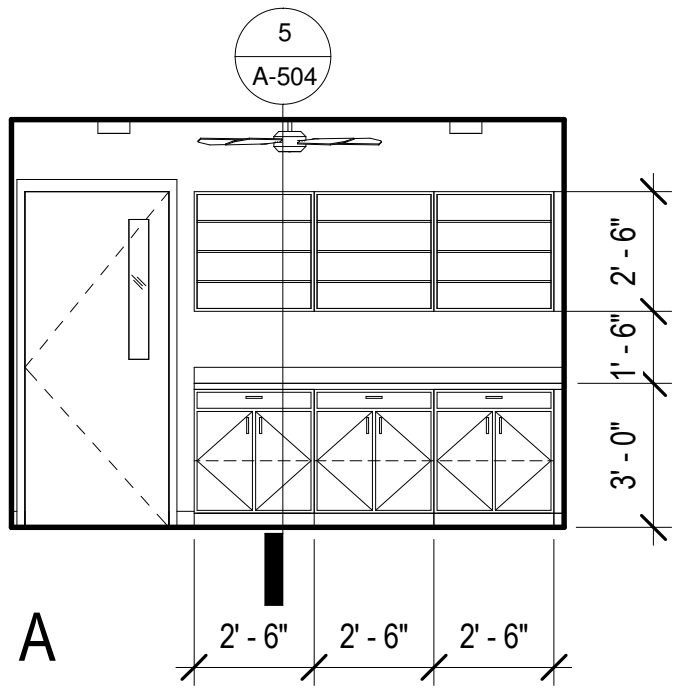


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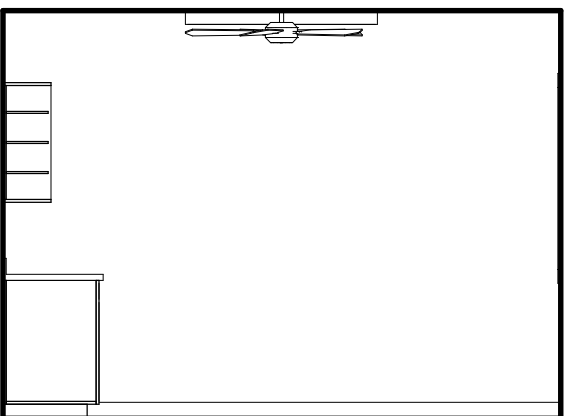


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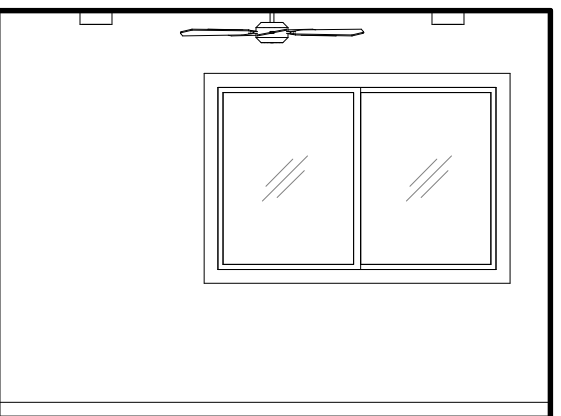
3 OFFICE 1 109  
SCALE: 1/4" = 1'-0"



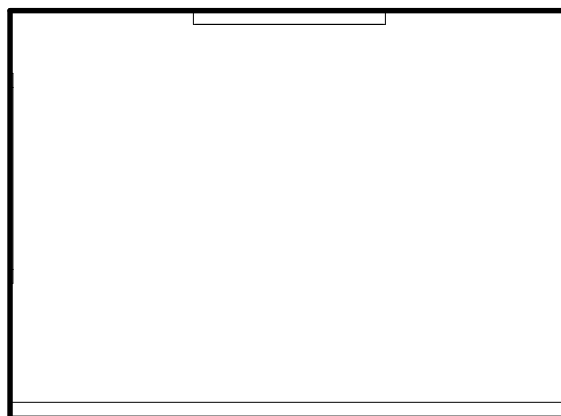
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B

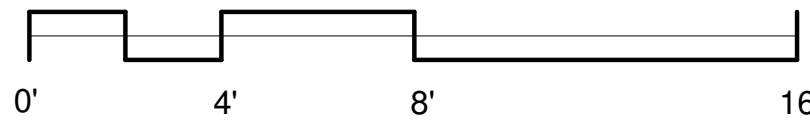


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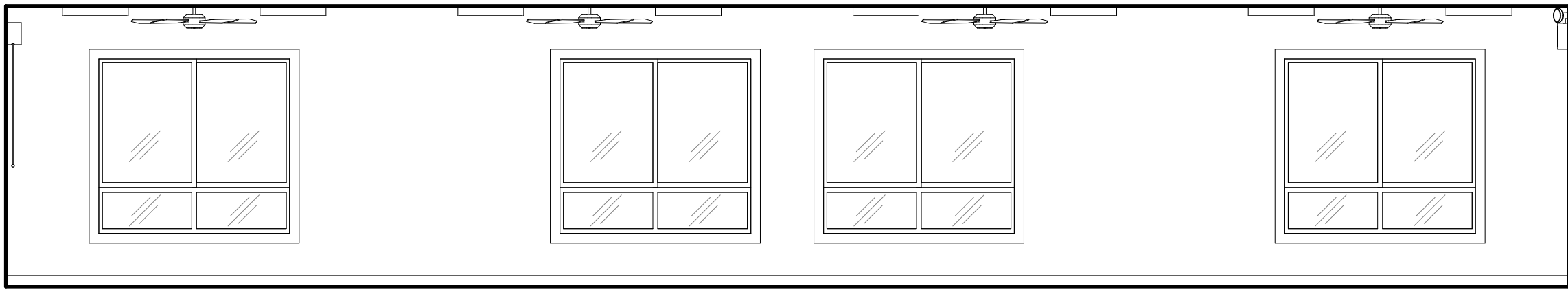
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4 OFFICE 2 110  
SCALE: 1/4" = 1'-0"

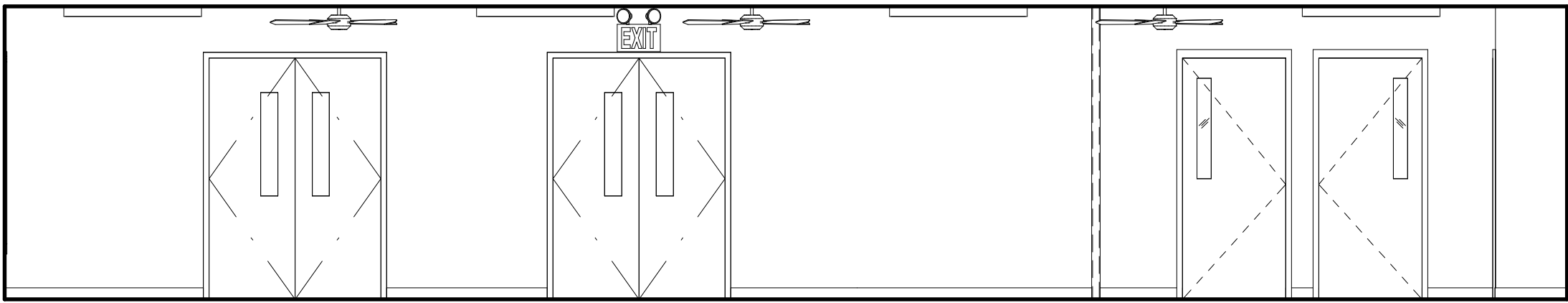


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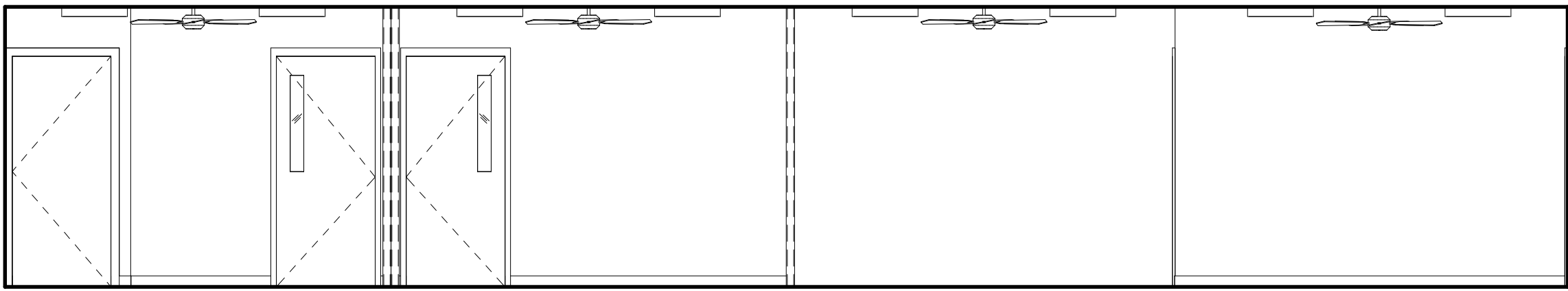
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|  |        |        |         |          |  |
| REVISION   | DATE   | BRIEF  | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |  |
| INTERIOR ELEVATIONS  |        |        |         |          |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |        |        |         |          |  |
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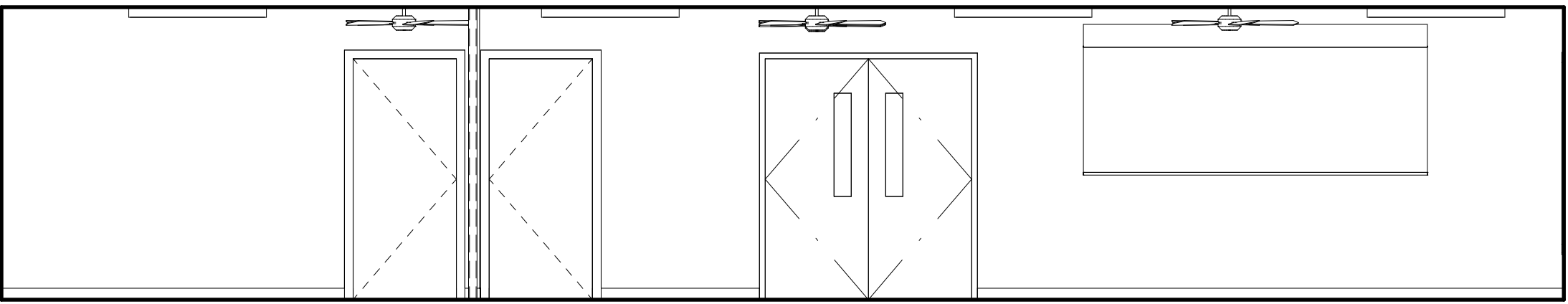
A



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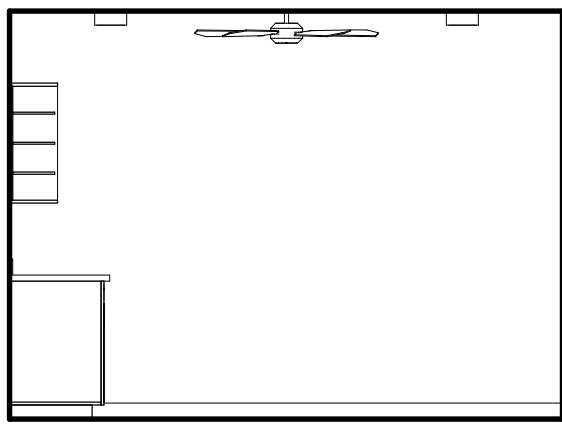


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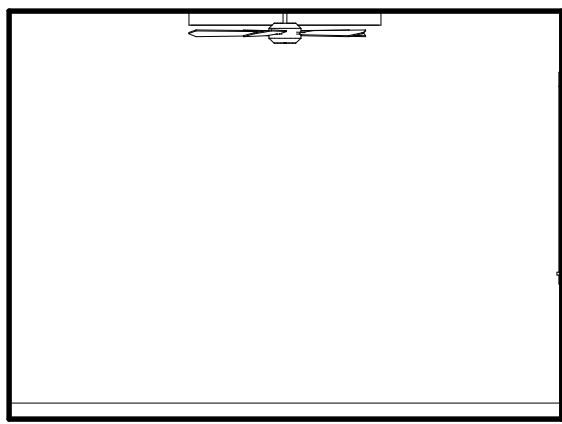
1

MEETING ROOM / DISPLAY ROOM 108

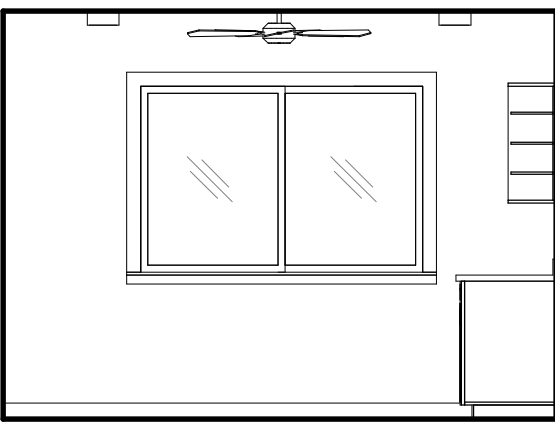
SCALE: 1/4" = 1'-0"



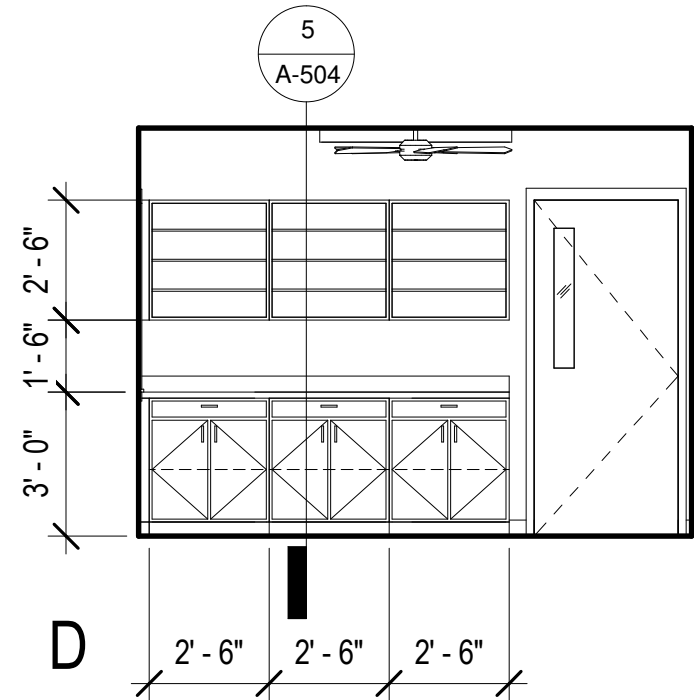
A



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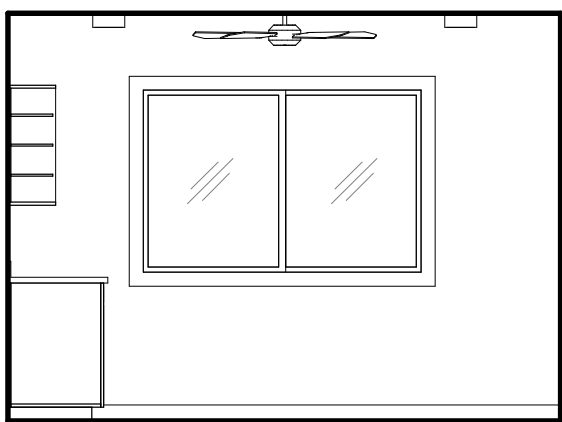


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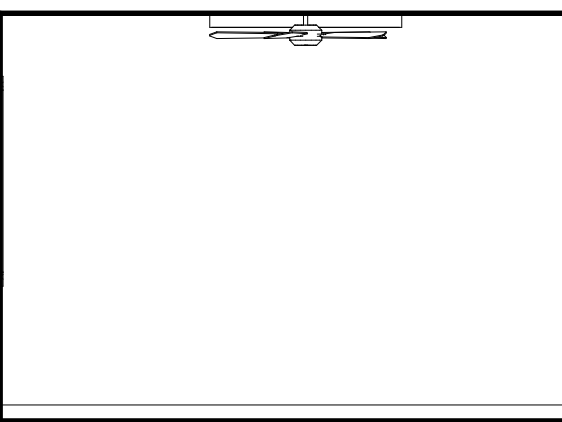
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OFFICE 3 111

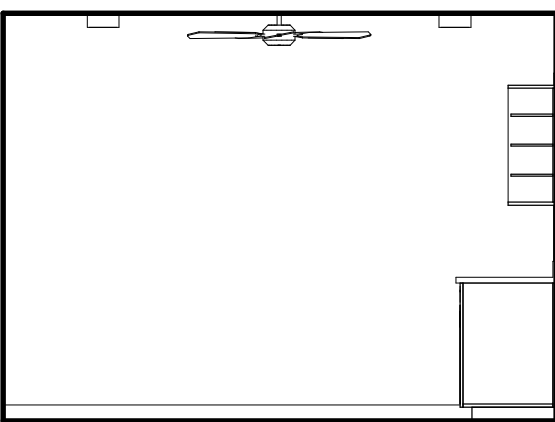
SCALE: 1/4" = 1'-0"



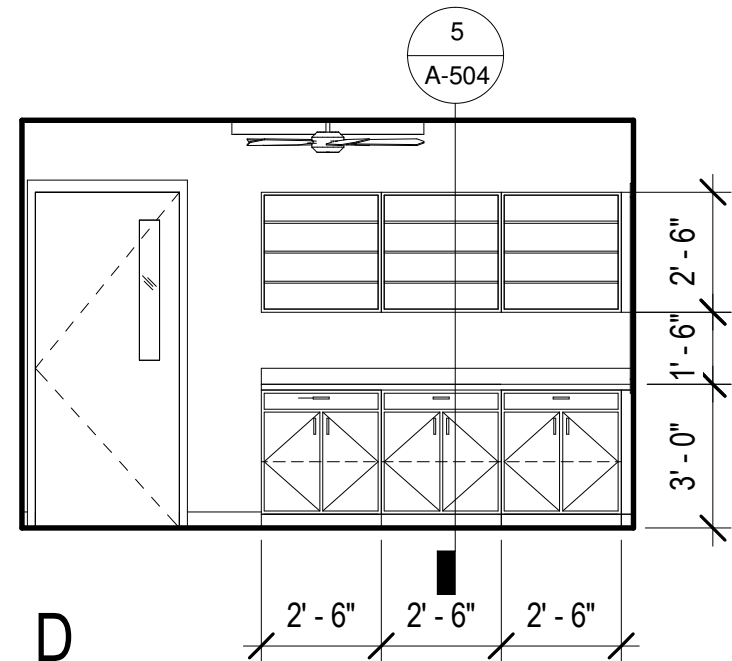
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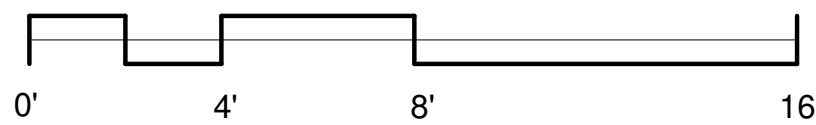
B



C



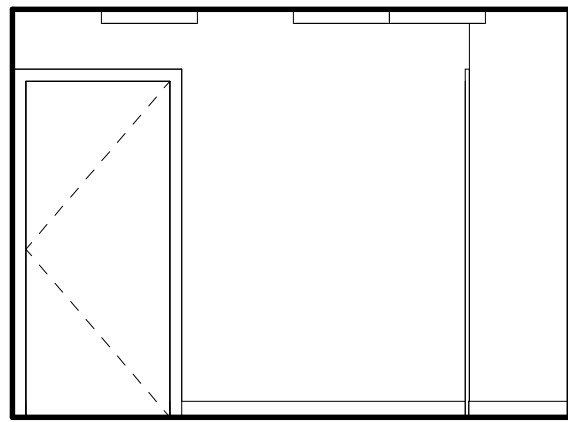
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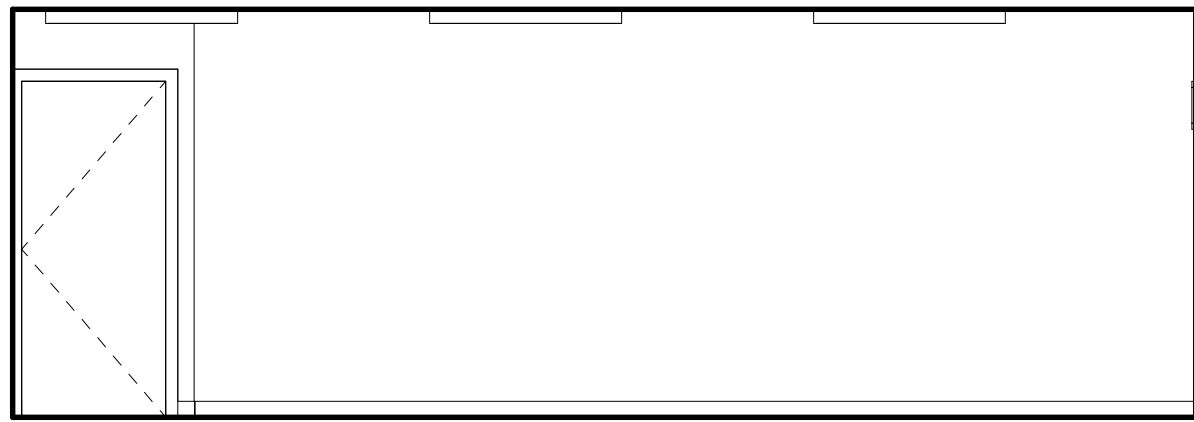
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|--|------|-------|---------|----------|--|
|  |      |       |         |          |  |
| REVISION   | DATE | BRIEF | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |       |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |       |         |          |  |
| INTERIOR ELEVATIONS  |      |       |         |          |  |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |      |       |         |          |  |
| JUNE 2019  |      |       |         |          |  |

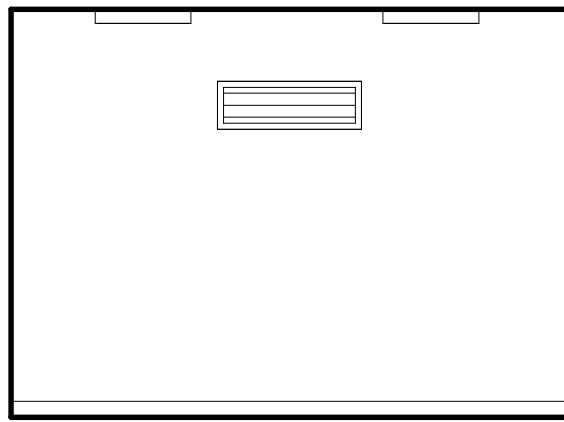
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| FILE | POCKET | FOLDER | NO. |
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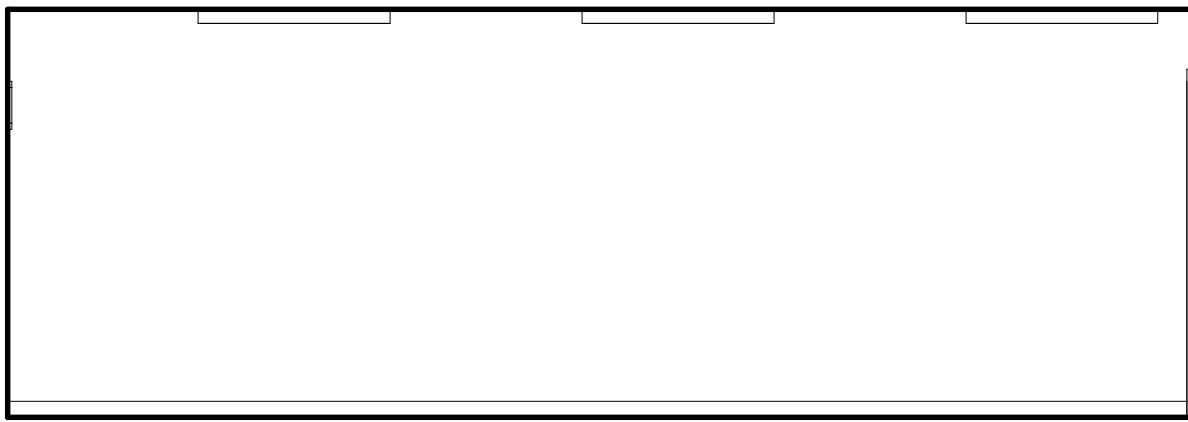
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B

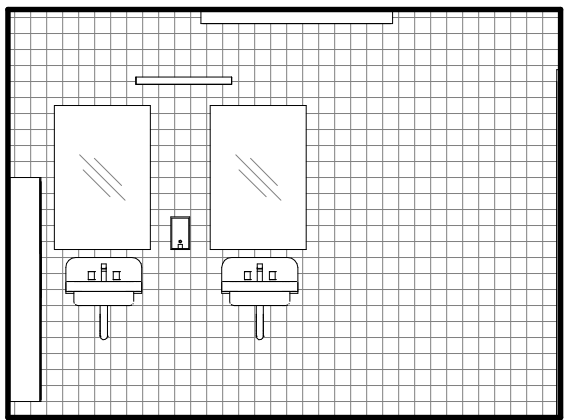


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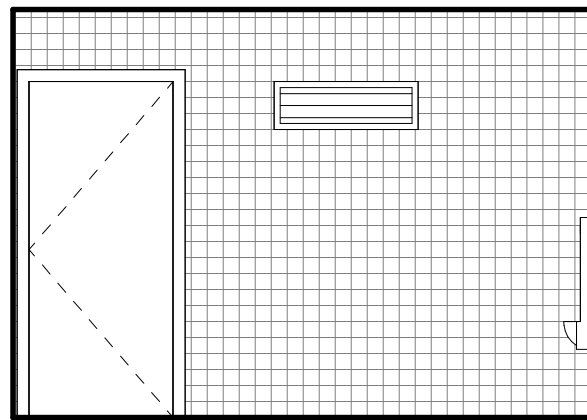


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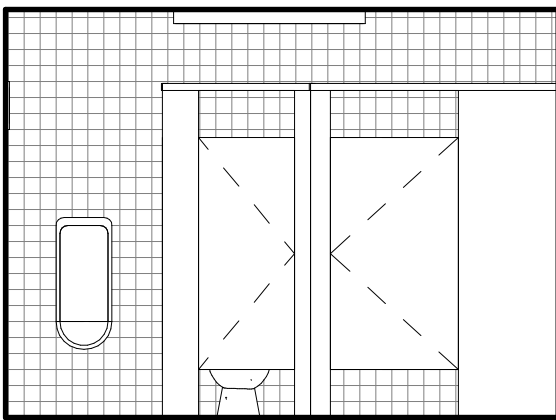
1 STORAGE 113  
SCALE: 1/4" = 1'-0"



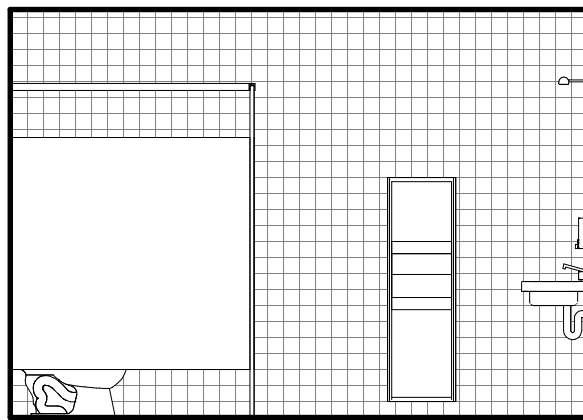
A



B

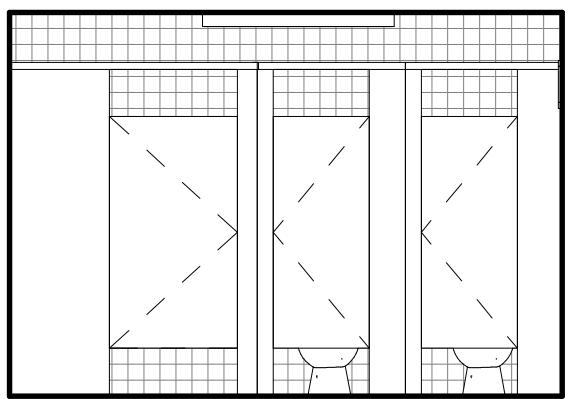


C

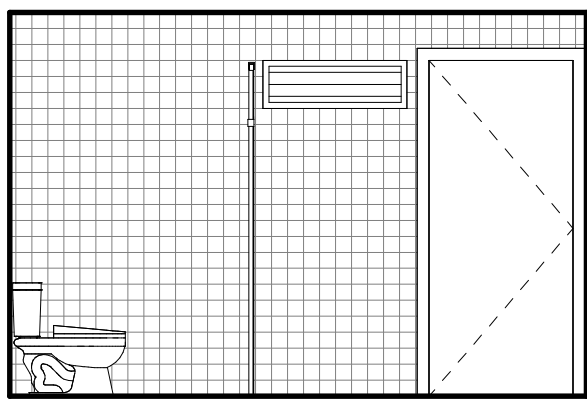


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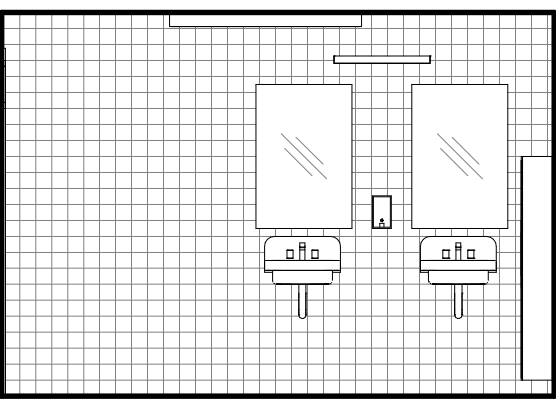
2 OUTDOOR MENS 114  
SCALE: 1/4" = 1'-0"



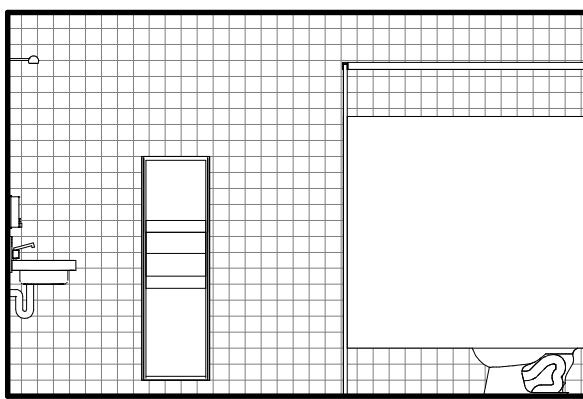
A



B

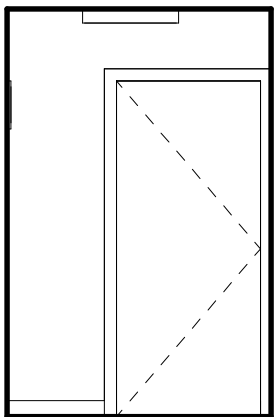


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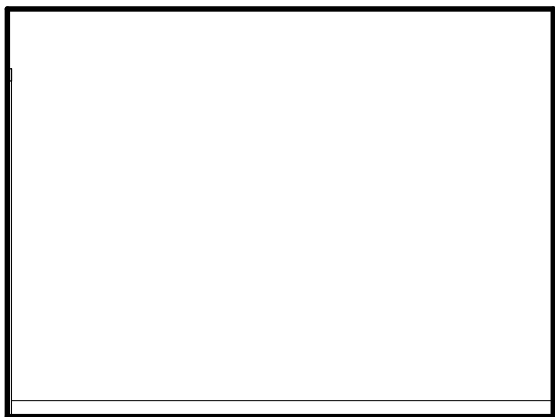


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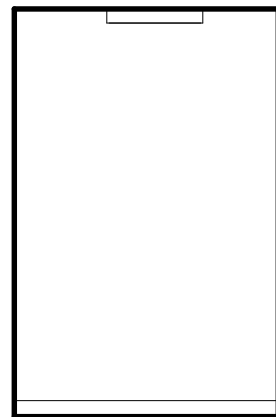
3 OUTDOOR WOMENS 115  
SCALE: 1/4" = 1'-0"



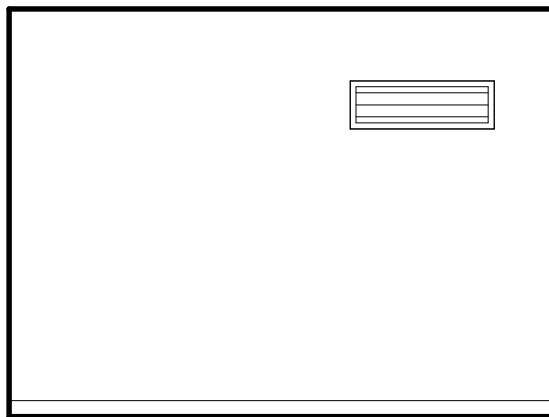
A



B

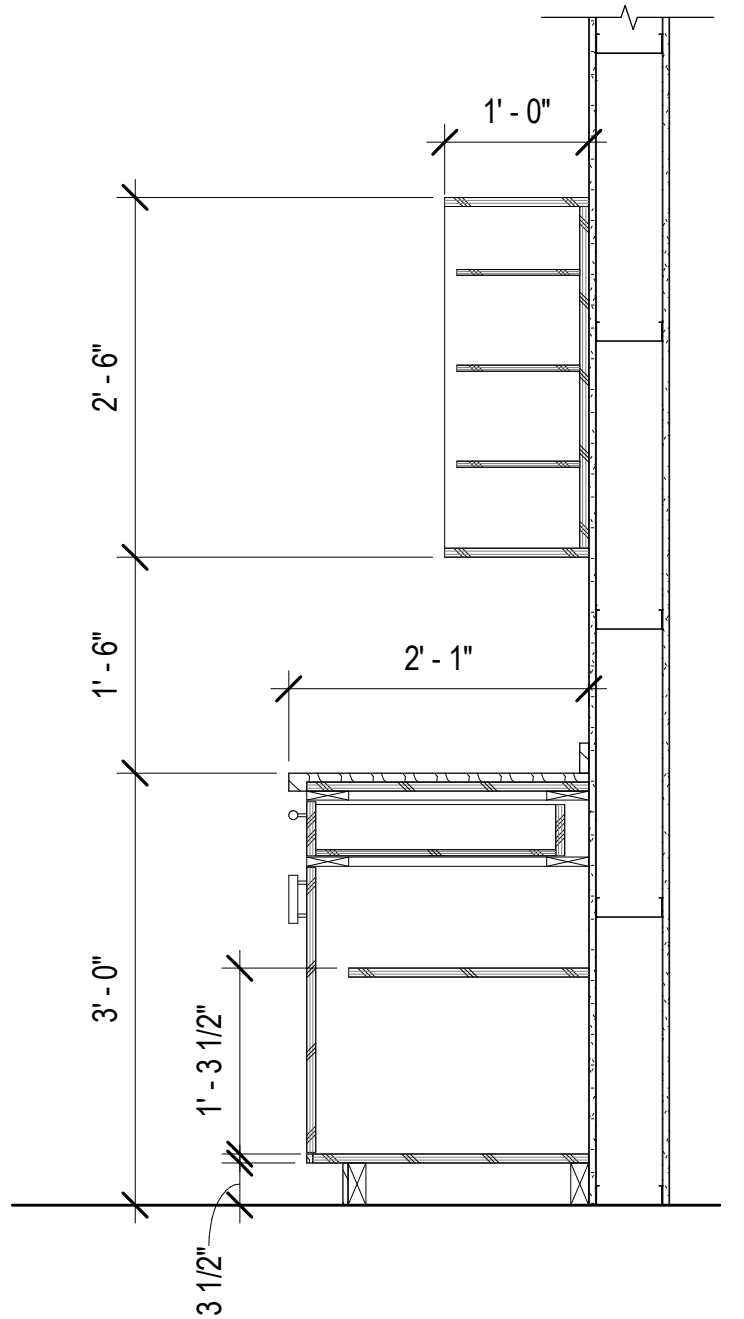


C



D

4 STORAGE 117  
SCALE: 1/4" = 1'-0"



5 CABINET DETAIL  
SCALE: 3/4" = 1'-0"

|          |      |       |         |          |  |
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|          |      |       |         |          |  |
| REVISION | DATE | BRIEF | MADE BY | APPROVED |  |

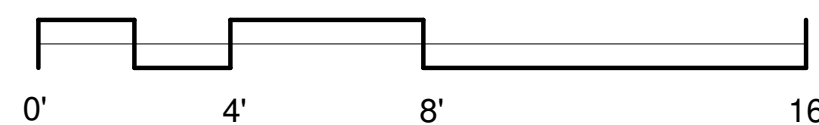
DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD  
RESIDENT'S CENTER  
RFP-19-HHL-007

INTERIOR ELEVATIONS

OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

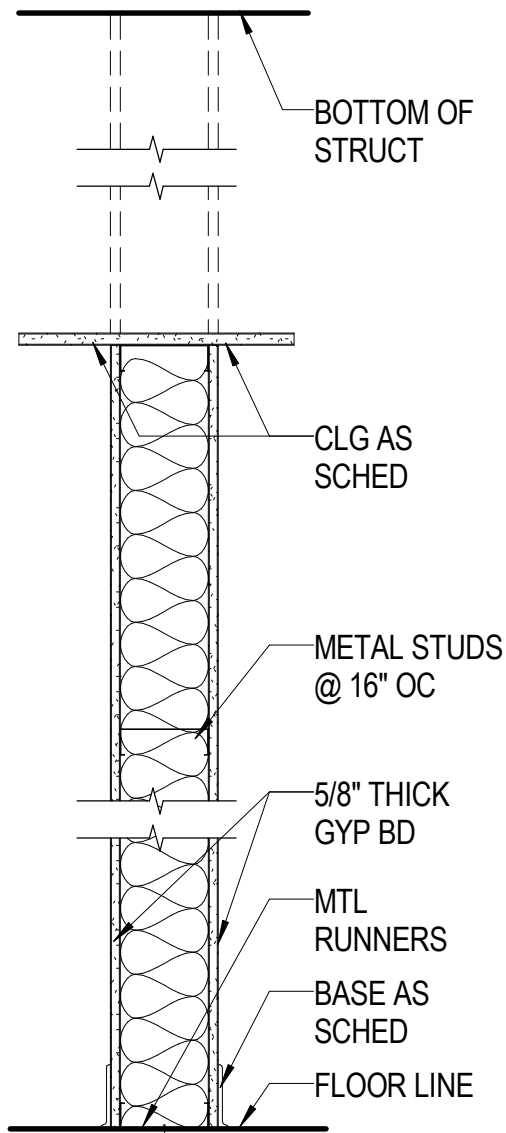
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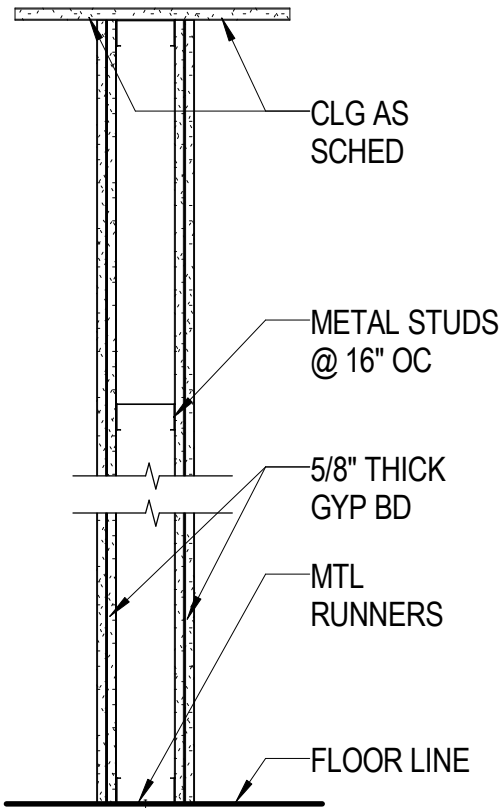
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| FILE | POCKET | FOLDER | NO. |
|------|--------|--------|-----|

PARTITION TYPES



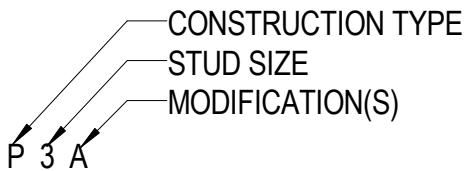
W4GA, W6GA

1W4GA, 1W6GA  
1 HOUR RATED  
ASSEMBLY UL U305



P3E

LEGEND:



NOTE: BLANK INDICATES NO FIRE RATING

CONSTRUCTION TYPE

F- FURRING

P- BASIC PARTITION

W - BASIC WOOD FRAMED PARTITION

STUD SIZE CODE

3 - 3 5/8" MET STUDS

4 - 4" MET STUDS

6 - 6" MET STUDS

NOTE: BLANK INDICATES NO MODIFICATIONS

MODIFIERS

A - ACOUSTIC INSULATION

E - 2-LAYERS OF GYP BD, BOTH SIDES

G - FULL HT GYP BD, BOTH SIDES

GENERAL NOTES:

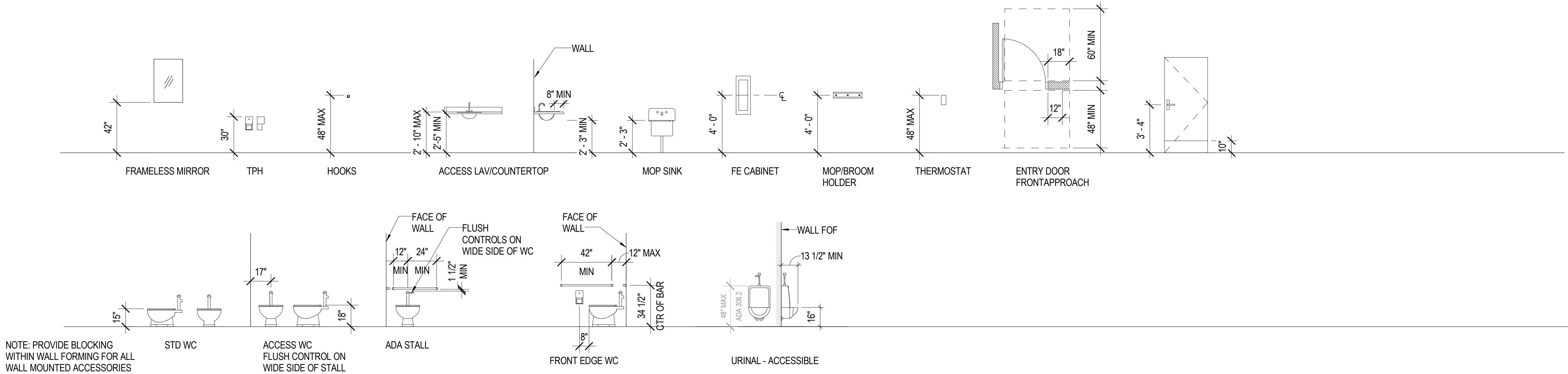
1. ALL GYP BD IS 1/2" THICK.

2. ALL PARTITIONS TO BE OF NON- COMBUSTIBLE CONSTRUCTION. ...

3. FOR ALL FIRE RATED PARTITIONS, THE FOLLOWING NOTES SHOULD APPLY:

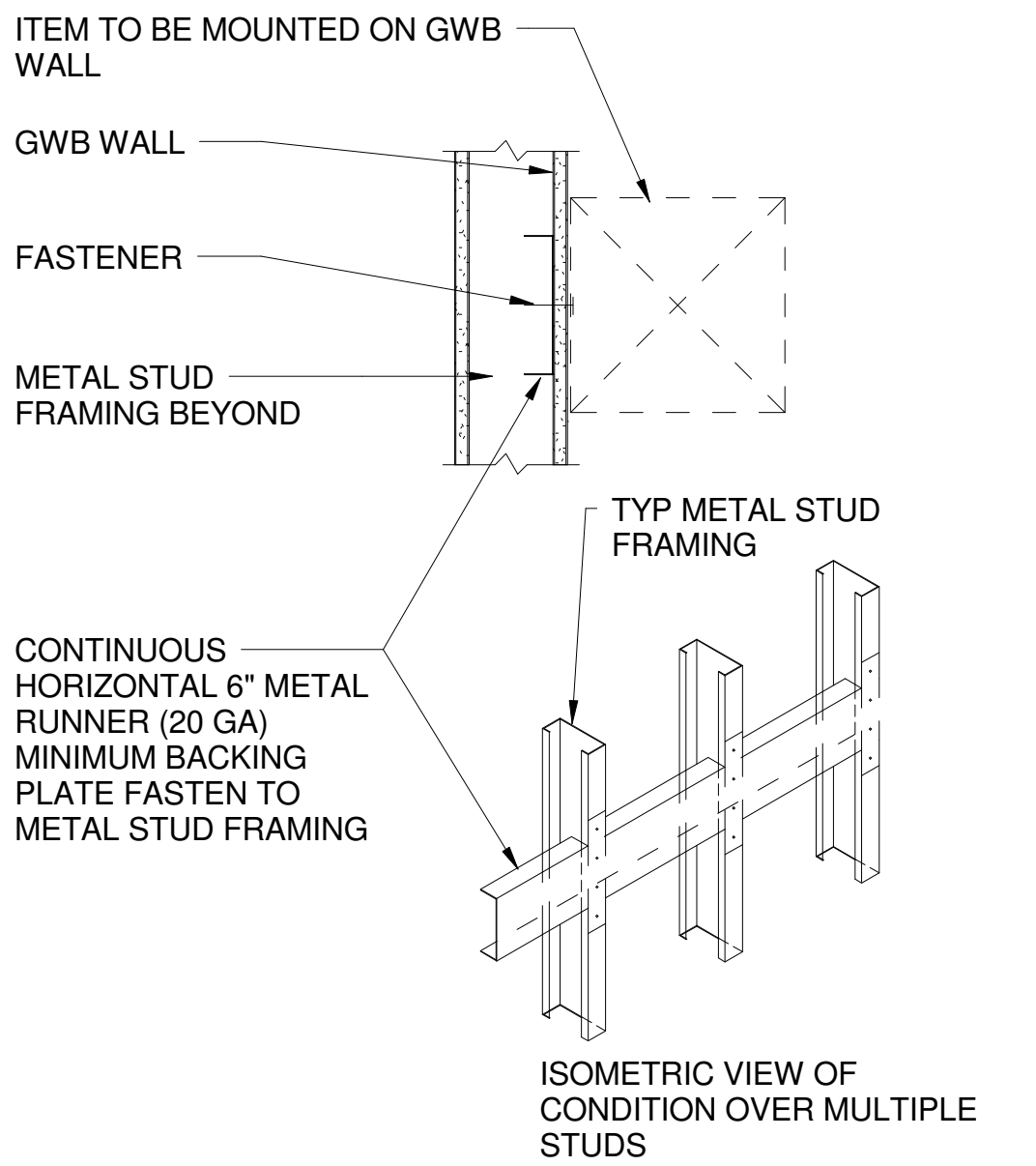
A. ANY WALL OUTLETS FOR DATA, VOICE, VIDEO, POWER OR OTHER UTILITIES SHOULD BE SEPARATED BY AT LEAST ONE STUD CAVITY HORIZONTALLY TO AVOID BACK-TO-BACK OUTLETS.

B. ELEC. PANEL BOARDS, FEC, EYE WASH, ETC SHALL BE WRAPPED WITH FIRE RESISTIVE MATERIAL TO MAINTAIN FIRE RESISTIVE CONSTRUCTION.



## 1 ADA STANDARDS/FIXTURE MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"



## 2 BACKING PLATE DETAIL

SCALE: 1 1/2" = 1'-0"

|  |      |       |         |          |
|--|------|-------|---------|----------|
|  |      |       |         |          |
| REVISION   | DATE | BRIEF | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |       |         |          |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |       |         |          |
| FIXTURE MOUNTING HEIGHTS   |      |       |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |      |       |         |          |
| JUNE 2019  |      |       |         |          |

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**A-602**  
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DOOR SCHEDULE

| DOOR SCHEDULE |          |         |             |           |              |        |                 |                |             |      |           |                               |
|---------------|----------|---------|-------------|-----------|--------------|--------|-----------------|----------------|-------------|------|-----------|-------------------------------|
| MARK          | WIDTH    | HEIGHT  | THICKNESS   | DOOR TYPE | CONSTRUCTION | FINISH | HARDWARE GROUPS | FRAME MATERIAL | DET #/A-701 |      |           | NOTE                          |
|               |          |         |             |           |              |        |                 |                | HEAD        | JAMB | THRESHOLD |                               |
| 101           | 6' - 0"  | 7' - 0" | 0' - 1 3/4" | A         | FRP          | FF     | 001             | FRP            | 3           | 3    | 1         | PANIC HARDWARE & VISION PANEL |
| 101A          | 5' - 0"  | 7' - 0" | 0' - 1 3/4" | A2        | FRP          | FF     | 001             | FRP            | 3           | 3    | 1         | PANIC HARDWARE & VISION PANEL |
| 101B          | 5' - 0"  | 7' - 0" | 0' - 1 3/4" | A2        | FRP          | FF     | 001             | FRP            | 3           | 3    | 1         | PANIC HARDWARE & VISION PANEL |
| 101C          | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 007             | MP             | 3           | 3    | 4         |                               |
| 102           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 003             | MP             | 3           | 3    | 2         |                               |
| 103           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 003             | MP             | 3           | 3    | 2         |                               |
| 104           | 6' - 0"  | 7' - 0" | 0' - 1 3/4" | A         | FRP          | FF     | 004             | MP             | 3           | 3    | 1         |                               |
| 104A          | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B2        | WP           | WP     | 011             | MP             | 3           | 3    | 2         |                               |
| 104B          | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 011             | MP             | 3           | 3    | 2         |                               |
| 104C          | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 007             | MP             | 3           | 3    | 4         | DOOR LOUVER                   |
| 104D          | 10' - 0" | 4' - 0" |             | C         | MP           | MP     | MANU            | MANU           | 3           | 3    | -         |                               |
| 105           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 007             | MP             | 3           | 3    | 4         | DOOR LOUVER                   |
| 106           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 007             | MP             | 3           | 3    | 4         |                               |
| 107           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | FRP          | FF     | 002             | FRP            | 3           | 3    | 1         | PANIC HARDWARE & VISION PANEL |
| 107A          | 6' - 0"  | 7' - 0" | 0' - 1 3/4" | A2        | WP           | WP     | 008             | MP             | 3           | 3    | 4         |                               |
| 109           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B2        | WP           | WP     | 006             | MP             | 3           | 3    | 2         |                               |
| 110           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B2        | WP           | WP     | 006             | MP             | 3           | 3    | 2         |                               |
| 111           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B2        | WP           | WP     | 006             | MP             | 3           | 3    | 2         |                               |
| 112           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B2        | WP           | WP     | 006             | MP             | 3           | 3    | 2         |                               |
| 113           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | FRP          | FF     | 009             | MP             | 3           | 3    | 1         |                               |
| 113A          | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 007             | MP             | 3           | 3    | 4         | DOOR LOUVER                   |
| 114           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | FRP          | FF     | 003             | FRP            | 3           | 3    | 1         |                               |
| 115           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | FRP          | FF     | 003             | FRP            | 3           | 3    | 1         |                               |
| 117           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | B         | WP           | WP     | 007             | MP             | 3           | 3    | 4         | DOOR LOUVER                   |
| 118           | 3' - 0"  | 7' - 0" | 0' - 1 3/4" | D         | FRP          | FF     | 010             | MP             | 3           | 3    | 1         | FULL LOUVER                   |

DOOR DETAILS

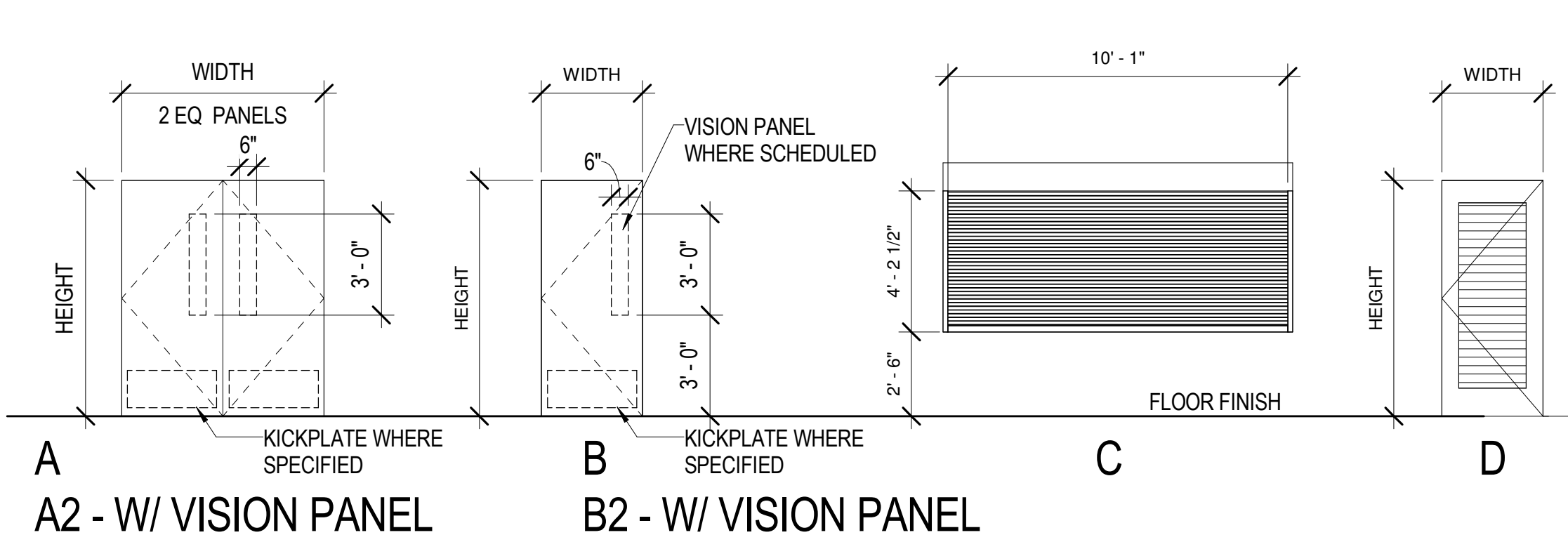
3 INT JAMB (HEAD SIM)  
SCALE: 3" = 1'-0"

4 INT DR THRESHOLD  
SCALE: 3" = 1'-0"

1 EXT DR THRESHOLD  
SCALE: 3" = 1'-0"

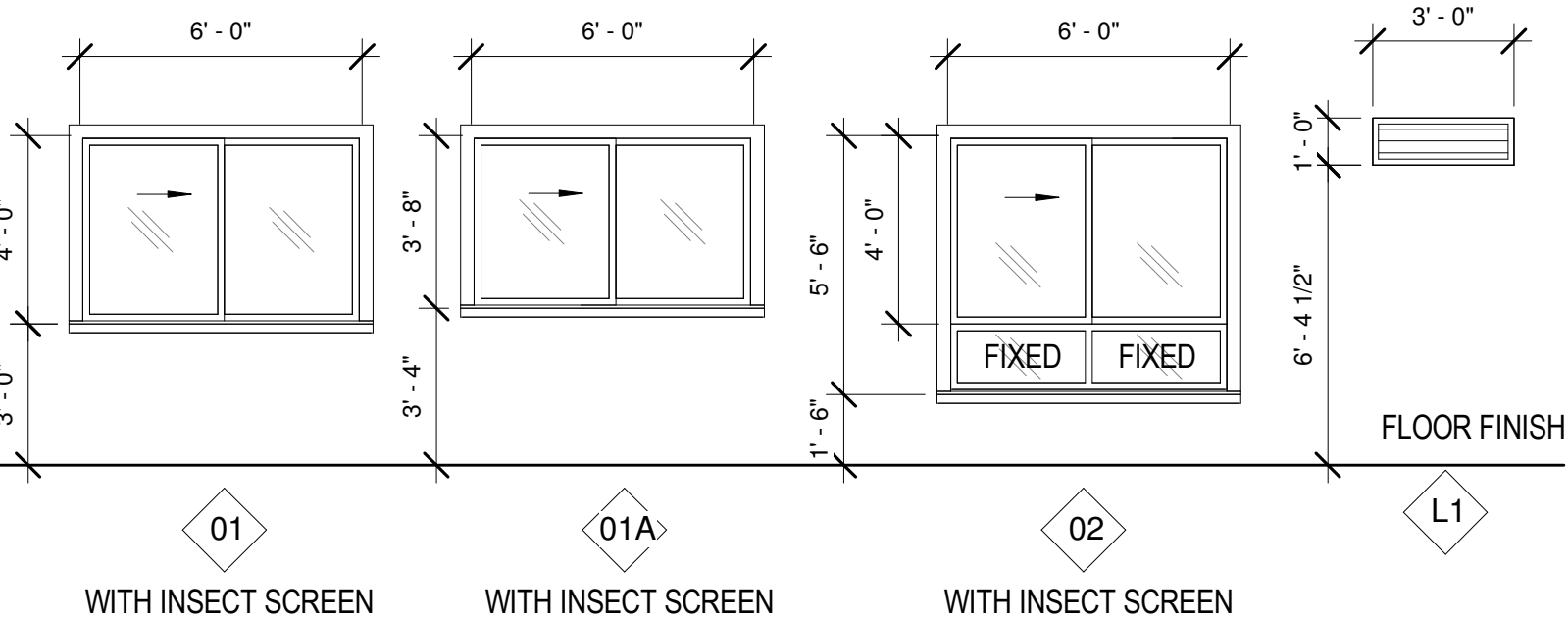
2 INT DR THRESHOLD  
SCALE: 3" = 1'-0"

DOOR TYPES



WINDOW TYPES

FOR WINDOW/LOUVER (SIM.) DETAILS SEE 4&5/A-802



DOOR REFERENCE NOTES

DOOR SCHEDULE HEADINGS WITH "( )" NUMBER IN PARENTHESIS CORRESPOND TO REFERENCE NOTES BELOW.

1. DOOR TYPES

- OD - OVERHEAD COILING DOOR
- F - FLUSH
- FL - FLUSH W/ LOUVER
- FV - FLUSH W/ VISION

2. DOOR CONSTRUCTION & FINISH:

- FF - FACTORY FINISH
- FRP - FIBERGLASS ON METAL-INSULATED CORE
- HM - HOLLOW METAL, METAL PAINTED
- WP - WOOD, PAINTED

3. FRAME CONSTRUCTION & FINISH:

SEE INTERIOR DRAWINGS FOR FINISH DESIGNATIONS.

MP - METAL PAINTED

4. GLASS TYPES/LOUVER TYPES:

GLASS TYPES:  
ALL GLASS SHALL BE AS SCHEDULED

TG - TEMPERED GLASS

|  |      |       |         |          |
|--|------|-------|---------|----------|
|  |      |       |         |          |
| REVISION   | DATE | BRIEF | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                                     |      |       |         |          |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007                   |      |       |         |          |
| DOOR SCHEDULE AND DETAILS, WINDOW<br>SCHEDULE AND DETAILS, FINISH<br>SCHEDULE AND LEGEND |      |       |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION  |      |       |         |          |
| JUNE 2019  |      |       |         |          |

COLOR AND MATERIAL FINISH SCHEDULE

| MARK                   | MATERIAL DESCRIPTION                | MATERIAL MANUFACTURER | MATERIAL NAME                     | MATERIAL SIZE | MATERIAL NO/COLOR   | MATERIAL FINISH | MATERIAL LOCATION USED/REMARKS |
|------------------------|-------------------------------------|-----------------------|-----------------------------------|---------------|---------------------|-----------------|--------------------------------|
| EXTERIOR FINISHES      |                                     |                       |                                   |               |                     |                 |                                |
| EXPT-1                 | EXTERIOR PAINT-WALLS                | BENJAMIN MOORE        | PAINT                             |               | BEIGE SUPREME       | EGG SHELL       | WALLS                          |
| EXPT-2                 | EXTERIOR PAINT-TRIM                 | BENJAMIN MOORE        | PAINT                             |               | GOLDEN YELLOW       | EGG SHELL       |                                |
| EXPT-3                 | EXTERIOR PAINT-WINDOW/DOOR TRIM     | BENJAMIN MOORE        | PAINT                             |               | OCHER               | EGG SHELL       |                                |
| EXPT-4                 | EXTERIOR PAINT-DOORS/FRAMES         | BENJAMIN MOORE        | PAINT                             |               | MEDIUM BROWN        | SEMI-GLOSS      |                                |
| EXPT-5                 | WINDOW/LOUVERS FRAMES               | WINDOW MANUF.         | VARIES                            |               | OFF WHITE           | SEMI-GLOSS      |                                |
| EXPT-6                 | EXTERIOR SOFFITS/CEILING            | BENJAMIN MOORE        | PAINT                             |               | OFF WHITE           | EGG SHELL       |                                |
| EXPT-7                 | METAL ROOF, GUTTER, VENT & FLASHING | KLOCKNERS METALS      | PAINT                             |               | PATINA GREEN 872GS  |                 | ROOF COLOR                     |
| EXPT-8                 | RAILINGS                            | KYNAR                 | KYNAR                             |               | SIENNA BROWN        |                 |                                |
| FLOORING               |                                     |                       |                                   |               |                     |                 |                                |
| CPT                    | CARPET TILE                         | SHAW                  | PATCRAFT                          | 24" X 24"     | BIG SPLASH MODULAR  | 202             | OFFICE                         |
| CT-1                   | CERAMIC TILE-FLOORS                 | DAL TILE              | KEYSTONES                         | 1"X1" MESH    |                     |                 | COVE BASE                      |
| DCK                    | DECKING SYSTEM                      | RESYSTA               | DECKING PLATINUM                  |               | SIAM                |                 | DECKS AND RAMPS                |
| DPT                    | CONCRETE DECK PAINT                 | INSL-X                | SURE STEP                         |               | LIGHT GREY SU-0310  |                 | ADA RAMPS-CONCRETE             |
| GT-1                   | BATHROOM FLOOR TILE GROUT           | MAIPEI COMMERCIAL     | MEDIUM GRAY                       |               |                     |                 | PROVIDE SEALER                 |
| GT-2                   | QUARRY TILE GROUT                   | MAIPEI COMMERCIAL     | DARK GRAY                         |               |                     |                 | PROVIDE SEALER                 |
| QT                     | QUARRY TILE                         | DAL TILE              | KITCHEN QUARRY TILE & COVE BASE   |               | 0Q42 ARID GRAY      |                 | PROVIDE SEALER                 |
| SVF                    | SHEET VINYL                         | ARMSTRONG FLOORING    | DECORART REJUVINATIONS TIMBERLINE | 6" WIDE       | BAMBOO MINK         | 37367           | CLASSROOM & MEETING            |
| VCT                    | VINYL COMPOSITE TILE                | ARMSTRONG FLOORING    | STANDARD EXCELON IMPERIAL TEXTURE | 12" X 12"     | PEWTER 51908        |                 | STORAGE                        |
| MISCELLANEOUS FINISHES |                                     |                       |                                   |               |                     |                 |                                |
| ACT-1                  | ACOUSTIC CEILING TILE               | ARMSTRONG             | CALLA 2821                        | 24" X 48"     | WHITE               | WHITE           | AS SCHEDULED                   |
| ACT-2                  | ACOUSTIC CEILING TILE               | ARMSTRONG             | KITCHEN ZONE 672                  | 24" X 48"     | WHITE               | WHITE           | KITCHEN                        |
| PLAM-1                 | PLASTIC LAMINATE                    | WILSONART             | WOOD VENEER 1                     | N/A           |                     | N/A             | KITCHEN CABINETS               |
| PLAM-2                 | PLASTIC LAMINATE                    | WILSONART             | WOOD VENEER 2                     | N/A           |                     | N/A             | OFFICE CABINETS                |
| RB                     | ROLLER BLINDS                       | MECHO SHADE           | SOHO                              |               | CANAL 1102 CORNSILK |                 | OFFICE AND CLASSROOM WINDOWS   |
| SS-1                   | SOLID SURFACE                       | CORIAN                | -                                 | N/A           | ANTARTICA           |                 | KITCHEN COUNTERTOPS            |
| SS-2                   | SOLID SURFACE                       | CORIAN                | -                                 | N/A           | FOSSIL              |                 | RESTROOM COUNTERTOPS           |
| STS                    | STAINLESS STEEL                     | VARIES                | -                                 |               |                     |                 | KITCHEN SINK COUNTER           |
| WALLS                  |                                     |                       |                                   |               |                     |                 |                                |
| CT-2                   | CERAMIC TILE-WALLS                  | DAL TILE              | KEYSTONES                         | 4" X 4"       |                     |                 | ACCENT STRIP                   |
| FRP                    | FIBERGLASS REINFORCED PLASTIC       | MARLITE               | INDURO                            | PANEL         | 4143 NEUTRAL GLACE  |                 | KITCHEN WALLS                  |
| GT-3                   | BATROOM WALLS                       | MAIPEI COMMERCIAL     | GRAY                              |               |                     |                 | PROVIDE SEALER                 |
| PT-1                   | PAINT-WALLS                         | BENJAMIN MOORE        | PAINT                             | -             |                     | EGG SHELL       | WALLS                          |
| PT-2                   | PAINT-ACCENT WALL                   | BENJAMIN MOORE        | PAINT                             | -             |                     | EGG SHELL       | ACCENT WALL                    |
| PT-3                   | PAINT-CEILING                       | BENJAMIN MOORE        | PAINT                             | -             |                     | EGG SHELL       | CEILING                        |
| PT-4                   | PAINT-CEILING BATHROOMS             | BENJAMIN MOORE        | PAINT                             | -             |                     | SEMI-GLOSS      | CEILING-BATHROOMS              |
| PT-5                   | PAINT-DOORS/FRAMES                  | BENJAMIN MOORE        | PAINT                             | -             |                     | SEMI-GLOSS      | DOORS/FRAMES                   |
| PT-6                   | PAINT-TRIM                          | BENJAMIN MOORE        | PAINT                             | -             |                     | SEMI-GLOSS      | TRIM                           |
| RB-1                   | RUBBER BASE                         | JOHNSONITE            | RUBBER BASE                       | 4"            |                     |                 | PUBLIC ROOMS-VINYL             |
| RB-2                   | RUBBER BASE                         | JOHNSONITE            | RUBBER BASE                       | 4"            |                     |                 | OFFICES-CARPET                 |
| RB-3                   | RUBBER BASE                         | JOHNSONITE            | RUBBER BASE                       | 4"            |                     |                 | BOH-VCT                        |

NOTE: ALL MANUFACTUERS LISTED ARE ALLOWED TO BE SUBSTITUTED WITH EQUAL MATERIAL OR BETTER

SIGN SCHEDULE

| ROOM NO. | ROOM NAME/DESCRIPTION        | SIGN TYPE |
|----------|------------------------------|-----------|
| 101      | ENTRY                        | 1, 4, 5   |
| 102      | WOMENS                       | 2         |
| 103      | MENS                         | 2         |
| 104      | KITCHEN                      | 3         |
| 105      | STORAGE 1                    | 3         |
| 106      | TELCOM ROOM                  | 3         |
| 107      | CLASSROOM                    | 1         |
| 108      | MEETING ROOM / DISPLAY ROOM  | 1         |
| 109      | OFFICE 1                     | 1         |
| 110      | OFFICE 2                     | 1         |
| 111      | OFFICE 3                     | 1         |
| 112      | OFFICE 4                     | 1         |
| 113      | STORAGE                      | 3         |
| 114      | OUTDOOR MENS                 | 2         |
| 115      | OUTDOOR WOMENS               | 2         |
| 116      | COVERED OUTDOOR SPACE        | 1         |
| 117      | STORAGE                      | 3         |
| 118      | WH CLOSET                    | 3         |
| -        | EXTERIOR DECK/STAIR/ADA RAMP | 4         |

ROOM FINISH SCHEDULE

| ROOM NO. | ROOM NAME/DESCRIPTION        | FLOOR     | BASE      | WALL       | CEILING    | CASEWORK        | WINDOW |
|----------|------------------------------|-----------|-----------|------------|------------|-----------------|--------|
| 101      | ENTRY                        | SVF       | RB-1      | PT-1       | ACT-1      | -               | -      |
| 102      | WOMENS                       | CT-1/GT-1 | CT-1/GT-1 | CT-2/GT-3  | PT-4       | SS-2            | -      |
| 103      | MENS                         | CT-1/GT-1 | CT-1/GT-1 | CT-2/GT-3  | PT-4       | SS-2            | -      |
| 104      | KITCHEN                      | QT/GT-2   | QT/GT-2   | FRP        | ACT-2      | SS-1/PLAM-1/STS | -      |
| 105      | STORAGE 1                    | VCT       | RB-3      | PT-1       | ACT-1      | -               | -      |
| 106      | TELCOM ROOM                  | VCT       | RB-3      | PT-1       | ACT-1      | -               | -      |
| 107      | CLASSROOM                    | SVF       | RB-1      | PT-1/PT-2  | ACT-1/PT-3 | -               | RB     |
| 108      | MEETING ROOM / DISPLAY ROOM  | SVF       | RB-1      | PT-1/PT-2  | ACT-1/PT-3 | -               | -      |
| 109      | OFFICE 1                     | CPT       | RB-2      | PT-1       | ACT-1      | PLAM-2          | RB     |
| 110      | OFFICE 2                     | CPT       | RB-2      | PT-1       | ACT-1      | PLAM-2          | RB     |
| 111      | OFFICE 3                     | CPT       | RB-2      | PT-1       | ACT-1      | PLAM-2          | RB     |
| 112      | OFFICE 4                     | CPT       | RB-2      | PT-1       | ACT-1      | PLAM-2          | RB     |
| 113      | STORAGE                      | VCT       | RB-3      | PT-1       | ACT-1      | -               | -      |
| 114      | OUTDOOR MENS                 | CT-1/GT-1 | CT-1/GT-1 | CT-2/GT-3  | PT-4       | SS-2            | -      |
| 115      | OUTDOOR WOMENS               | CT-1/GT-1 | CT-1/GT-1 | CT-2/GT-3  | PT-4       | SS-2            | -      |
| 116      | COVERED OUTDOOR SPACE        | DCK       | EXPT-2    | EXPT-1,2&8 | EXPT-6     | -               | -      |
| 117      | STORAGE                      | VCT       | RB-3      | PT-1       | ACT-1      | -               | -      |
| 118      | WH CLOSET                    | DPT       | -         | PT-1       | EXPT-6     | -               | -      |
| -        | EXTERIOR DECK/STAIR/ADA RAMP | DCK/DPT   | -         | EXPT-8     | -          | -               | -      |

NOTE: SCHEDULED FINISHES EXTEND INTO CLOSETS WITHIN ROOMS

DWG. NO.  
**A-702**  
SHEET 21 OF 57

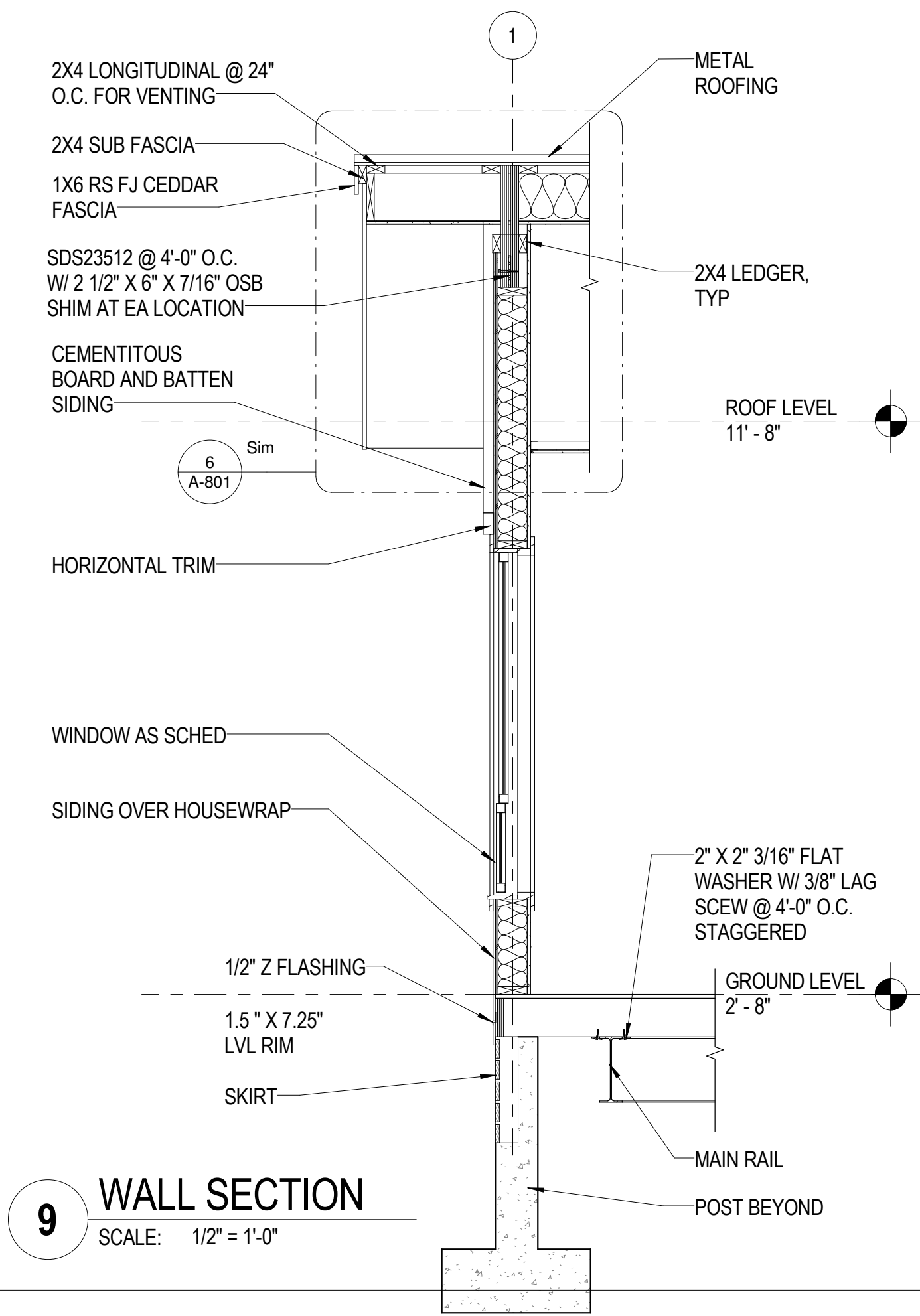
DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD  
RESIDENT'S CENTER  
RFP-19-HHL-007

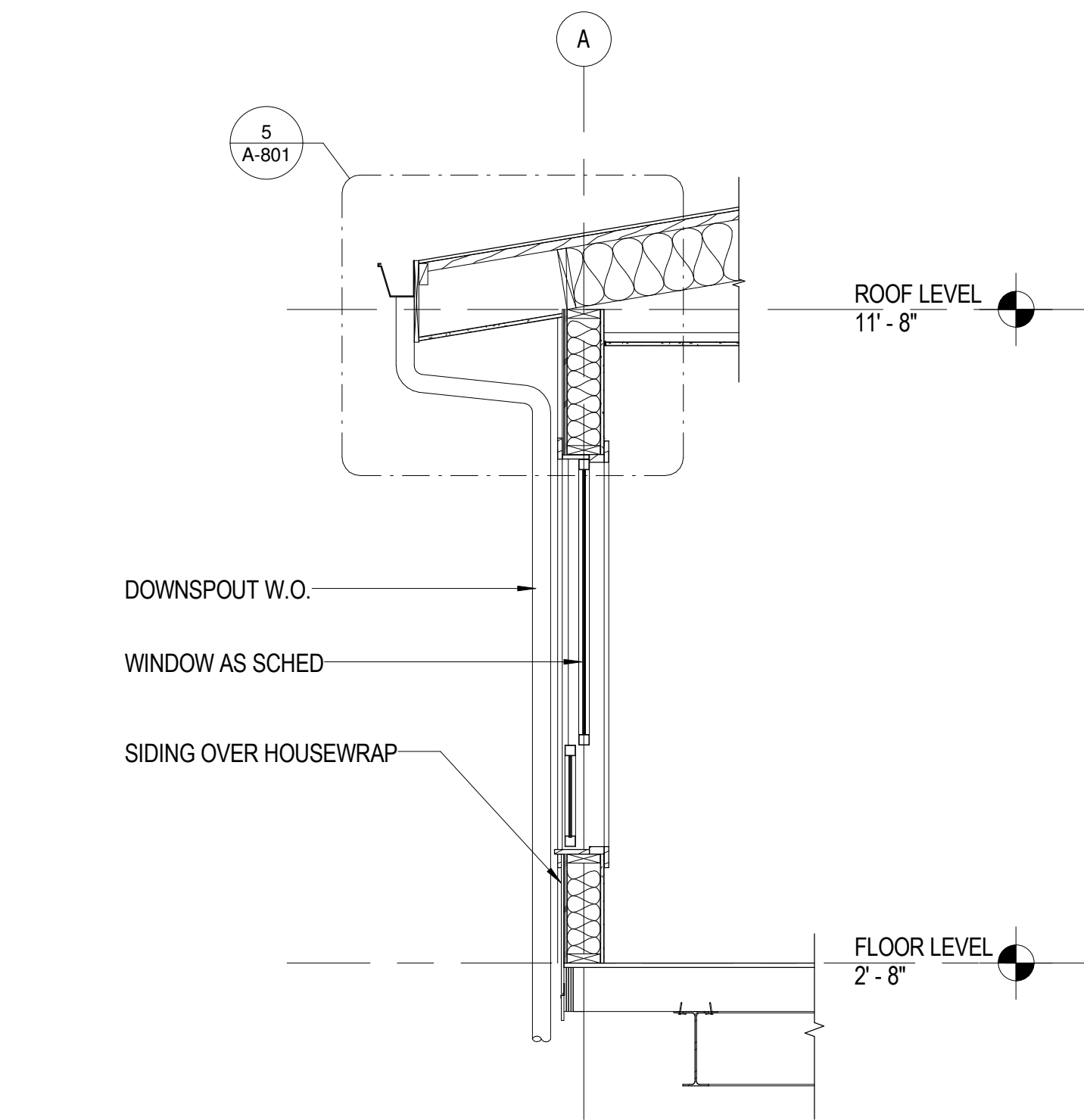
COLOR, MATERIAL AND ROOM FINISH  
SCHEDULE

OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

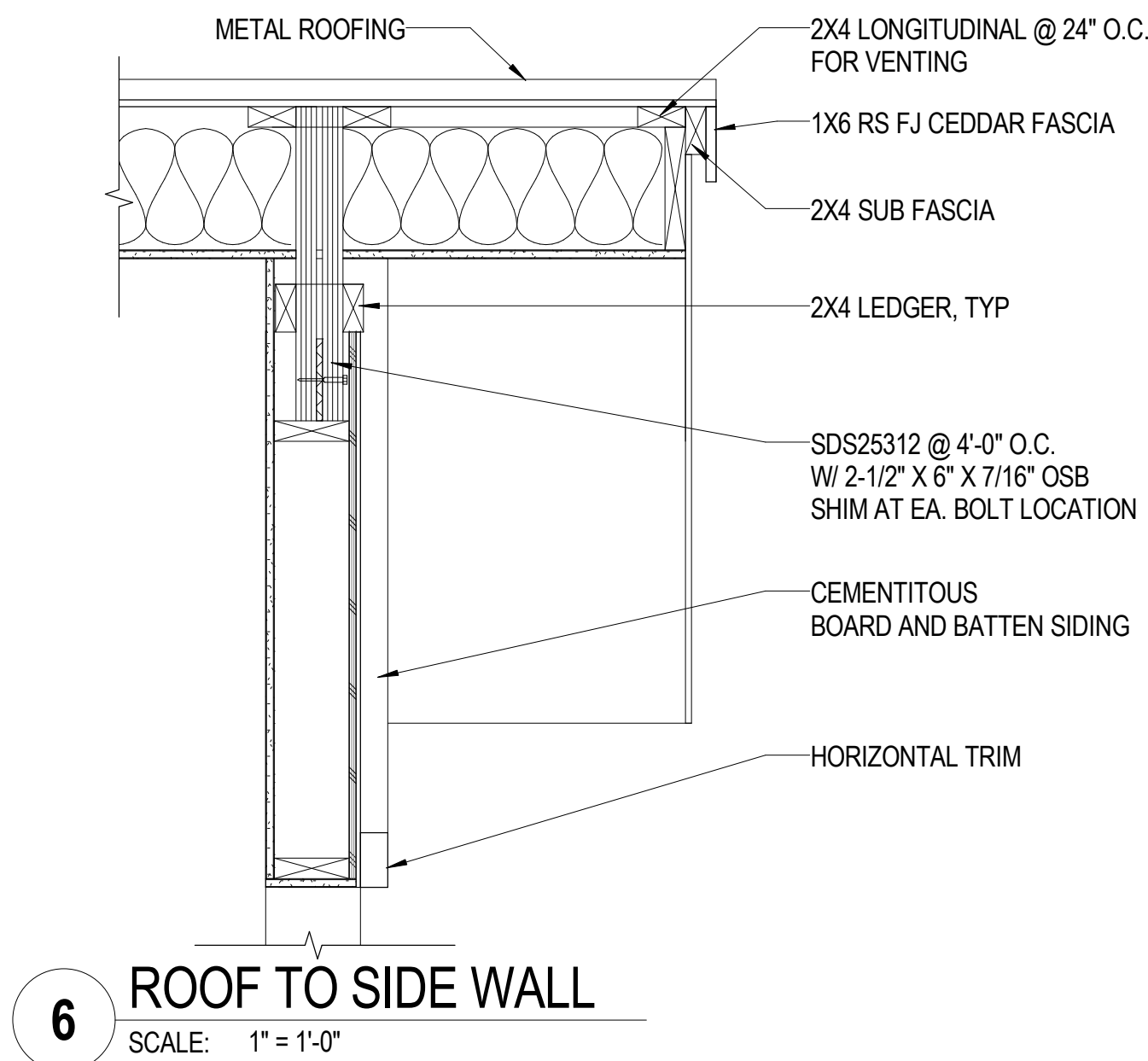
JUNE 2019



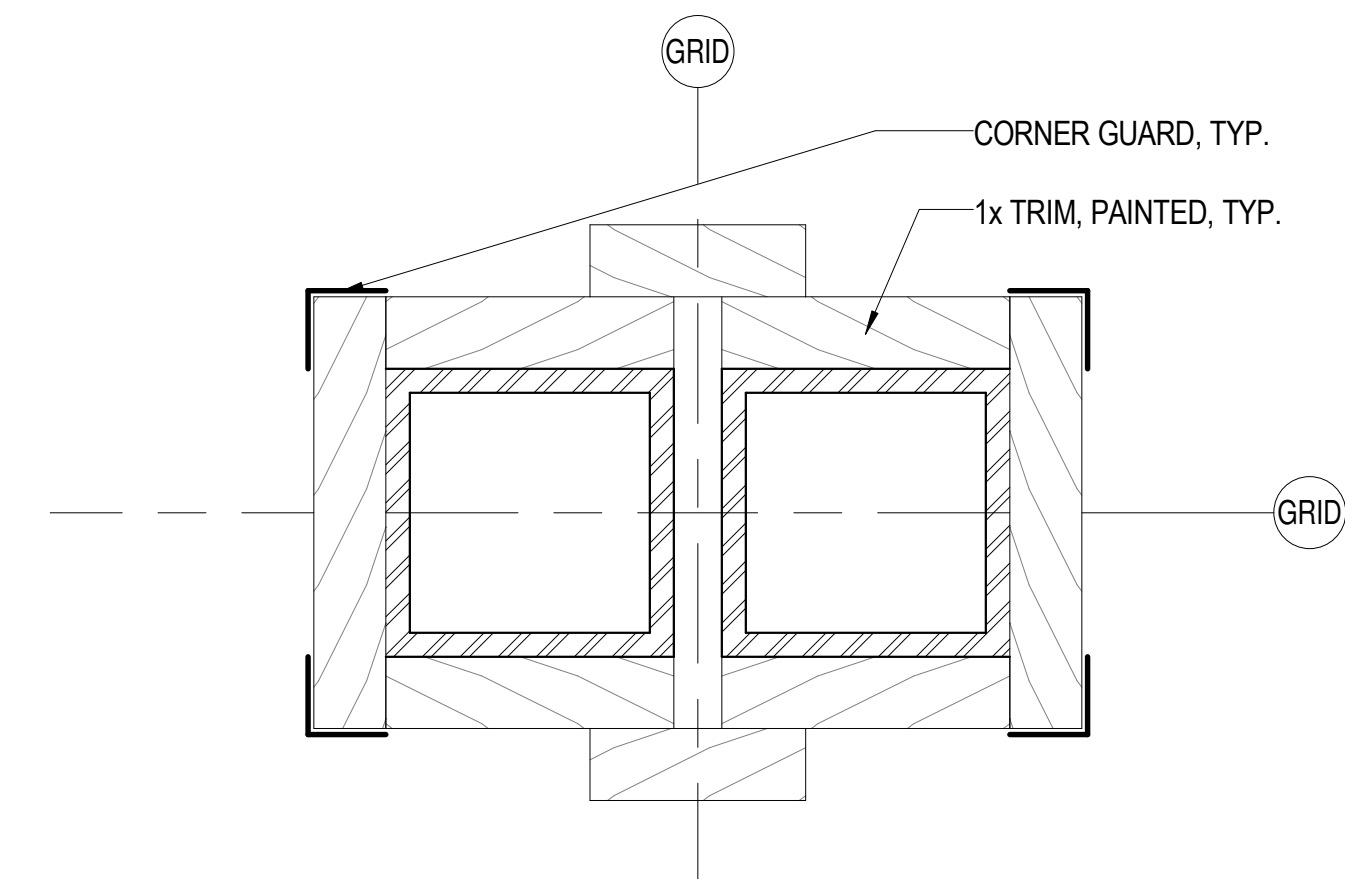
**9 WALL SECTION**  
SCALE: 1/2" = 1'-0"



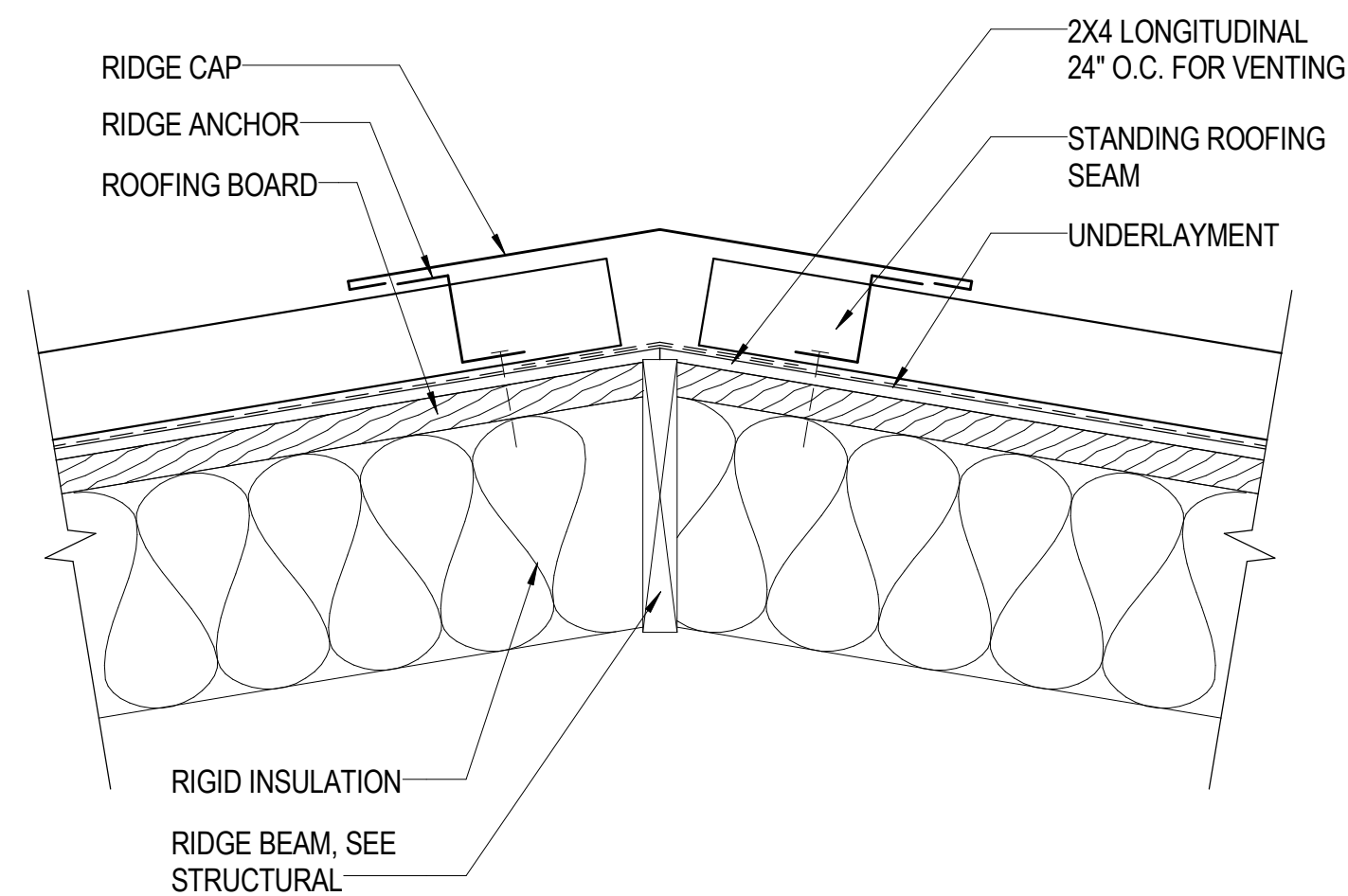
**10 WALL SECTION**  
SCALE: 1/2" = 1'-0"



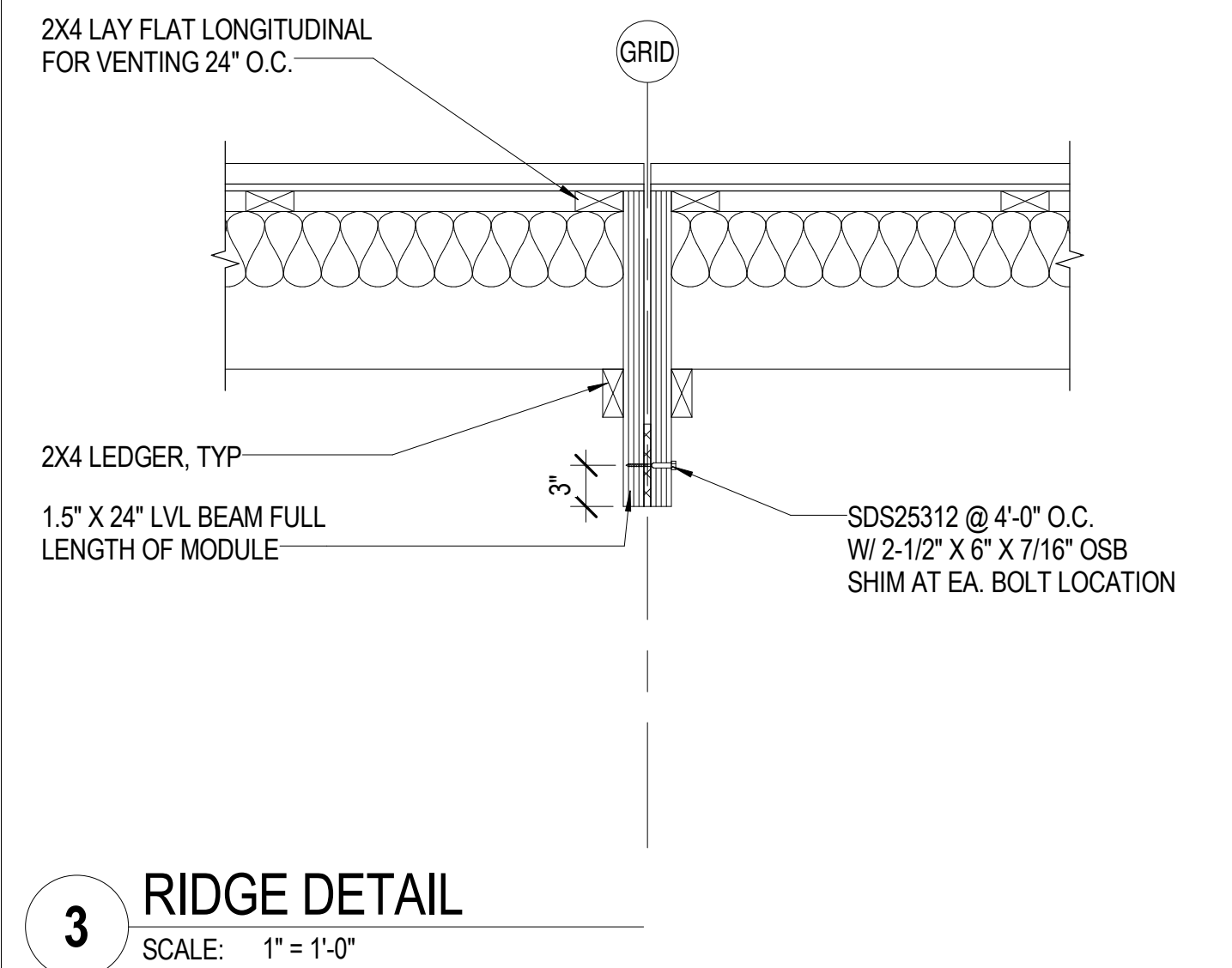
**6 ROOF TO SIDE WALL**  
SCALE: 1" = 1'-0"



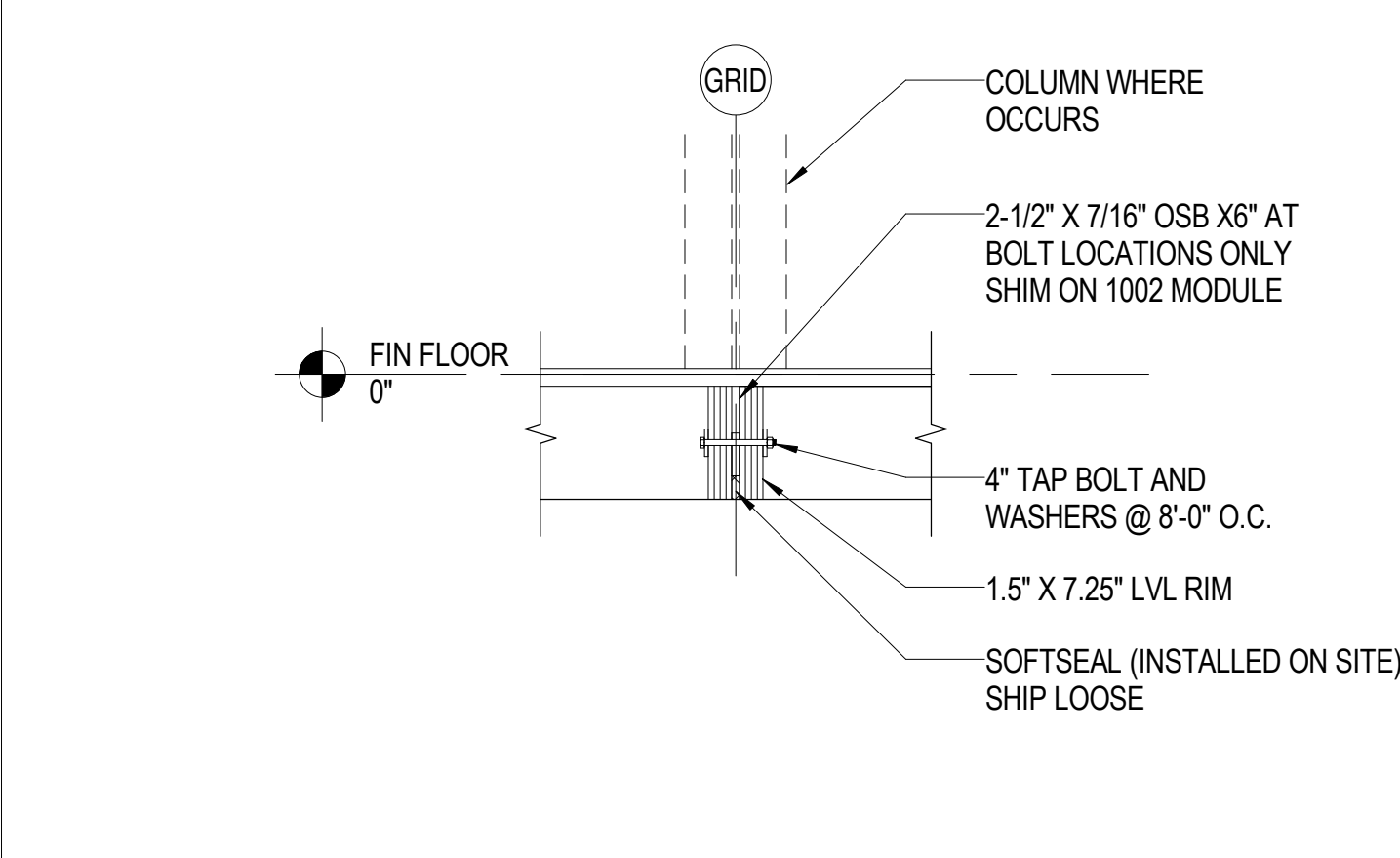
**8 DOUBLE COLUMNS AT MODULAR JOINT**  
SCALE: 6" = 1'-0"



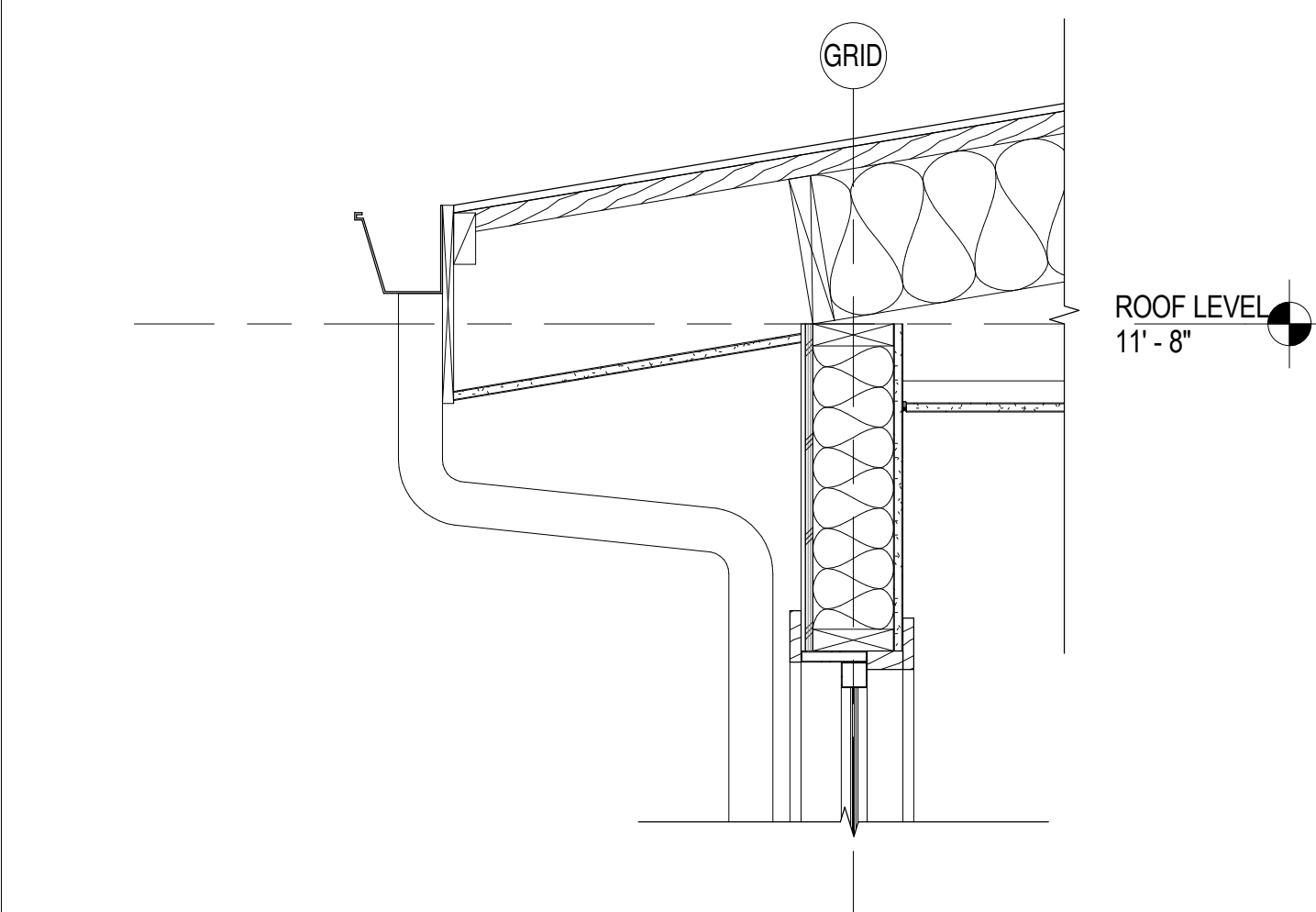
**7 RIDGE DETAIL**  
SCALE: 1 1/2" = 1'-0"



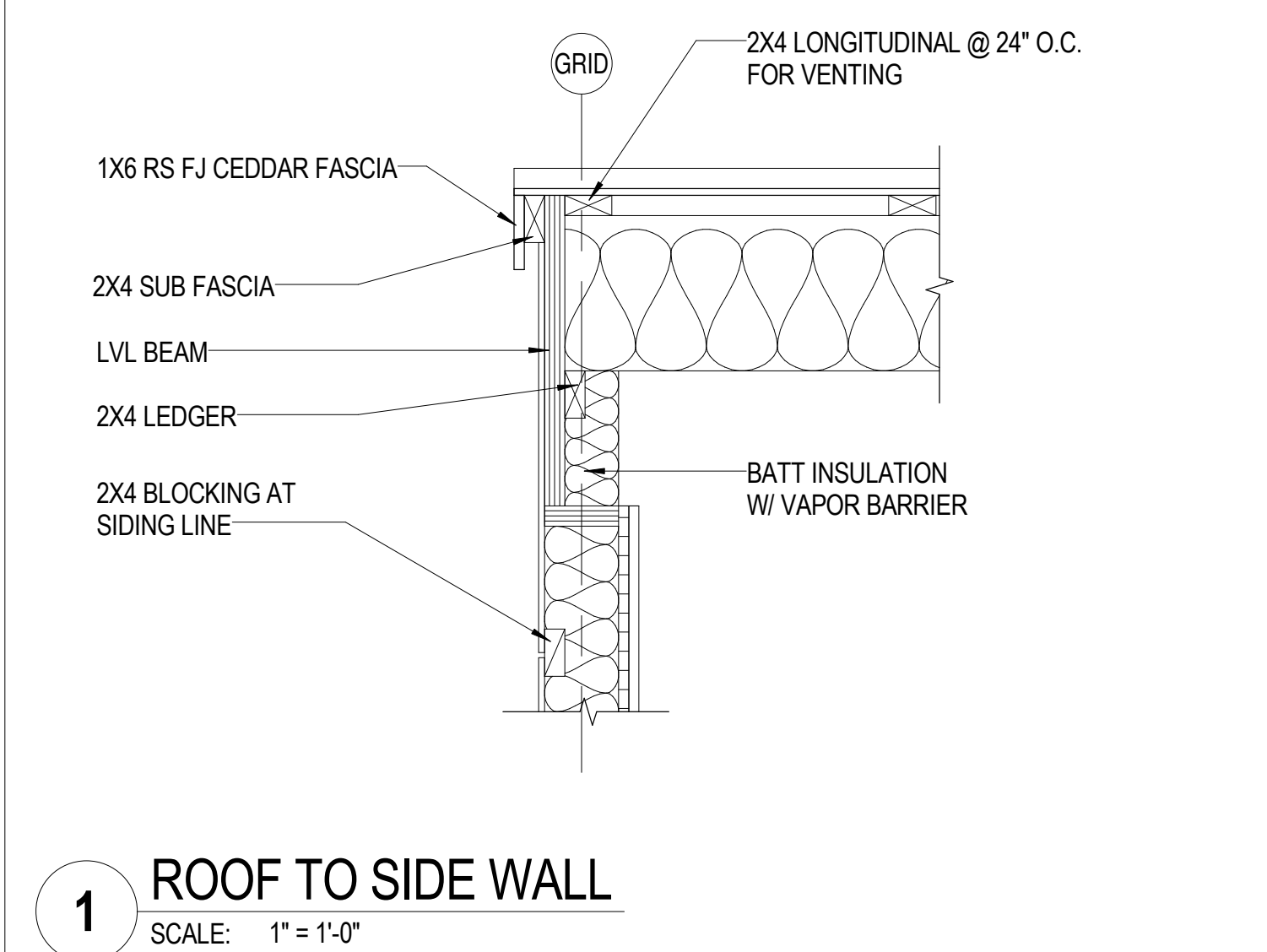
**3 RIDGE DETAIL**  
SCALE: 1" = 1'-0"



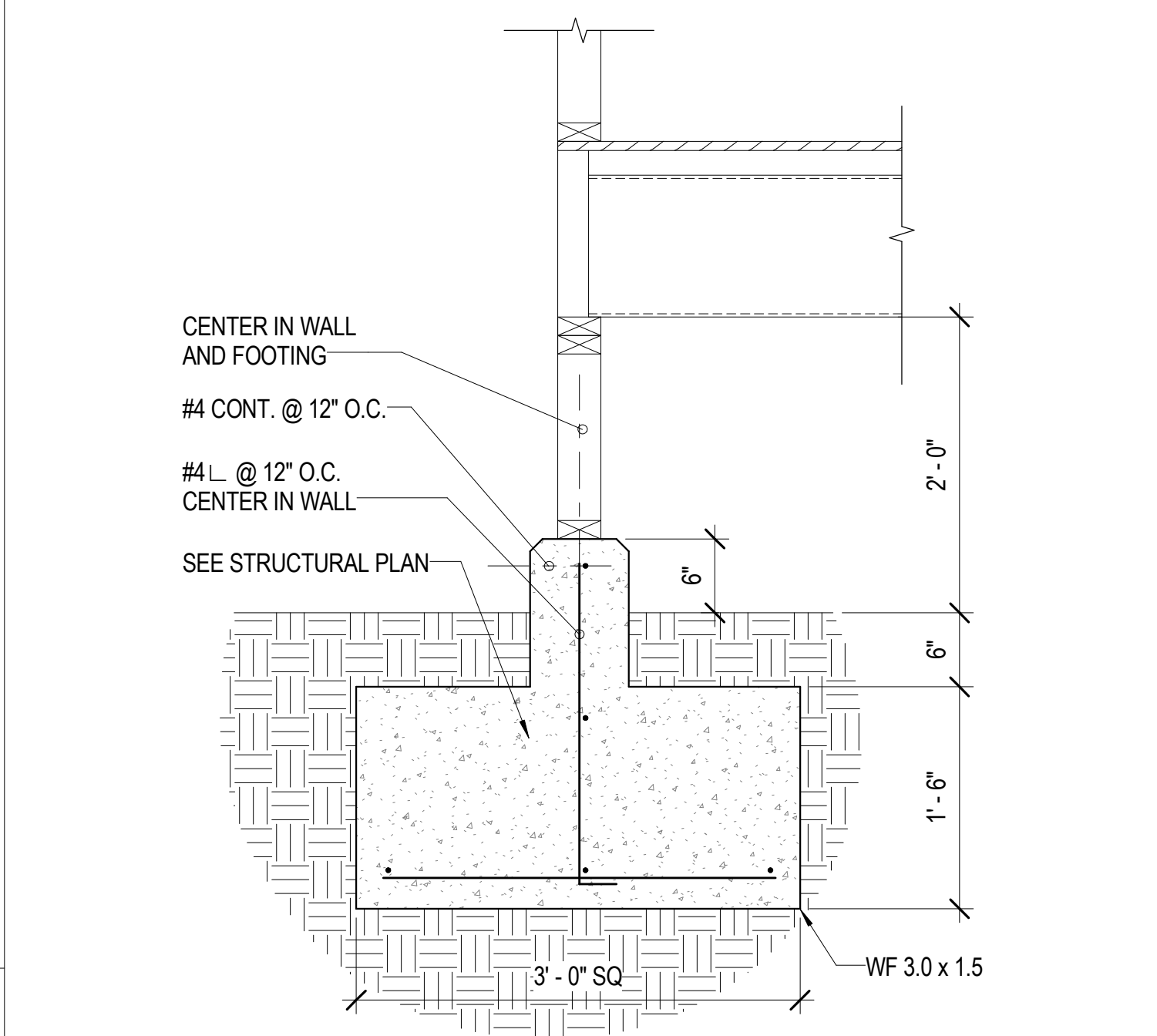
**4 FLOOR AT MATELINE**  
SCALE: 1" = 1'-0"



**5 ROOF TO END WALL**  
SCALE: 1" = 1'-0"



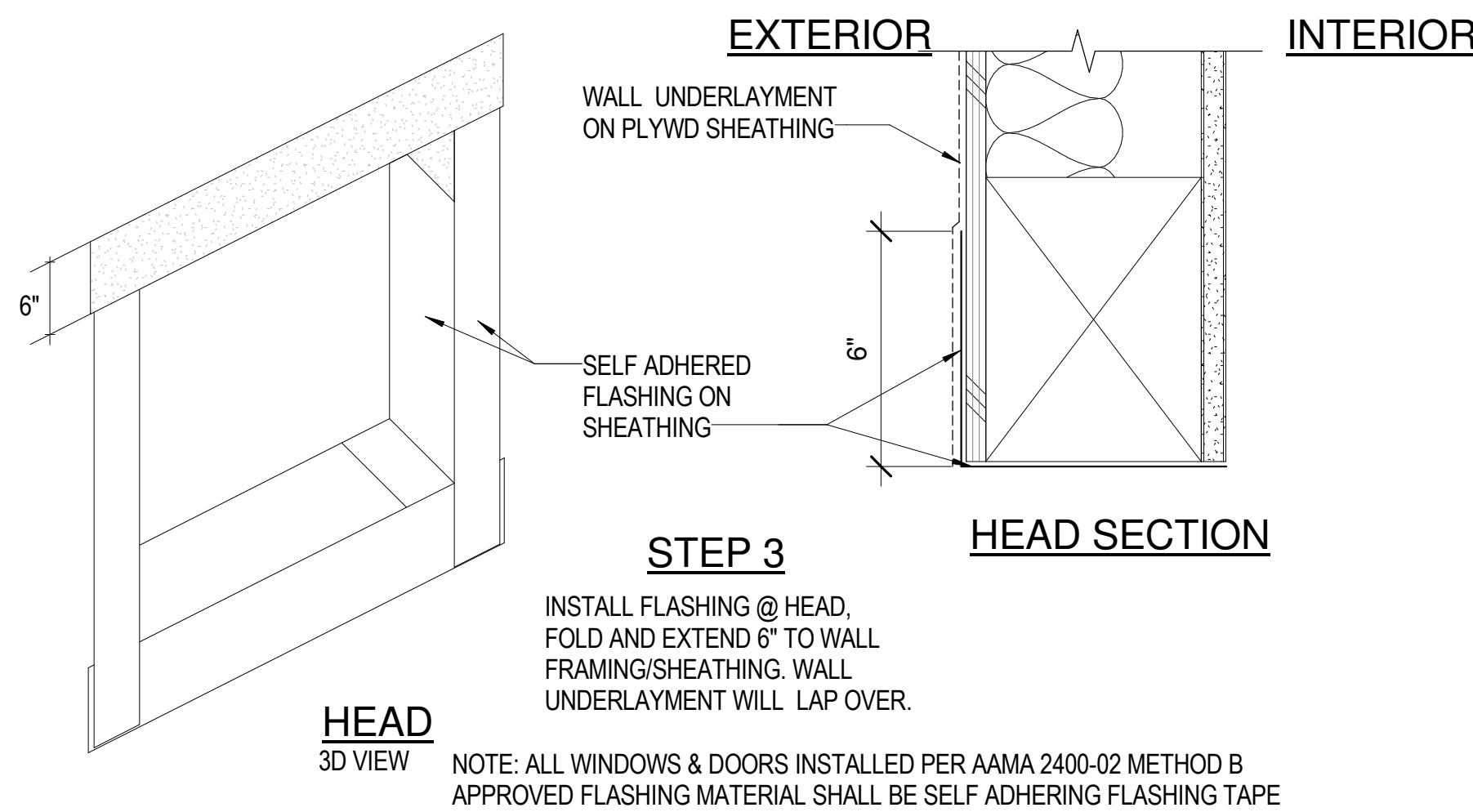
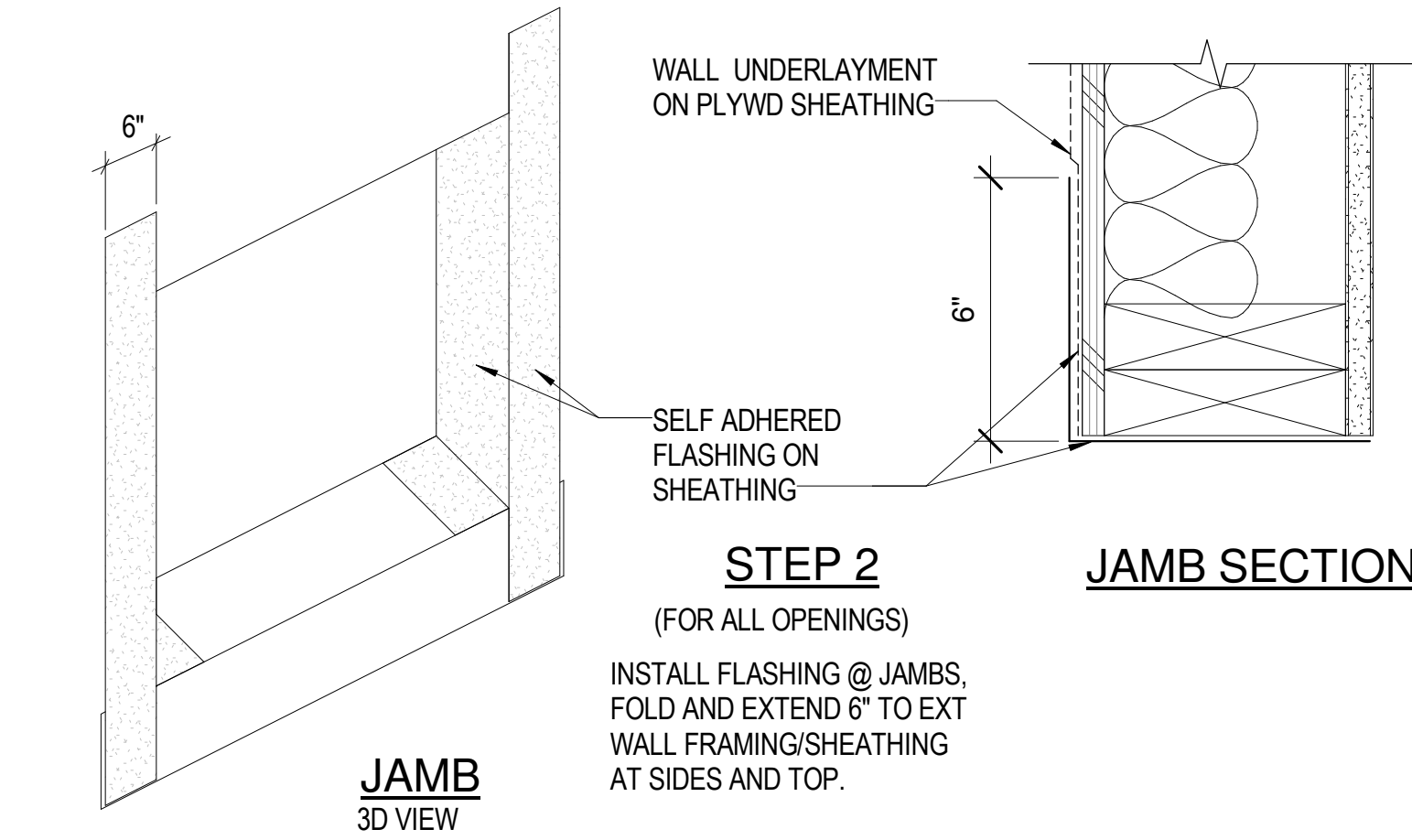
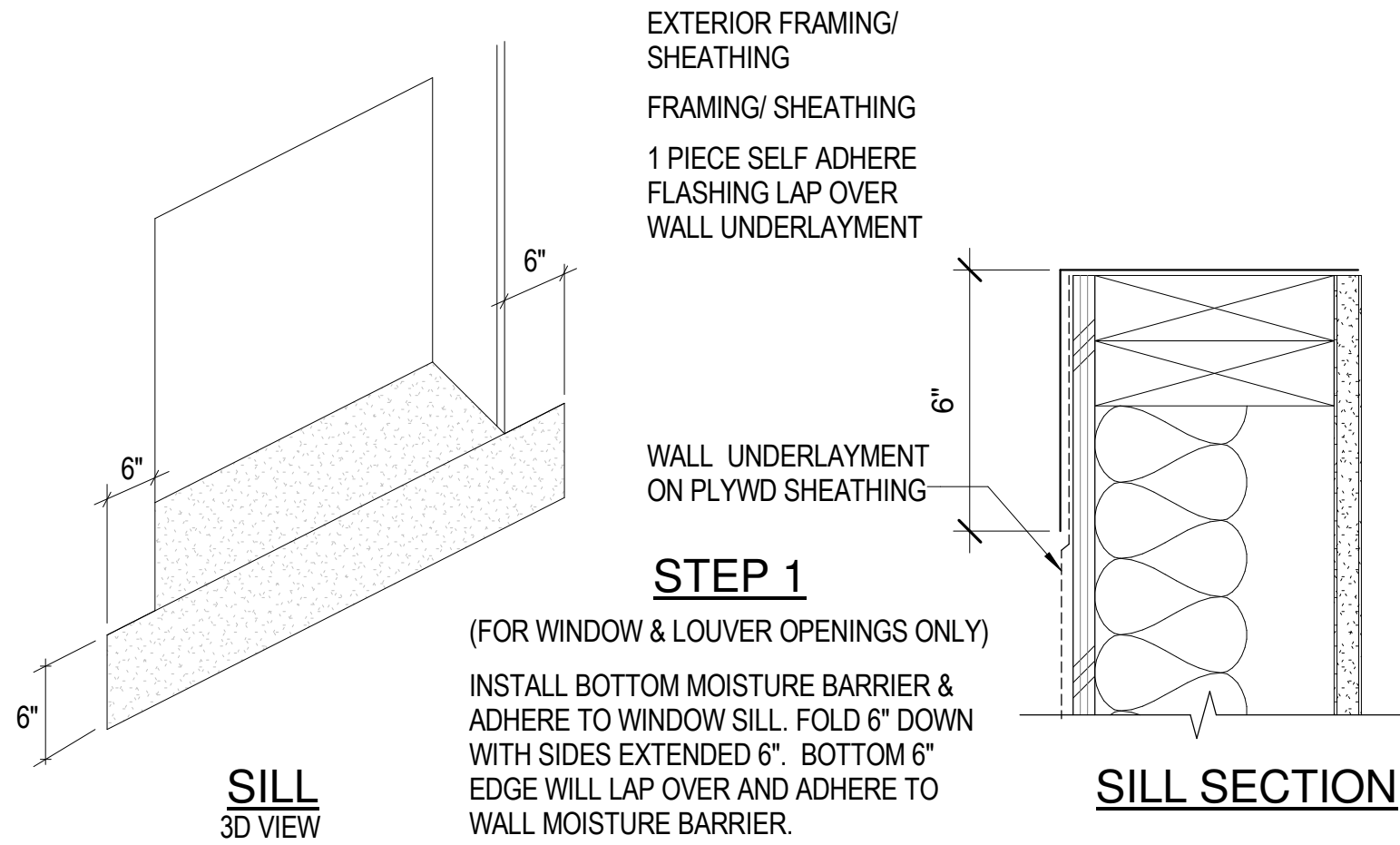
**1 ROOF TO SIDE WALL**  
SCALE: 1" = 1'-0"



**2 TYPICAL PERIMETER WALL FOOTING**  
SCALE: 1" = 1'-0"

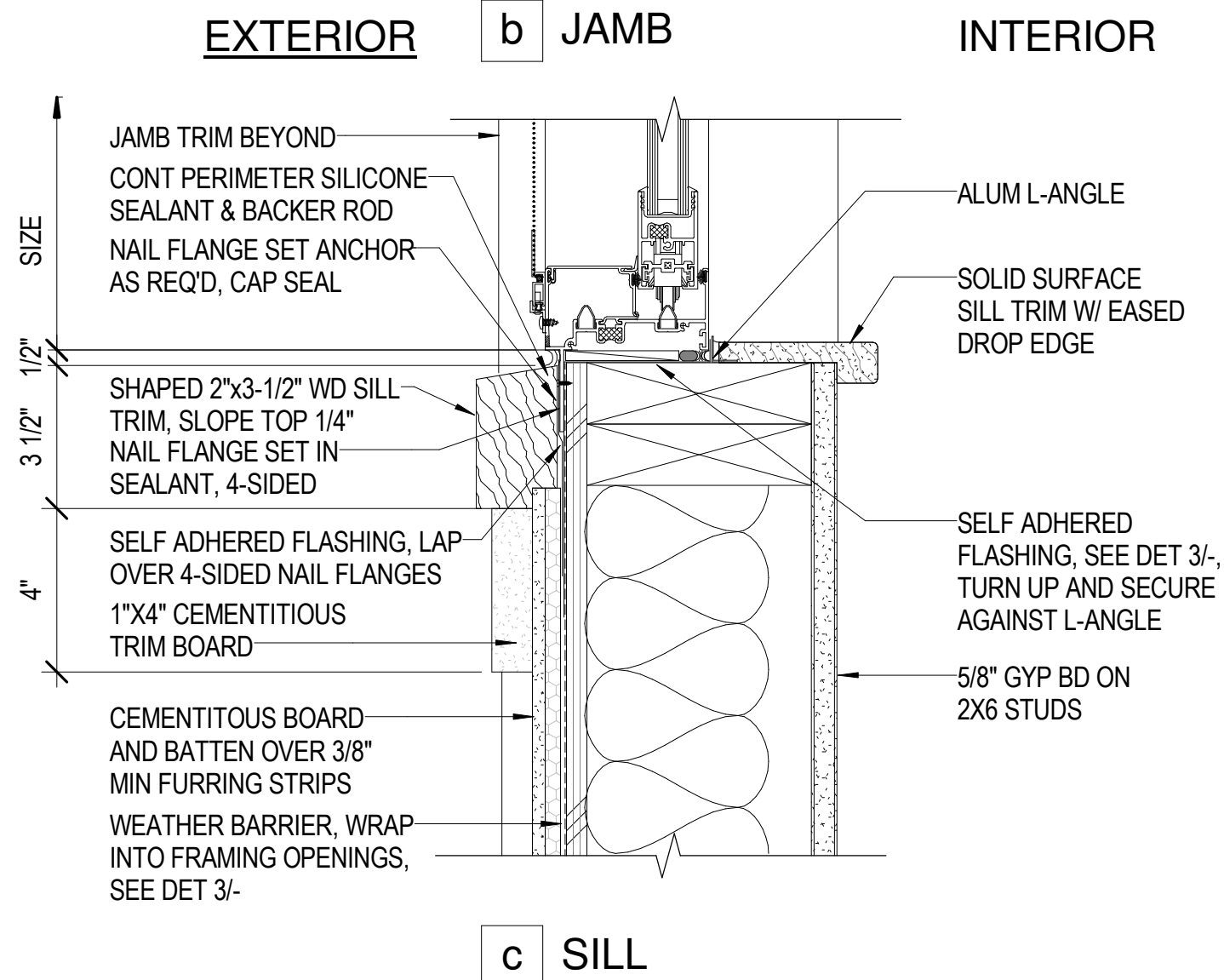
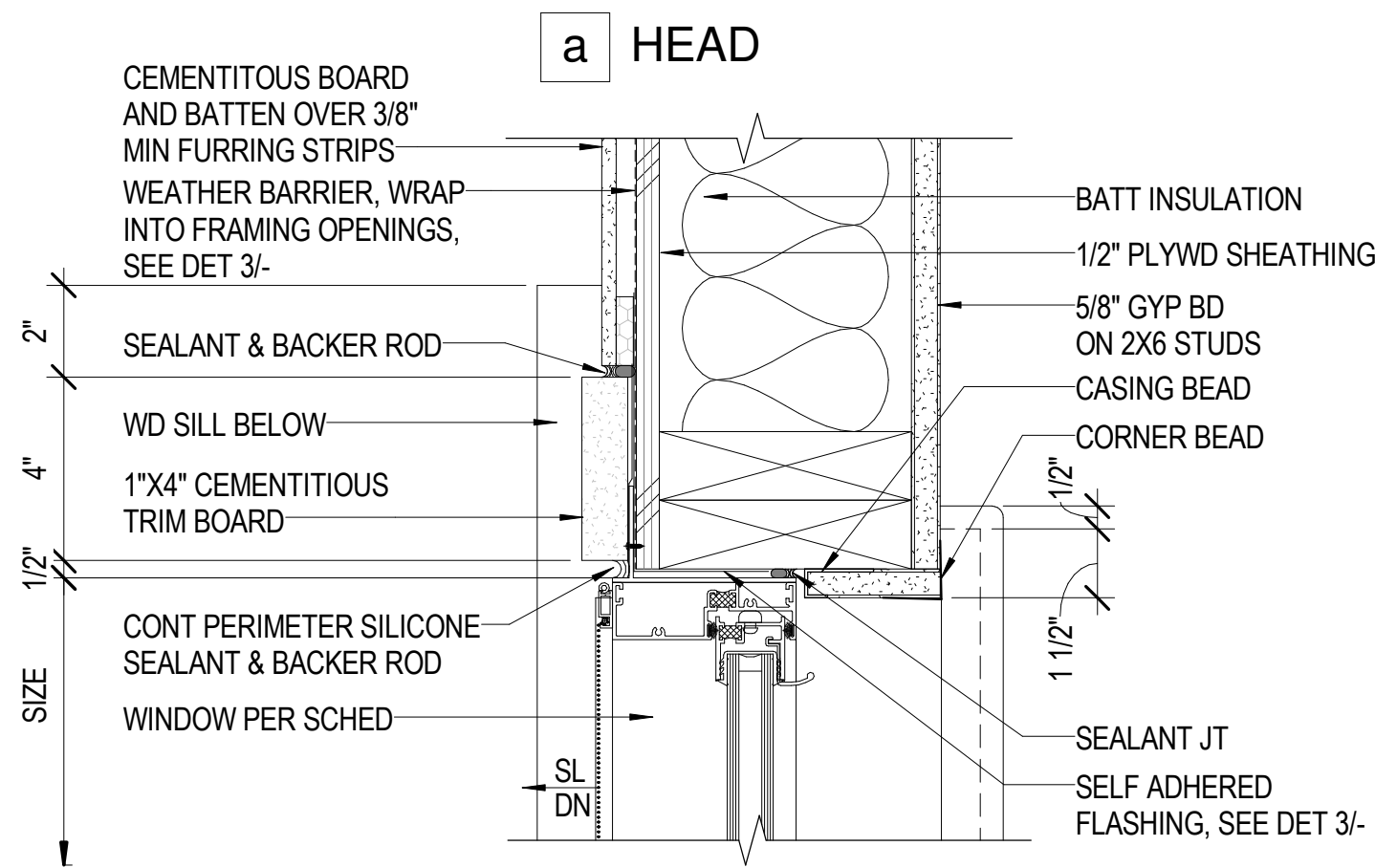
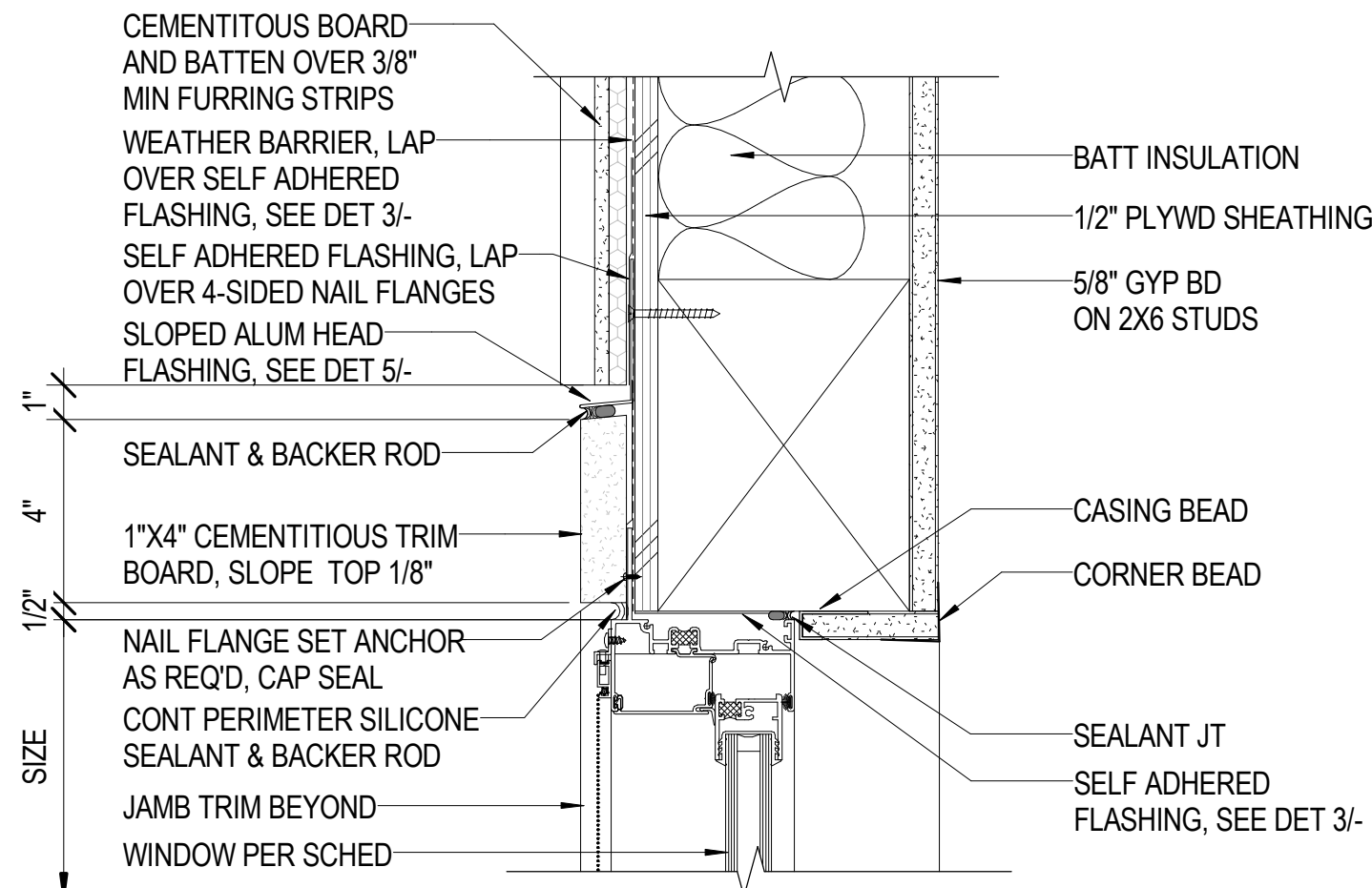
|  |      |       |         |          |  |
|--|------|-------|---------|----------|--|
|  |      |       |         |          |  |
| REVISION   | DATE | BRIEF | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |       |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |       |         |          |  |
| DETAILS  |      |       |         |          |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |      |       |         |          |  |
| JUNE 2019  |      |       |         |          |  |

|      |        |        |     |
|------|--------|--------|-----|
| FILE | POCKET | FOLDER | NO. |
|------|--------|--------|-----|



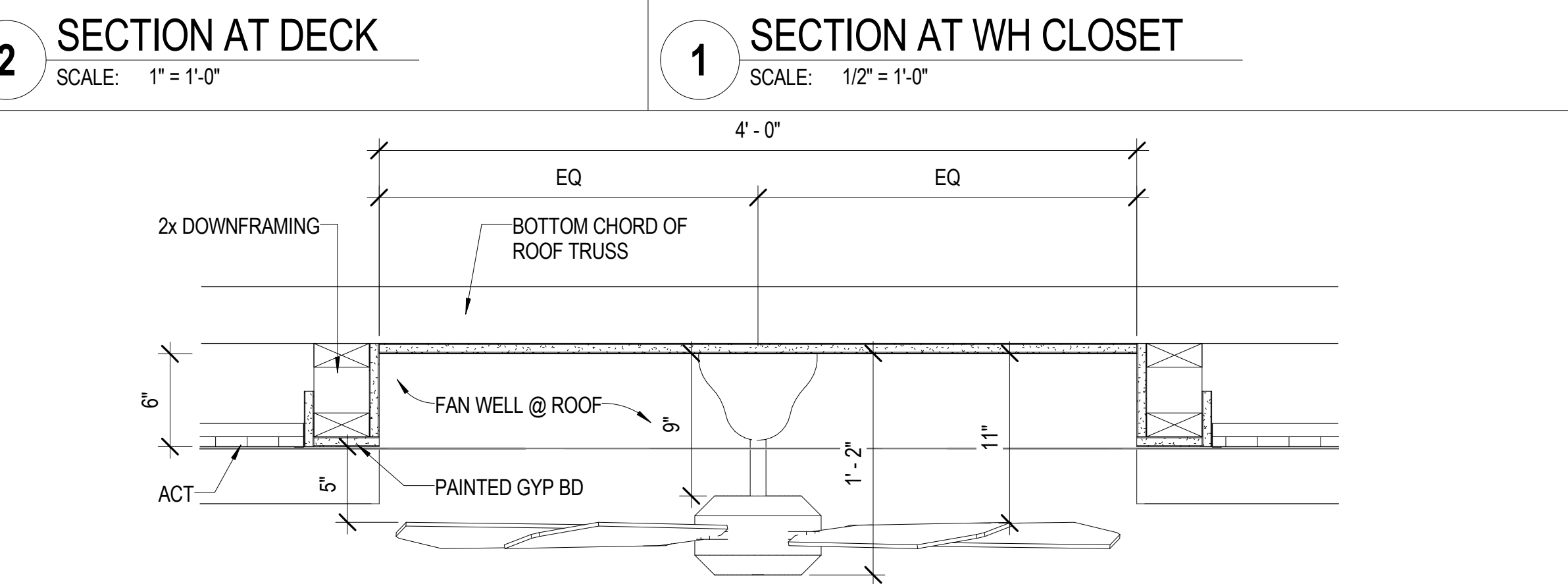
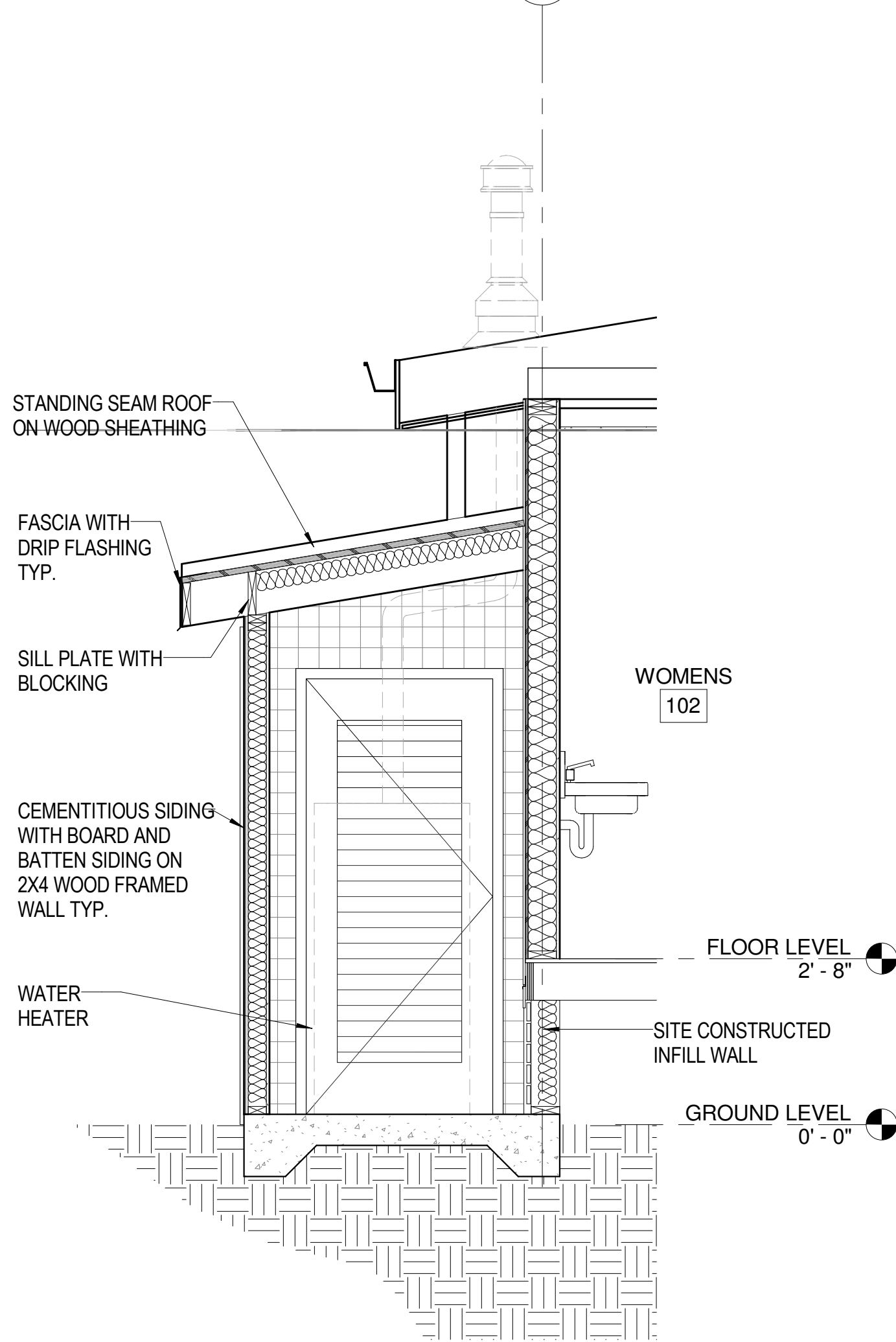
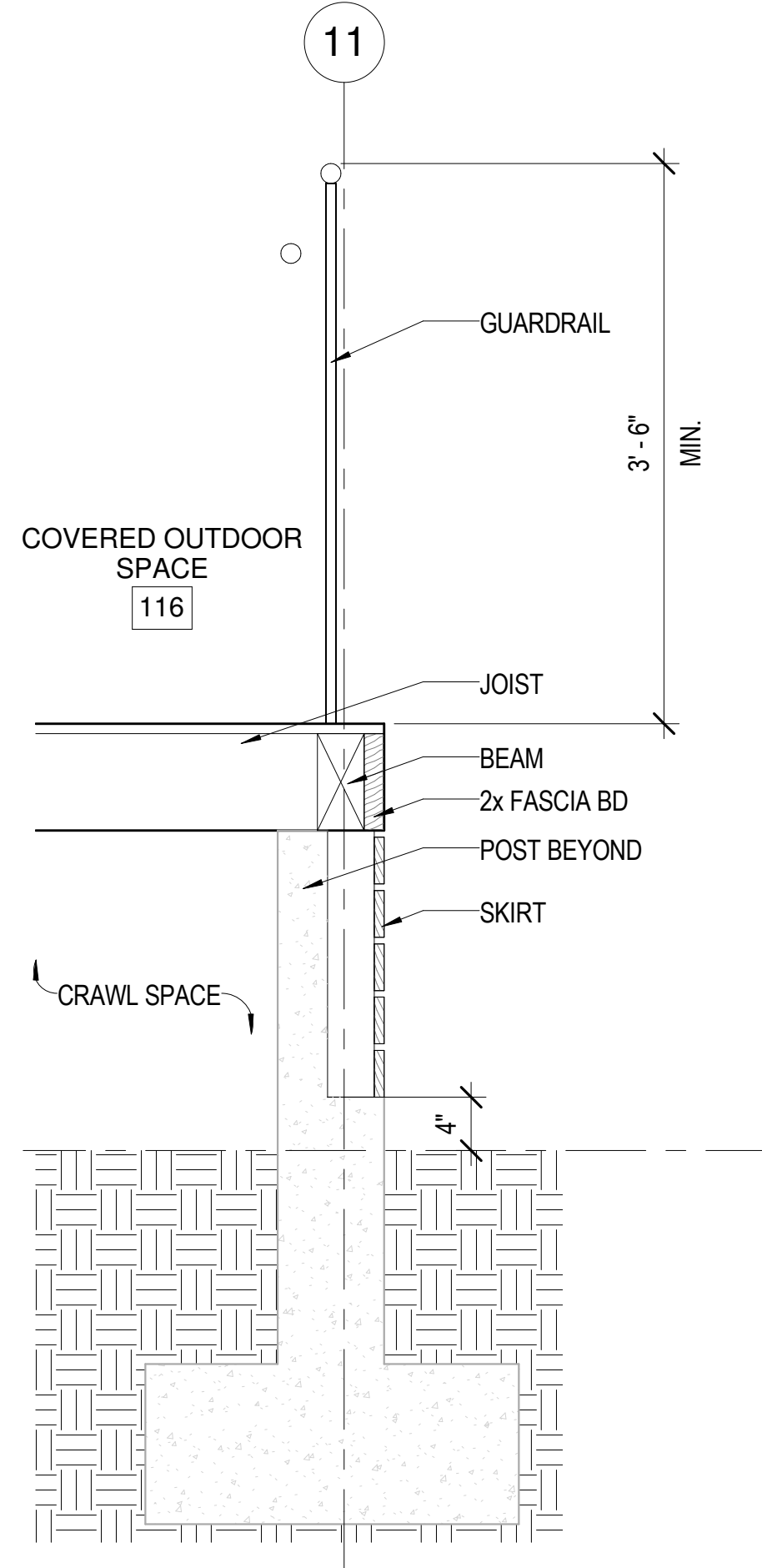
## 5 FLASHING DETAIL AROUND EXTERIOR OPENINGS

SCALE: 3" = 1'-0"



## 4 SLIDING WINDOW DETAILS

SCALE: 3" = 1'-0"



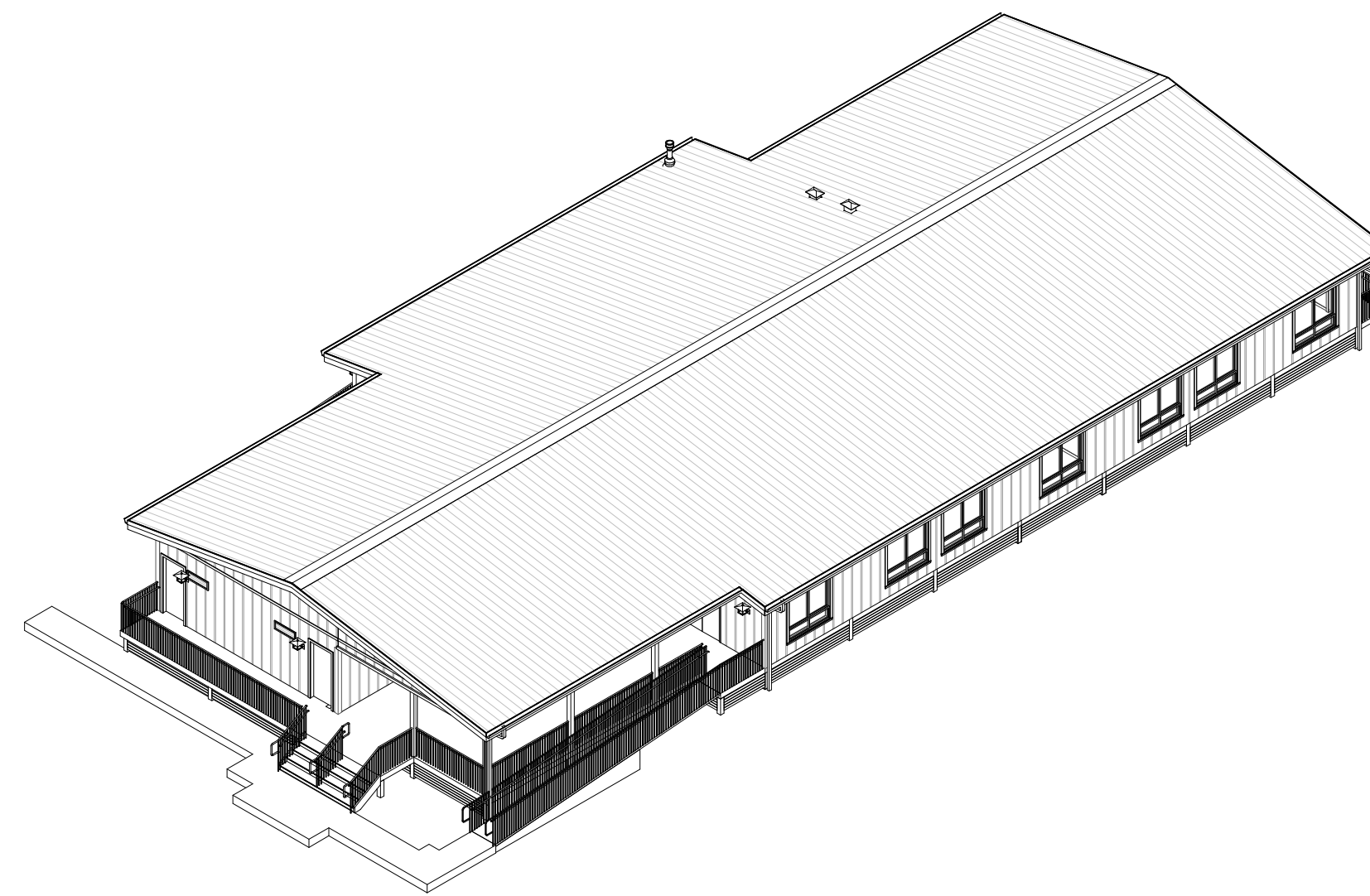
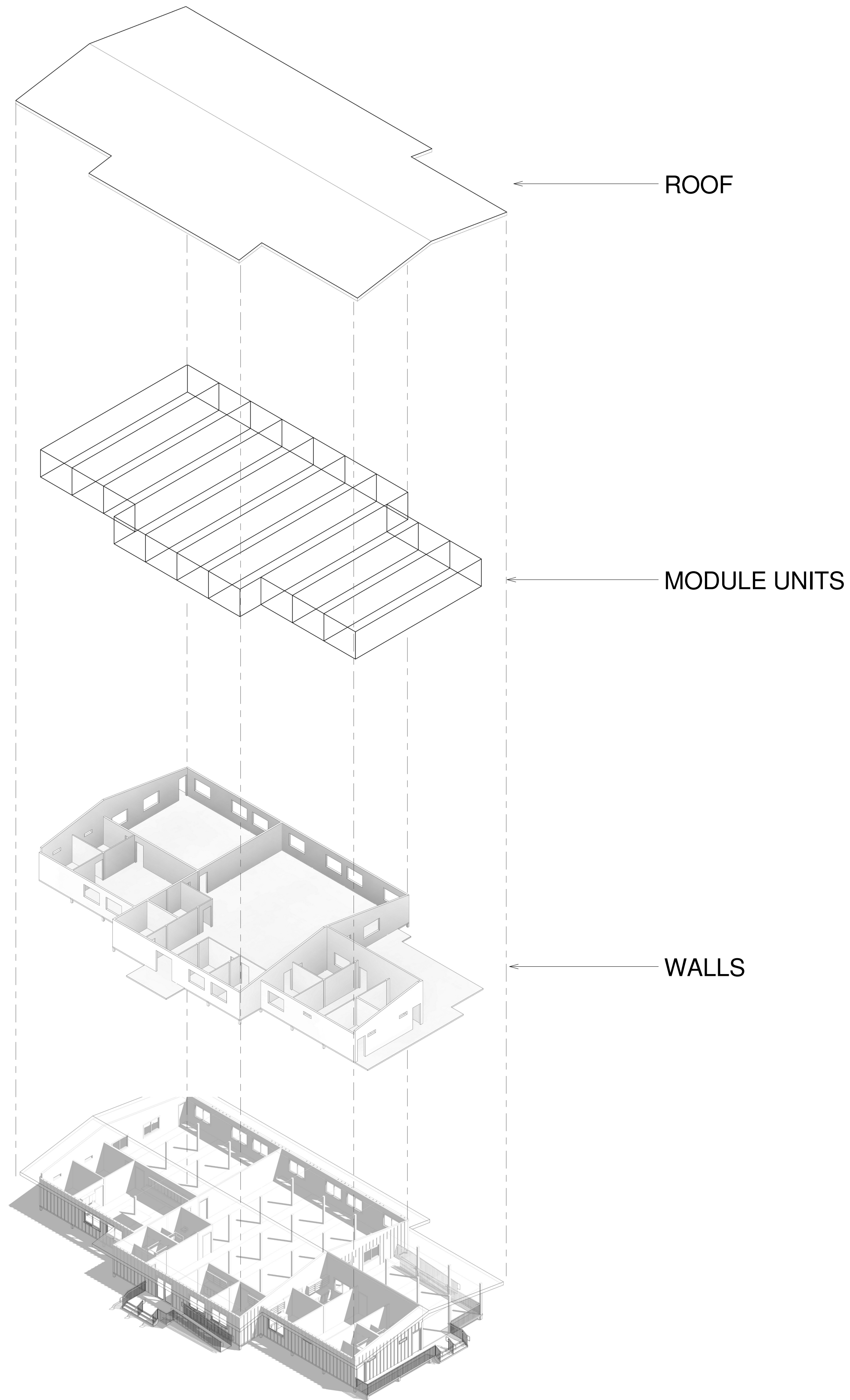
DWG. NO.  
**A-802**  
SHEET 23 OF 57

**OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION**

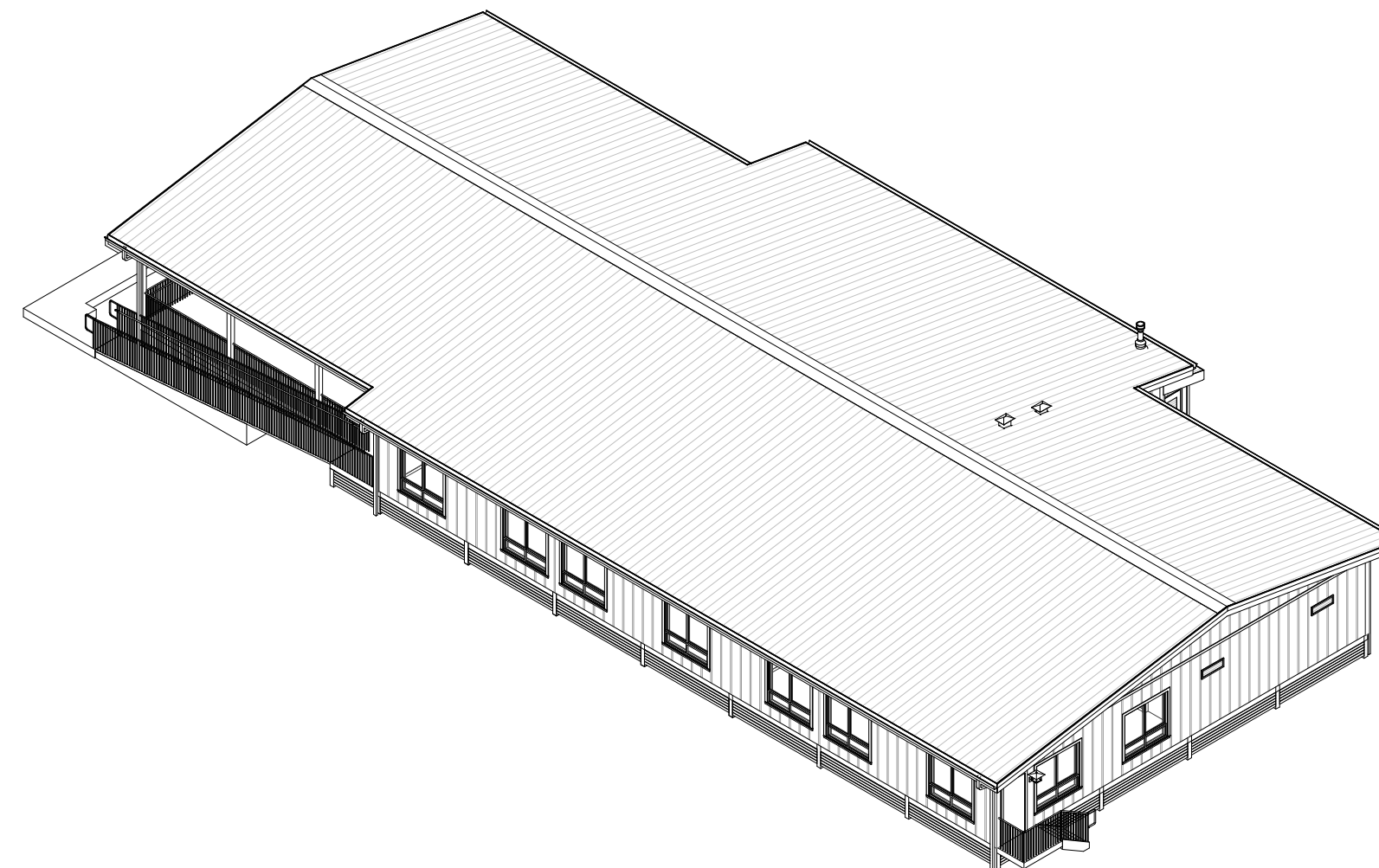
JUNE 2019

|      |        |        |     |
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| FILE | POCKET | FOLDER | NO. |
|------|--------|--------|-----|

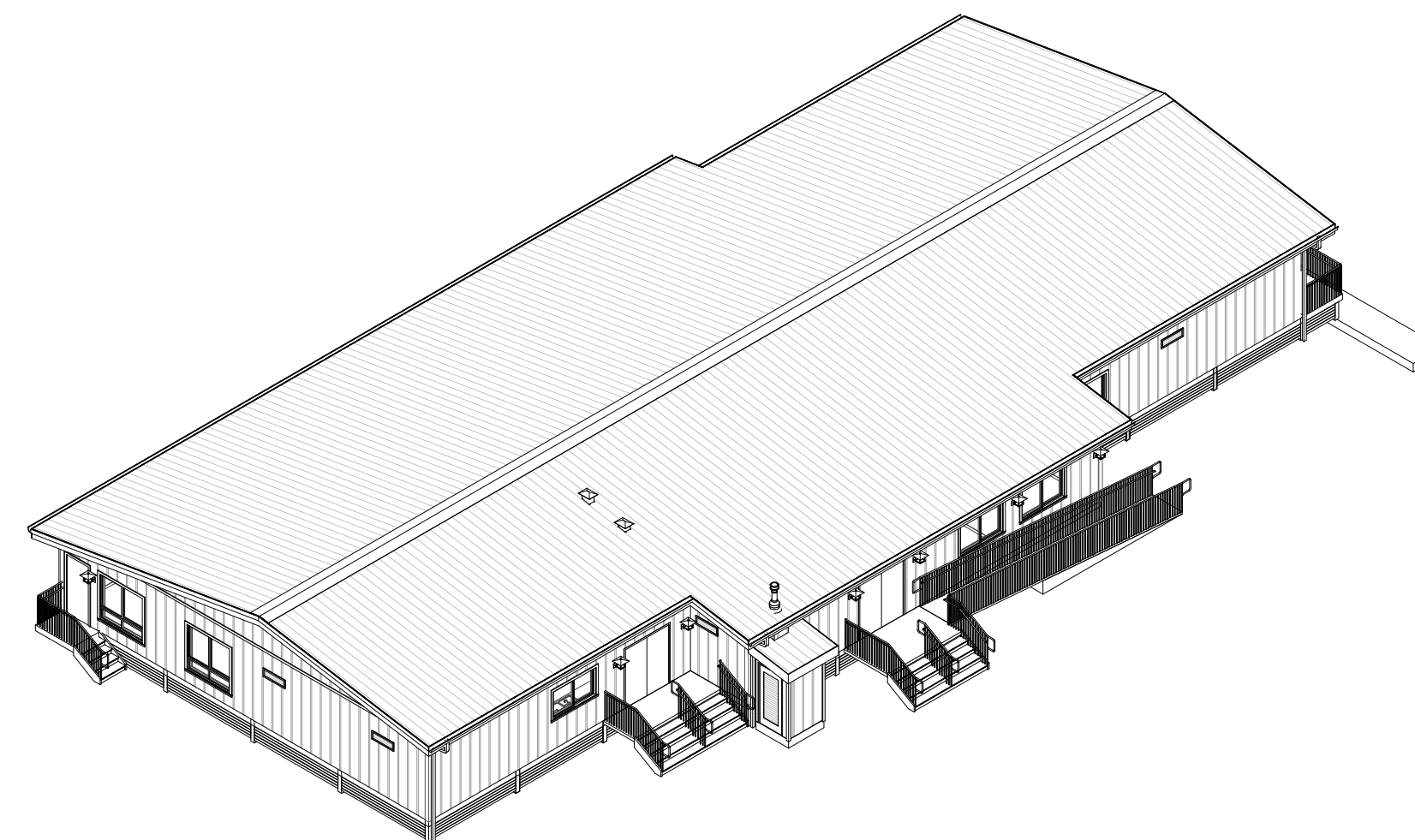
6/7/2019 2:39:06 PM



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE

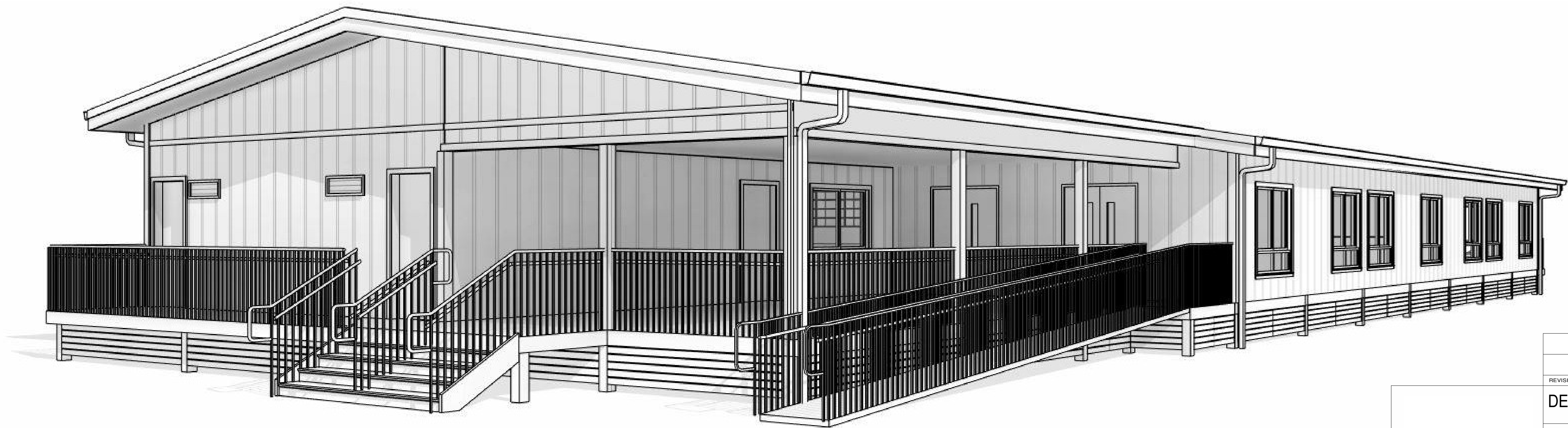
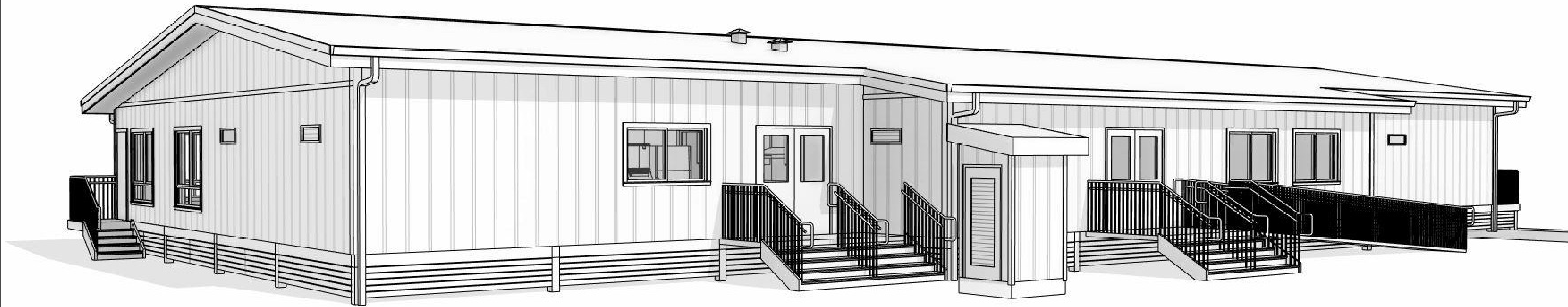


SOUTHWEST PERSPECTIVE

DWG. NO.  
**A-904**  
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| REVISION   | DATE   | BRIEF  | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |  |
| ISOMETRIC VIEWS  |        |        |         |          |  |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |        |        |         |          |  |
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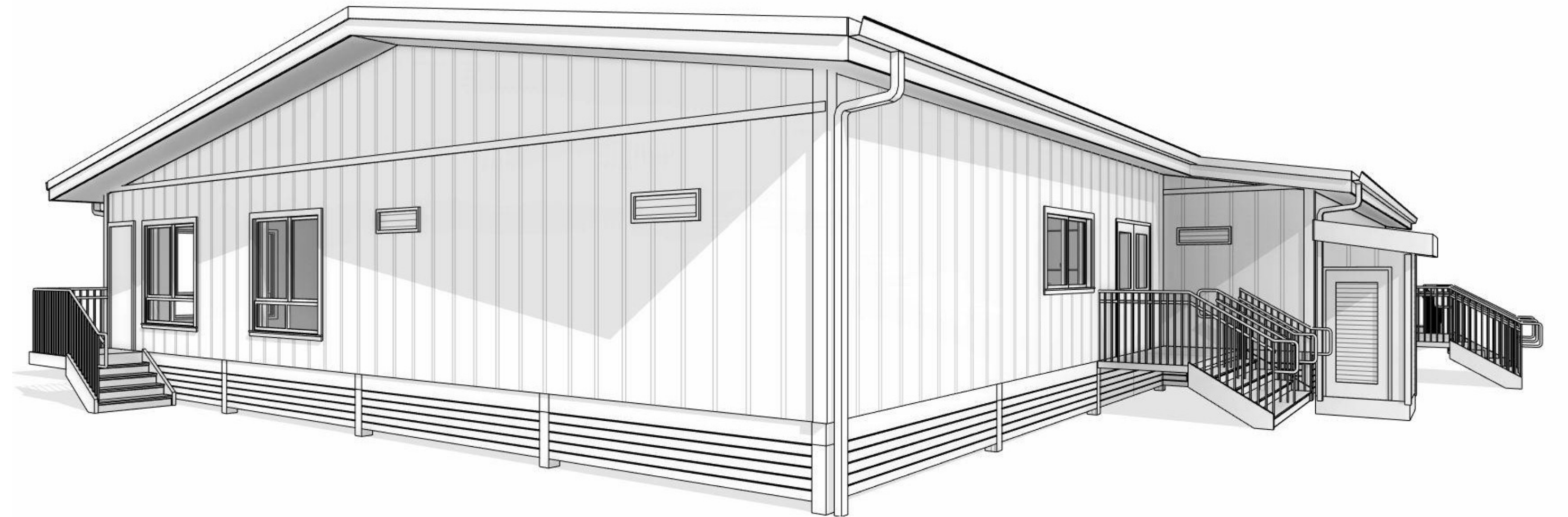


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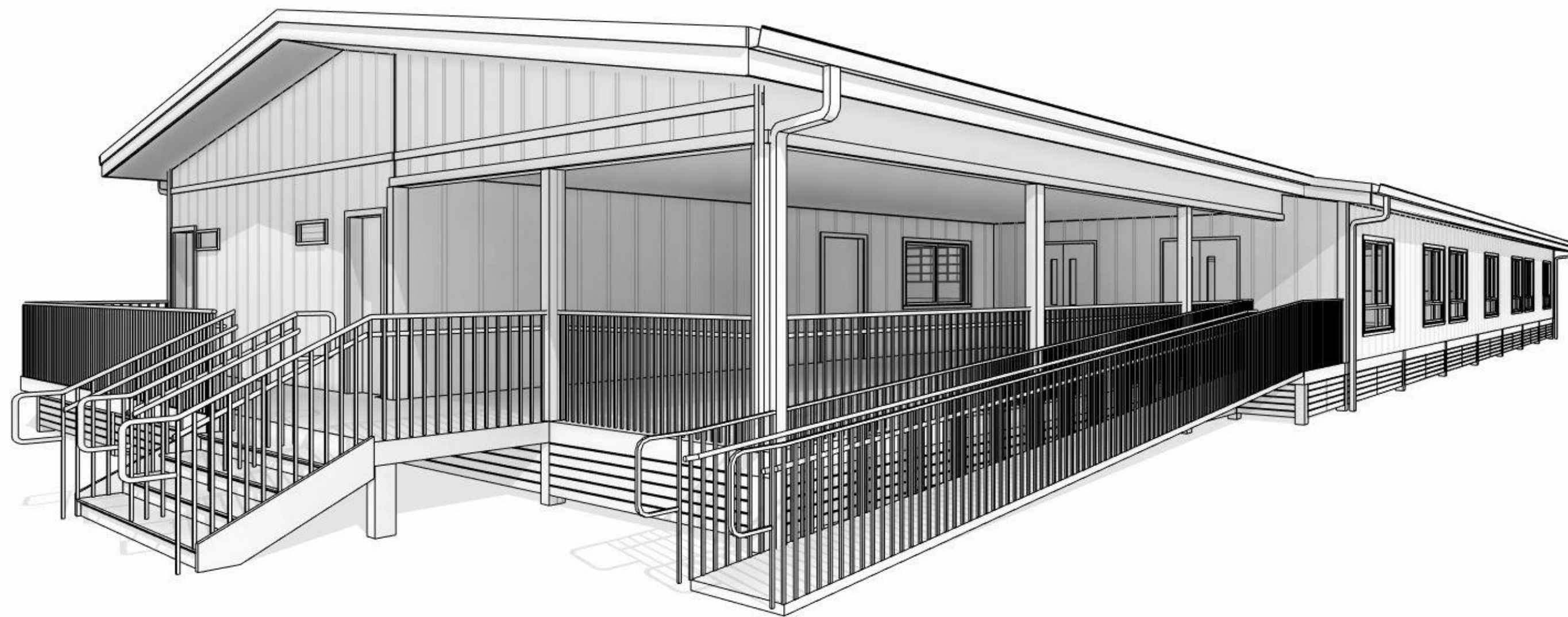
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| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |  |
| PERSPECTIVE VIEWS  |        |        |         |          |  |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |        |        |         |          |  |
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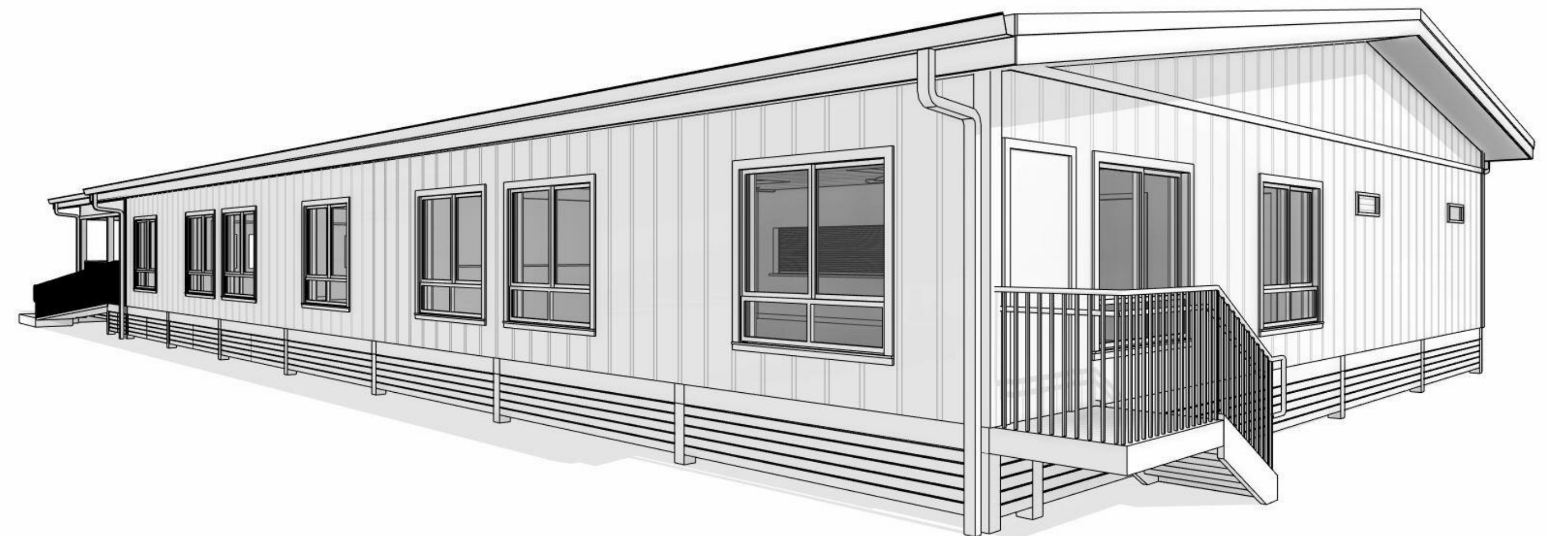
SOUTHEAST PERSPECTIVE



SOUTHWEST PERSPECTIVE



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE

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**A-906**  
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| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |        |        |         |          |  |
| HO'OLEHUA VETERAN AND HOMESTEAD<br>RESIDENT'S CENTER<br>RFP-19-HHL-007 |        |        |         |          |  |
| PERSPECTIVE VIEWS  |        |        |         |          |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |        |        |         |          |  |
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STATE OF HAWAII  
DEPARTMENT OF HAWAIIAN HOME LANDS

CONSTRUCTION PLANS FOR  
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER  
HOOLEHUA, MOLOKAI, HAWAII

TAX MAP KEY: (2) 5-2-15: 53

GENERAL NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED ON AVAILABLE "AS-BUILT" OF RECORD CONSTRUCTION PLANS AND ARE APPROXIMATE ONLY AND THEIR ACCURACY IS NOT GUARANTEED.
- EXISTING CONTOURS AND FEATURES ARE BASED ON "TOPOGRAPHIC SURVEY MAP MOLOKAI LANIKEHA/HOOLEHUA COMMUNITY CENTER, HOOLEHUA-PALAAU HOMESTEADS" PREPARED BY CONTROL POINT SURVEYING INC. DATED AUGUST 21, 2016.
- ELEVATIONS SHOWN WERE ESTABLISHED ONSITE USING GPS OBSERVATIONS AND ARE BASED HORIZONTAL DATUM: NAD 83 HI ZONE 2 STATE PLANE COORDINATES, U.S. FEET.
- EXISTING GRADES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH GRADING WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED IN THE EXISTING GRADES OR DIMENSIONS GIVEN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER BEFORE PROCEEDING ANY FURTHER WITH THE WORK, OTHERWISE HE WILL BE HELD RESPONSIBLE FOR ANY COST INVOLVED IN THE CORRECTION OF CONSTRUCTION PLACED DUE TO SUCH DISCREPANCIES.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE PROPOSED PLAN TO THE OWNER'S REPRESENTATIVE AND SHALL DEMOLISH, REMOVE, OR RELOCATE ALL EXISTING UTILITIES, IMPROVEMENTS, ETC. INCONSISTENT WITH THE PROPOSED PLAN AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND AT THE CONTRACTOR'S EXPENSE.
- THE LATEST REVISIONS OF THE "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION," SEPTEMBER 1984 AND THE "HAWAII STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," 2005 SHALL BE INCLUDED AS PART OF THESE CONSTRUCTION PLANS. THE CONTRACTOR SHALL OBTAIN THE LATEST REVISIONS BEFORE COMMENCING CONSTRUCTION.
- SHOULD HISTORIC SITES SUCH AS WALLS, PLATFORMS, PAVEMENTS AND MOUNDS, OR REMAINS SUCH AS ARTIFACTS, BURIALS, CONCENTRATION OF CHARCOAL OR SHELLS BE ENCOUNTERED DURING CONSTRUCTION WORK, WORK SHALL CEASE IN THE IMMEDIATE VICINITY OF THE FIND AND THE FIND SHALL BE PROTECTED FROM FURTHER DAMAGE. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE STATE HISTORIC PRESERVATION DIVISION (PH: 243-1285 OR 243-4640), WHICH WILL ASSESS THE SIGNIFICANCE OF THE FIND AND RECOMMEND MITIGATION MEASURES, IF NECESSARY.
- PURSUANT TO CHAPTER 6E OF THE HAWAII REVISED STATUTES, ALL CONTRACTORS SHALL ENSURE THAT IN THE EVENT THAT ANY HUMAN SKELETAL REMAINS ARE INADVERTENTLY DISCOVERED DURING CONSTRUCTION, THE REMAINS SHALL NOT BE MOVED AND ANY ACTIVITY IN THE IMMEDIATE AREA THAT COULD DAMAGE THE REMAINS OR THE POTENTIAL HISTORIC SITE SHALL CEASE AND THE DEPARTMENT OF LAND AND NATURAL RESOURCES' HISTORIC PRESERVATION DIVISION (PH: 243-1285 OR 243-4640), THE APPROPRIATE MEDICAL EXAMINER OR CORONER, AND THE POLICE DEPARTMENT (TELEPHONE: 244-6400), SHALL BE CONTACTED. ALL LESSEES USING EXISTING DIRT ROADS TO ACCESS THEIR PROPERTY SHALL CONTINUE TO BE PROVIDED ACCESS TO THEIR PROPERTY AT ALL TIMES DURING CONSTRUCTION ACTIVITIES BY THE CONTRACTOR.

PUBLIC HEALTH, SAFETY AND  
CONVENIENCE NOTES

- THE CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE AND COUNTY LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH AND SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND ITS SURROUNDING AREAS FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH. THE COUNTY MAY REQUIRE SUPPLEMENTARY MEASURES AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

ARCHAEOLOGICAL NOTE

IN THE EVENT THAT ANY HISTORICAL RESOURCES, INCLUDING HUMAN SKELETAL REMAINS, STRUCTURAL REMAINS, CULTURAL DEPOSITS, OR LAVA TUBES ARE IDENTIFIED DURING CONSTRUCTION ACTIVITIES, CEASE WORK IN THE IMMEDIATE VICINITY OF THE FIND, PROTECT THE FIND FROM DISTURBANCE, AND CONTACT THE STATE HISTORIC PRESERVATION DIVISION AT (808) 243-1285.

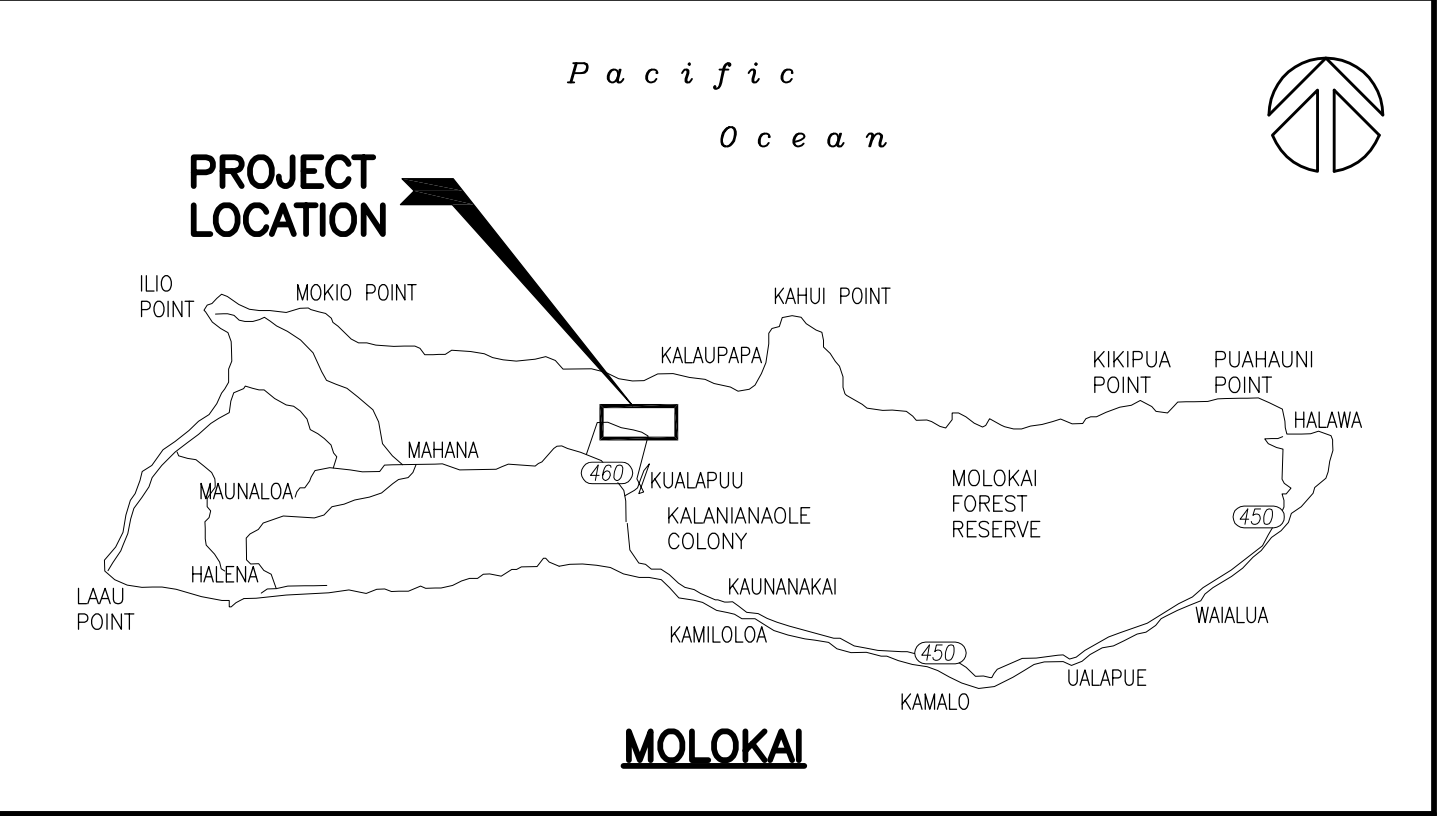
ABBREVIATIONS

|                |                                 |           |   |
|----------------|---------------------------------|-----------|---|
| Z              | ANGLE                           | MAX       | MAXIMUM                                       |
| A              | AREA                            | MECH      | MECHANICAL                                    |
| AC             | ASPHALT CONCRETE OR ACRE        | MEP       | MECHANICAL, ELECTRICAL AND PLUMBING           |
| ACS            | ACRES                           | MB        | MAILBOX OR METER BOX                          |
| A/C            | AIR CONDITIONING                | MH        | MANHOLE                                       |
| APPROX         | APPROXIMATE                     | MIN       | MINIMUM                                       |
| ARCH           | ARCHITECTURAL                   | MON       | MONUMENT                                      |
| ARV            | AIR RELEASE VALVE               | M/N       | METER NUMBER                                  |
| ATT            | AT&T CABLE                      | NO.       | NUMBER  |
| AVE            | AVENUE                          | NON-POT   | NON-POTABLE                                   |
| B              | BASELINE                        | O.C.      | ON CENTER                                     |
| BC             | BOTTOM OF CURB                  | OH, O/H   | OVERHEAD                                      |
| BFP            | BACK FLOW PREVENTER/(ASSEMBLY)  | PAVT      | PAVEMENT                                      |
| BLDG           | BUILDING                        | PC        | POINT OF CURVATURE                            |
| BOT            | BOTTOM                          | PCC       | POINT OF COMPOUND CURVE                       |
| BW             | BOTTOM OF WALL                  | PERF      | PERFORATED                                    |
| C&C            | CITY AND COUNTY OF HONOLULU     | PI        | POINT OF INTERSECTION                         |
| E              | CENTERLINE                      | PVC       | POINT OF INTERSECTION ON VERTICAL CURVE       |
| C              | CHORD                           |           |   |
| CATV           | CABLE TELEVISION                | PM        | PARKING METER                                 |
| CB             | CATCH BASIN                     | POC       | POINT ON CURVE                                |
| CHWS           | CHILL WATER SERVICE             | POT       | POTABLE                                       |
| CHWR           | CHILL WATER RETURN              | PP        | POWER POLE                                    |
| CF             | CURB FACE                       | PRC       | POINT OF REVERSE CURVE                        |
| A.L.           | CHAIN LINK                      | PRV       | PRESSURE REDUCING VALVE                       |
| CMU            | CONCRETE MASONRY UNIT           | PSL       | PEDESTRIAN SIGNAL LIGHT                       |
| CO             | CLEAN OUT                       | PT        | POINT OF TANGENCY                             |
| COL            | COLUMN                          | PVC       | POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVE |
| COMM           | COMMUNICATION                   | PVI       | POINT OF VERTICAL INTERSECTION                |
| CONC           | CONCRETE                        | PVT       | POINT OF VERTICAL TANGENCY                    |
| CONN           | CONNECTION                      | R         | RADIUS  |
| CRM            | CONCRETE RUBBLE MASONRY         | REF, REFL | REFLECTOR                                     |
| CW             | COLD WATER                      | ROW, R/W  | RIGHT-OF-WAY                                  |
| COTG           | CLEAN OUT TO GRADE              | S         | SEWER, SLOPE OR SPREAD                        |
| D              | DIAMETER, DEPTH OR DRAIN        | SC        | SIGNAL CORPS                                  |
| DI             | DRAIN INLET                     | SCH 40    | SCHEDULE 40                                   |
| DIA, Ø         | DIAMETER                        | SCH 80    | SCHEDULE 80                                   |
| DCV            | DETECTOR CHECK VALVE            | SCMH      | SIGNAL CORPS MANHOLE                          |
| DEFL           | DEFLECTION                      | SDMH      | STORM DRAIN MANHOLE                           |
| DET            | DETAIL                          | SF        | SQUARE FOOT, SQUARE FEET                      |
| DMH            | DRAIN MANHOLE                   | SL        | STREET LIGHT                                  |
| D.P.P          | DEPT OF PLANNING AND PERMITTING | SLB       | STREET LIGHT BOX                              |
| DS             | DOWNSPOUT                       | SMH       | SEWER MANHOLE                                 |
| DSP            | DRY STAND PIPE                  | SPR       | SPRINKLER                                     |
| DWGS           | DRAWINGS                        | ST        | STREET  |
| DWY            | DRIVEWAY                        | STA       | STATION                                       |
| E,ELEC         | ELECTRIC                        | STD       | STANDARD                                      |
| ELEV, EL       | ELEVATION                       | STRUCT    | STRUCTURAL                                    |
| EG             | EXISTING GROUND                 | SW, S/W   | SIDEWALK                                      |
| EOP            | EDGE OF PAVEMENT                | TC        | TOP OF CURB                                   |
| EP             | ELECTRICAL POLE                 | TDC       | TOP OF DROPCURB                               |
| EX, EXIST, (E) | EXISTING                        | T         | TANGENT OR TELEPHONE                          |
| FA             | FIRE ALARM                      | TEL       | TELEPHONE                                     |
| FDC            | FIRE DEPT CONNECTION            | TG        | TOP OF GRATE                                  |
| FG             | FINISH GRADE                    | THRU      | THROUGH                                       |
| FH             | FIRE HYDRANT                    | TMK       | TAX MAP KEY                                   |
| FL             | FLOW LINE                       | TP        | TOP OF PIPE                                   |
| FM             | FORCE MAIN                      | TRC       | TOP OF ROLLED CURB                            |
| FS             | FINISH SURFACE                  | TS        | TOP OF STEM                                   |
| FT             | FEET                            | TSL       | TRAFFIC SIGNAL LIGHT                          |
| G              | GAS                             | TSLB      | TRAFFIC SIGNAL LIGHT BOX                      |
| GB             | GRADE BREAK                     | TV        | TOP OF VALVE                                  |
| GI             | GRATED INLET                    | TW        | TOP OF WALL                                   |
| GMH            | GAS MANHOLE                     | TYP       | TYPICAL                                       |
| GND            | GROUND                          | UP        | UTILITY POLE                                  |
| GP             | GUARD POST/GUY POLE/GATE POST   | UP/SL     | UTILITY POLE WITH STREET LIGHT                |
| GV             | GATE VALVE                      | VAR       | VARIES OR VARIABLE                            |
| GW             | GUY WIRE                        | VB        | VALVE BOX                                     |
| H, HT          | HEIGHT                          | W         | WATER   |
| HB             | HOSE BIBB                       | WL        | WATER LINE                                    |
| HECO           | HAWAIIAN ELECTRIC COMPANY       | WM        | WATER METER                                   |
| HDPE           | HIGH DENSITY POLYETHYLENE       | WMB       | WATER METER BOX                               |
| HP             | HIGH POINT                      | WMH       | WATER MANHOLE                                 |
| HW             | HOT WATER                       | WSE       | WATER SERVICE ELEVATION                       |
| ICV            | IRRIGATION CONTROL VALVE        | WV        | WATER VALVE                                   |
| INV            | INVERT                          | X-WALK    | CROSSWALK                                     |
| IRR            | IRRIGATION                      |           |   |
| JTS            | JOINT TRUNKING SYSTEM           |           |   |
| JKT            | JACKET                          |           |   |
| L              | LENGTH OR LENGTH OF CURVE       |           |   |
| LID            | LOW IMPACT DEVELOPMENT          |           |   |
| LP             | LAMP OR LIGHT POLE              |           |   |
| LPT            | LOW POINT                       |           |   |

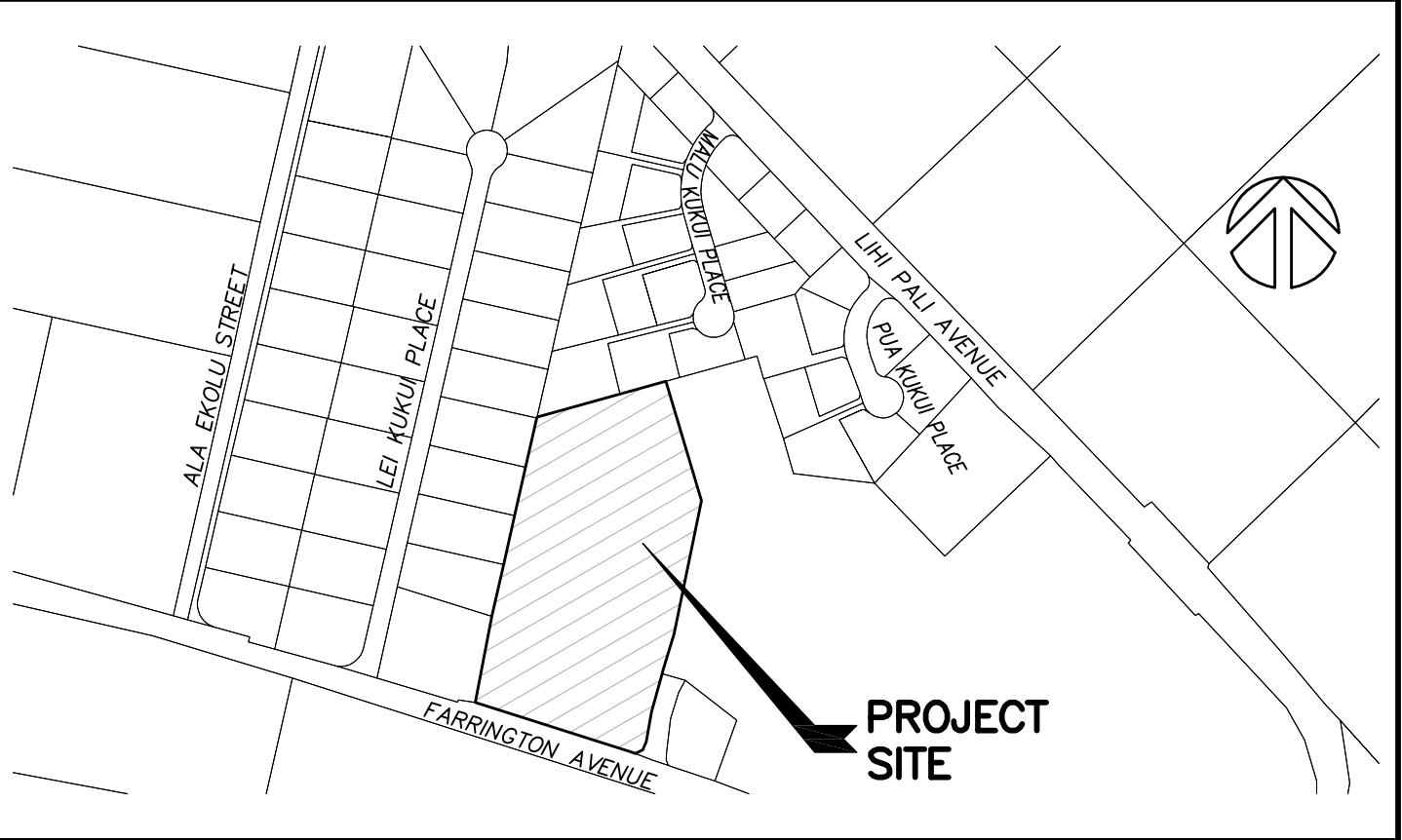
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LOCATION MAP



VICINITY MAP



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DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII

HOOLEHUA VETERAN AND  
HOMESTEAD RESIDENT'S CENTER  
RFP-19-HHL-007

TITLE SHEET

OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

JUNE 2019

DWG. NO.  
C001  
SHEET 27 OF 57

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GRADING NOTES

1. FINISH SPOT ELEVATIONS AND FINISH CONTOURS, AS SHOWN ON PLAN REPRESENTS FINISH GRADING. THE SITE WORK CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE CONTRACTOR THE LOCATION AND DEPTH OF TOPSOIL. THE FINISH SUBGRADE SHALL REFLECT THE FINISH GRADE LESS SPECIFIED TOPSOIL DEPTH.
2. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE MEASURES OF THE BEST MANAGEMENT PRACTICE (BMP) PLAN. ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS CONTAINED IN THE PUBLIC HEALTH REGULATIONS, STATE DEPARTMENT OF HEALTH, ON WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS.
3. THE CONTRACTOR SHALL REMOVE ALL SILT AND DEBRIS RESULTING FROM HIS WORK AND DEPOSITED IN DRAINAGE FACILITIES, ROADWAYS, AND OTHER AREAS. THE COSTS INCURRED FOR ANY NECESSARY REMEDIAL ACTION BY THE STATE DEPARTMENT OF HEALTH SHALL BE PAYABLE BY THE CONTRACTOR.
4. THE CONTRACTOR, AT HIS EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE OF DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
5. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE ENGINEER OF THE LOCATION OF DISPOSAL SITES. THE DISPOSAL SITE MUST ALSO FULFILL REQUIREMENTS OF THE GRADING ORDINANCES.
6. THE CONTRACTOR SHALL NOT DEMOLISH OR CLEAR ANY STRUCTURE, SITE OR VACANT LOT WITHOUT FIRST ASCERTAINING THE PRESENCE OR ABSENCE OF RODENTS WHICH MAY ENDANGER THE PUBLIC HEALTH BY DISPERSAL FROM SUCH PREMISES. SHOULD SUCH INSPECTION REVEAL THE PRESENCE OF SUCH RODENTS, THE CONTRACTOR SHALL ERADICATE SUCH RODENTS BEFORE DEMOLISHING OR CLEARING SAID STRUCTURE, SITE OR VACANT LOT.
7. THE FOLLOWING MEASURES SHALL BE TAKEN TO CONTROL DUST AND EROSION DURING THE SITE DEVELOPMENT PERIOD:
  - A. MINIMIZE TIME OF CONSTRUCTION.
  - B. RETAIN EXISTING GROUND COVER UNTIL THE LATEST DATE TO COMPLETE CONSTRUCTION.
  - C. CONSTRUCT REMAINING PERMANENT EROSION AND DRAINAGE CONTROL FEATURES AS EARLY AS POSSIBLE.
  - D. USE TEMPORARY AREA SPRINKLERS IN NON-ACTIVE CONSTRUCTION AREAS WHEN GROUND COVER IS REMOVED.
  - E. STATION WATER TRUCK ON-SITE DURING CONSTRUCTION PERIOD TO PROVIDE FOR IMMEDIATE SPRINKLING, AS NEEDED, IN ACTIVE CONSTRUCTION AREAS (WEEKENDS AND HOLIDAYS INCLUDED).
  - F. USE TEMPORARY BERMS AND CUT-OFF DITCHES, WHERE NEEDED, FOR CONTROL OF EROSION. IMPLEMENT AND MAINTAIN THE MEASURES OF THE BMP PLAN.
  - G. GRADED AREAS SHALL BE THOROUGHLY WATERED AFTER CONSTRUCTION ACTIVITY HAS CEASED FOR THE DAY AND ON WEEKENDS.
  - H. ALL CUT AND FILL SLOPES SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER GRADING WORK HAS BEEN COMPLETED.

DEPARTMENT OF PUBLIC WORKS NOTES

1. THE CONTRACTOR SHALL ALLOW FOUR WEEKS TO OBTAIN A GRADING PERMIT FROM THE DEVELOPMENT SERVICES ADMINISTRATION PRIOR TO COMMENCEMENT OF ANY CLEARING AND GRUBBING. A SATISFACTORY DRAINAGE AND EROSION CONTROL PLAN SHALL BE SUBMITTED IN THE EVENT THE GRUBBING AREA EXCEEDS ONE ACRE OR THE PROPOSED CUT OR FILL IS GREATER THAN 15 FEET IN HEIGHT. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL BEST MANAGEMENT PRACTICE MEASURES.
2. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, AND OTHER PROTECTIVE DEVICES FOR THE PROTECTION, SAFETY AND CONVENIENCE OF THE PUBLIC AND IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAY, 2009 EDITION WITH REVISIONS NO. 1 AND 2 INCORPORATED, DATED MAY 2012". THE CONTRACTOR SHALL PREPARE AND OBTAIN NECESSARY APPROVALS OF TRAFFIC CONTROL PLANS IF REQUIRED BY THE DEVELOPMENT SERVICES ADMINISTRATION.
3. STANDARD DETAIL DRAWINGS OF THE 2005 HAWAII STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE SEPTEMBER 1984 "STANDARD DETAILS" FOR PUBLIC WORKS CONSTRUCTION OF THE DEPARTMENT OF PUBLIC WORKS, AS AMENDED, SHALL BE INCLUDED AS PART OF THE CONSTRUCTION PLANS.
4. ALL CONSTRUCTION WORK SHALL STRICTLY CONFORM TO THE APPLICABLE SECTIONS OF THE 2005 HAWAII STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE SEPTEMBER 1984 "STANDARD DETAILS" FOR PUBLIC WORKS CONSTRUCTION OF THE DEPARTMENT OF PUBLIC WORKS, AS AMENDED.
5. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH AND COUNTY GRADING ORDINANCE.
6. THE CONTRACTOR SHALL REMOVE ALL SILT AND DEBRIS RESULTING FROM HIS WORK AND DEPOSITED IN DRAINAGE FACILITIES, ROADWAYS AND OTHER AREAS. THE COSTS INCURRED FOR ANY NECESSARY REMEDIAL ACTION ORDERED BY THE DIRECTOR OF PUBLIC WORKS SHALL BE PAID BY THE CONTRACTOR.

EROSION CONTROL NOTES

1. DURING CONSTRUCTION, PREVENTIVE MEASURES SHALL BE USED TO CONTROL FORESEEABLE DUST, EROSION OR SEDIMENTATION PROBLEMS WHICH MAY ARISE AS WORK PROGRESSES.
2. FUGITIVE DUST AND SOLID WASTE DISPOSAL DURING GRUBBING AND GRADING ACTIVITIES SHALL MEET THE REQUIREMENTS OF STATE OF HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 60, AIR POLLUTION CONTROL AND CHAPTER 56, SOLID WASTE MANAGEMENT CONTROL.
3. ALL AREAS WHICH ARE AT FINAL GRADE SHALL BE IMMEDIATELY HYDOMULCHED AND SEEDED WITH NATIVE AKIAKI GRASS AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET OR PERMANENTLY LANDSCAPED.
4. REGRASS ALL EXPOSED AREAS.

EFFECTIVE AUGUST 10, 1998, THE MAUI COUNTY CODE GRADING ORDINANCE HAS BEEN REVISED. ALL GROUND DISTURBING ACTIVITIES IN MAUI COUNTY WILL NOW BE MORE CLOSELY MONITORED. ALL GRADING, GRUBBING, STOCKPILING, EXCAVATIONS ETC., SHALL PROVIDE MEASURES TO THE MAXIMUM EXTENT POSSIBLE TO PREVENT DAMAGE TO THE ENVIRONMENT BY CONTAINING POLLUTANTS, INCLUDING SEDIMENT, DUST, AND OTHER CONTAMINANTS FROM DISCHARGING OFF A CONSTRUCTION SITE.

THEREFORE, CONTRACTOR SHALL CONTROL DUST AND OTHER SEDIMENT FROM THE PROJECT SITE, EVEN WHEN A GRADING PERMIT IS NOT REQUIRED.

A GRADING PERMIT WILL BE REQUIRED IF ANY OF THE FOLLOWING APPLY TO THE PROPOSED CONSTRUCTION:

- A. THE GENERAL DRAINAGE PATTERNS ARE TO BE ALTERED.
- B. THE EXCAVATION, FILL OR STOCKPILING IS MORE THAN 100 CY OF MATERIAL (50 CY IN SPECIAL MANAGEMENT AREA).
- C. THE EXISTING GROUND ELEVATION IS TO BE CHANGED BY MORE THAN 4 FEET AT ANY LOCATION (2 FEET IN SPECIAL MANAGEMENT AREAS).
- D. AN AREA LARGER THAN 1 ACRE IS TO BE GRUBBED (CLEARED).

A GRADING PERMIT WILL NOT BE REQUIRED FOR EXCAVATION AND BACKFILL FOR STRUCTURES THAT HAVE BEEN ISSUED A BUILDING PERMIT OR FOR CESSPOOLS AND SEPTIC TANKS AUTHORIZED BY THE STATE DEPARTMENT OF HEALTH.

FOR MORE DETAILED INFORMATION, REFER TO THE MAUI COUNTY CODE CHAPTER 20.08, "SOIL EROSION AND SEDIMENT CONTROL".

BEST MANAGEMENT PRACTICES NOTES

1. CONSTRUCT A TEMPORARY STABILIZED CONSTRUCTION INGRESS/EGRESS.
2. SEDIMENT CONTROL:

CAPTURE SEDIMENT TRANSPORTED IN RUNOFF TO MINIMIZE THE SEDIMENT FROM LEAVING THE SITE WITH DUST SCREEN W/ SILT FENCE AND FROM ENTERING DRAINAGE SYSTEMS WITH AGGREGATE POUCHES AT EXISTING CATCH BASINS AND GEOTEXTILE FABRIC DRAIN INLETS.
3. EROSION CONTROLS:

STABILIZE ALL DISTURBED AREAS WITH EROSION CONTROL MEASURES SUCH AS VEGETATION, A.C. PAVEMENT, CONCRETE CURBS, GUTTER AND SIDEWALKS.
4. DRAINAGE:

SITE RUNOFF SHALL BE TREATED PRIOR TO LEAVING THE PROJECT SITE BY DUST SCREEN WITH SILT FENCE.
5. DUST CONTROL:

CONTROL DUST EMISSIONS TO THE MAXIMUM EXTENT PRACTICABLE THROUGH BMPs SUCH AS WATER SPRINKLING, DUST FENCES, LIMITING AREA OF DISTURBANCE AND TIMELY GRASSING OF FINISHED AREAS.
6. MATERIAL AND WASTE MANAGEMENT:

PROPERLY STORE TOXIC MATERIAL AND PREVENT THE DISCHARGE OF POLLUTANTS ASSOCIATED WITH CONSTRUCTION MATERIALS.
7. TIMING OF CONTROL MEASURE IMPLEMENTATION:

TIME OF CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION CONTROL REPORT. DISTURBED AREAS OF CONSTRUCTION SITES THAT WILL NOT BE REDISTURBED FOR TWENTY-ONE DAYS OR MORE SHALL BE STABILIZED (GRASSED) BY NO LATER THAN THE FOURTEENTH DAY AFTER THE LAST DISTURBANCE.
8. MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS AS REFLECTED ON THE EROSION CONTROL PLANS SHALL BE IN PLACE BEFORE ANY EARTH MOVING PHASE OF GRADING IS INITIATED, WITH THE EXCEPTION OF INLET PROTECTION AT NEW DRAIN INLETS.
9. ALL EROSION CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY, WEEKLY IN DRY PERIODS, AND WITHIN 24-HOURS AFTER ANY ANY RAINFALL OF 0.5 INCHES OR GREATER. DURING PROLONGED RAINFALL, DAILY CHECKING WILL BE NECESSARY. THE PERMITTEE SHALL MAINTAIN RECORDS OF ALL CHECKS AND REPAIRS.
10. A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AT THIS PROJECT SITE.
11. EROSION CONTROL MEASURES ARE TO REMAIN AND BE MAINTAINED UNTIL PERMANENT STABILIZATION OF THE SITE.

WASTEWATER NOTES

1. ALL WASTEWATER LINES AND APPURTENANCES SHALL CONFORM TO THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, DATED SEPTEMBER 1984, OF THE DEPARTMENT OF PUBLIC WORKS, COUNTY OF MAUI.
2. ALL SEWER LINE AND APPURTENANCES SHALL FOLLOW THE DESIGN STANDARDS OF THE WASTEWATER RECLAMATION DIVISION (WWRD), CITY AND COUNTY OF HONOLULU, VOLUMES 1 & 2, DATED JULY 1993 AND JULY 1984 RESPECTIVELY, UNLESS OTHERWISE NOTED.
3. ALL WASTEWATER LINES AND APPURTENANCES INSTALLATIONS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION DATED SEPTEMBER 1986. IF ANY CONFLICTS ARISE BETWEEN THE STANDARD DETAILS, DESIGN STANDARDS AND THE STANDARD SPECIFICATIONS, THE STRICTEST STANDARD SHALL APPLY, UNLESS APPROVED OTHERWISE.
4. BEFORE CONSTRUCTION COMMENCES, THE CONTRACTOR SHALL SCHEDULE AND DOCUMENT A PRE-CONSTRUCTION MEETING WITH ALL AGENCIES HAVING UTILITIES AFFECTED BY THE WORK.
5. CONTRACTOR MUST HAVE A SITE SPECIFIC SPILL PREVENTION PLAN (SSSPP) APPROVED BY WWRD PRIOR TO SEWER LINE CONSTRUCTION AND/OR SEWER LATERAL CONNECTION TO EXISTING FACILITIES, OR ANY WORK WITHIN FIVE (5) FEET OF WASTEWATER SYSTEM IMPROVEMENTS.
6. THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, WASTEWATER RECLAMATION DIVISION, HAS THE RIGHT TO STOP CONSTRUCTION, SHOULD ANY WORK BE FOUND CONTRARY TO THE APPROVED PLANS AND SPECIFICATIONS, OR DETRIMENTAL TO THE PUBLIC INTEREST.
7. ALL EXISTING WASTEWATER LINES, WHETHER OR NOT SHOWN ON THE PLANS, IF DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED BY THE CONTRACTOR AND THE CONTRACTOR SHALL PAY ALL EXPENSES.
8. THE CONTRACTOR SHALL NOTIFY THE WASTEWATER RECLAMATION DIVISION ONE (1) WEEK PRIOR TO CONNECTION TO ANY EXISTING WASTEWATER LINES.
9. SHOULD THE CONTRACTOR EXCAVATE BEYOND THE TRENCH PAY-WIDTH, AS SPECIFIED IN THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, DATED SEPTEMBER 1984, AND SUCH ACTION RESULTS IN A GREATER LOAD TO THE PIPE, THE CONTRACTOR SHALL PROVIDE, AT THE CONTRACTOR'S EXPENSE, A HIGHER CLASS OF BEDDING MATERIAL THAT WILL WITHSTAND THE ADDED LOAD.
10. WASTEWATER LATERALS SHALL BE SIX (6) INCHES IN DIAMETER AT A MINIMUM OF 2% SLOPE, UNLESS APPROVED OTHERWISE.
11. AN ADVANCE RISER CONNECTION SHALL BE INSTALLED AT EACH NEW WASTEWATER LATERAL.
12. WHERE THE CLEARANCE BETWEEN A WASTEWATER LINE AND A NEW OR EXISTING UTILITY LINE IS EIGHTEEN (18) INCHES OR LESS, THE WASTEWATER LINE SHALL BE CONCRETE JACKETED IN ACCORDANCE WITH THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, DATED SEPTEMBER 1984.
13. WHEN THE WASTEWATER MAINS ARE OF A DIFFERENT MATERIAL THAN THE LATERALS, THE CONTRACTOR SHALL INSTALL APPROVED ADAPTERS.
14. ALL BACKFILL FOR WASTEWATER TRENCHES SHALL BE COMPACTED IN ONE (1) FOOT LIFTS TO A MINIMUM OF 95% OF ITS MAXIMUM DENSITY.
15. WHERE CONSTRUCTION IS TO BE DONE IN PHASES OR INCREMENTS, EACH PHASE OR INCREMENT SHALL BE APPROVED BY WASTEWATER RECLAMATION DIVISION BEFORE THE NEXT PHASE OR INCREMENT IS STARTED.
16. ALL WASTEWATER MAINS SHALL PASS A MANDREL TEST AS A CONDITION OF ACCEPTANCE 30 DAYS AFTER COMPLETION AND BACKFILL. THE MANDREL DIAMETER SHALL BE 95% OR MORE OF THE INSIDE DIAMETER OF THE PIPE BEING TESTED.
17. "AS-BUILT" DRAWINGS SHALL BE SUBMITTED AS A CONDITION FOR THE FINAL ACCEPTANCE OF THE PROJECT.
18. PRIOR TO INSPECTION BY CLOSED CIRCUIT TELEVISION (CCTV), ALL WASTEWATER LINES INSTALLED, INCLUDING LATERALS, SHALL BE FLUSHED WITH WATER AND ANY ACCUMULATED CONSTRUCTION DEBRIS AND OTHER FOREIGN MATERIALS SHALL BE REMOVED.
19. ALL MAIN WASTEWATER LINES WHICH WILL BE DEDICATED TO THE COUNTY OF MAUI SHALL BE INSPECTED BY CCTV IN STRICT ACCORDANCE WITH DEPARTMENT OF PUBLIC WORKS CCTV POLICY, EFFECTIVE DATE JULY 15, 2001. FINAL ACCEPTANCE OF THE SYSTEM SHALL BE CONTINGENT UPON THE PASSING OF ALL REQUIREMENTS OF THIS POLICY. CCTV RESULTS SHOULD BE SUBMITTED ON DVD PER MEMO DATED OCTOBER 22, 2015. SHOULD ANY OF THE SEWER LATERALS FAIL TO PASS A VISUAL INSPECTION, THEN A CCTV OF ALL LATERALS WILL ALSO BE REQUIRED.
20. ANY CONNECTION MADE UNDER THE WATER TABLE WILL REQUIRE CCTV AT HIGH TIDE TO DETERMINE WATER TIGHTNESS, IN ACCORDANCE WITH DEPARTMENT OF PUBLIC WORKS CCTV POLICY, EFFECTIVE DATE JULY 15, 2001. FINAL ACCEPTANCE OF THE SYSTEM SHALL BE CONTINGENT UPON THE PASSING OF ALL REQUIREMENTS OF THIS POLICY.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE GPS COORDINATES OF ALL BURIED AND CONCEALED WORK TO BE DEDICATED TO THE COUNTY, AND PROVIDE THE GPS DATA TO THE COUNTY PRIOR TO THE PROJECT'S FINAL ACCEPTANCE. AN ACCURATE GPS POINT EVERY (50) FEET ALONG THE MAIN LINE, AT UTILITY CROSSINGS, AND AT ANY INSTALLED APPURTENANCE (INCLUDING BUT NOT LIMITED TO MANHOLES, BENDS, CONCRETE JACKET, CLEANOUT, PIPE DEVIATIONS, CHANGE IN PIPE SIZE, CRITICAL JOINTS, ARV, ETC.). GPS DATA SHALL BE IN NAD 1983 STATE PLAN HAWAII ZONE 2 FIPS 5102 GRID, AND SHALL BE ACCURATE TO WITHIN ONE (1) FOOT. ACQUIRED GPS SURVEY DATA SHALL BE QUALITY CHECKED BY THE CONTRACTOR PRIOR TO SUBMISSION IN SHAPEFILE (.SHP) FORMAT, FOR COMPATIBILITY WITH MAINSTREAM GIS SOFTWARE SUCH AS ESRI ARCMAP.

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| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                  |      |             |         |           |
| HOOLEHUA VETERAN AND<br>HOMESTEAD RESIDENT’S CENTER<br>RFP-19-HHL-007 |      |             |         |           |
| NOTES 1   |      |             |         |           |
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WATER SYSTEM

1.

THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF WATER SUPPLY (DWS), IN WRITING, ONE (1) WEEK PRIOR TO COMMENCEMENT OF WORK.
2.

ALL MATERIALS USED AND METHOD OF CONSTRUCTION OF WATER SYSTEM FACILITIES SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF DWS STANDARDS. CONTRACTOR SHALL OBTAIN THE LATEST REVISIONS OF THE DWS STANDARD DETAILS BEFORE COMMENCING CONSTRUCTION.
3.

ALL WATER SYSTEM WORK SHALL BE PERFORMED BY CONTRACTORS POSSESSING VALID STATE OF HAWAII CONTRACTOR'S LICENSES, REGARDLESS OF THE VALUE OF THE WORK.
4.

THE EXACT DEPTH AND LOCATION OF EXISTING WATERLINES, SERVICE LATERALS AND OTHER UTILITIES ARE NOT KNOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE SAME PRIOR TO TRENCHING FOR THE NEW WATERLINE. THE COST OF LOWERING, RELOCATING OR ADJUSTING EXISTING WATERLINES, SERVICE LATERALS AND OTHER UTILITIES SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE NEW WATERLINE, UNLESS NOTED OTHERWISE, AND WILL NOT BE PAID FOR SEPARATELY.
5.

CONCRETE FOR REACTION BLOCKS AND ANCHOR BLOCKS SHALL BE DWS CLASS 2500.
6.

THE MAXIMUM DISTANCE BETWEEN VALVE NUT AND TOP OF VALVE MANHOLE COVER SHALL BE THREE (3) FEET.
7.

THE CONTRACTOR SHALL SUBMIT A MATERIALS LIST TO DWS FOR APPROVAL PRIOR TO CONSTRUCTION.
8.

CONNECTION TO DWS SYSTEM:

A.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL NECESSARY FITTINGS AND OTHER MATERIALS AND EQUIPMENT REQUIRED FOR THE HOOK-UP. HE SHALL VERIFY THE EXACT LOCATION, DEPTH, TYPE, AND CONDITION OF THE EXISTING LINE BEFORE ORDERING MATERIALS FOR THE HOOK-UP. HE SHALL, HOWEVER, CHECK WITH DWS BEFORE EXCAVATING FOR VERIFICATION PURPOSES.

B.

WHENEVER FEASIBLE, MECHANICAL JOINT FITTINGS SHALL BE USED FOR BURIED APPLICATIONS, AND FLANGED JOINT FITTINGS SHALL BE USED FOR EXPOSED APPLICATIONS.

C.

AUTHORIZED DWS PERSONNEL MAY BE REQUIRED TO MAKE THE FINAL CONNECTION TO THE EXISTING LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED BY DWS FOR SAID WORK, INCLUDING THE COST OF PRESSURE TESTING AND DISINFECTION.

D.

IF THE DWS PROVIDES ONLY INSPECTION AND SUPERVISING OPERATORS, AND DOES NOT PROVIDE PERSONNEL FOR THE ACTUAL CONNECTION, THE CONTRACTOR SHALL PROVIDE ALL PIPEFITTERS AND LABORS TO MAKE THE CONNECTION.

E.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR FOR TRENCH EXCAVATION, BACKFILLING, CLEANING AND CHLORINATION, PAVING, AND OTHER WORK NECESSARY TO COMPLETE THE HOOK-UP, AS DIRECTED BY AND TO THE SATISFACTION OF DWS.
9.

MINIMUM COVER OVER WATER MAIN, 6" DIAMETER OR LARGER, SHALL BE 3'-0". MINIMUM COVER FOR 4" DIAMETER SHALL BE 2'-6". MINIMUM COVER FOR DIAMETERS LESS THAN 4" SHALL BE 1'-6".
10.

BOLTS FOR EXPOSED FLANGED DUCTILE IRON PIPE JOINTS SHALL BE EITHER SILICON BRONZE BOLTS AND NUTS OR 316 STAINLESS STEEL BOLTING WITH THE HEAVY DUTY STAINLESS STEEL NUTS (ONLY) FURNISHED WITH TRIPAC 2000 BLUE COATING SYSTEM. ANTI-SEIZE SHALL NOT BE USED. T-BOLTS FOR DUCTILE IRON MECHANICAL JOINT (MJ) PIPE AND FITTING CONNECTIONS IN UNDERGROUND SITUATIONS SHALL BE ONE OF THE FOLLOWING SYSTEMS:

A.

316 STAINLESS STEEL T-BOLTS WITH THE HEAVY DUTY STAINLESS STEEL NUTS (ONLY) FURNISHED WITH TRIPAC 2000 BLUE COATING SYSTEM. ANTI-SEIZE SHALL NOT BE USED.

B.

COR-TEN T-BOLTS AND NUTS WITH HIGH GRADE ZINC SACRIFICIAL ANODES, EQUIVALENT TO "DURATRON" SACRIFICIAL "SAC-NUT" MODULES, INSTALLED ON THE NUTS FOR ALL STANDARD COR-TEN T-BOLTS.

C.

COR-TEN T-BOLTS AND NUTS BOTH FACTORY COATED WITH TRIPAC 2000 BLUE COATING SYSTEM BY "TRIPAC FASTENERS".
11.

ALL BURIED METALS SHALL BE WRAPPED WITH POLY-WRAP. FOR ALL BURIED INSTALLATIONS OF DUCTILE IRON PIPE AND FITTINGS, POLY-WRAP IS REQUIRED EXCEPT WITHIN CONCRETE JACKETS.
12.

LUBRICATE HYDRANT NOZZLE THREADS WITH NON-TOXIC GREASE.
13.

THE CONTRACTOR SHALL PAINT AND NUMBER THE FIRE HYDRANT. NUMBERING TO BE FURNISHED BY DWS.
14.

WATER MAINS AND APPURTENANCES SHALL BE SUBJECT TO HYDROSTATIC TESTING IN ACCORDANCE WITH THE LATEST REVISION OF AWWA C600, UNDER THE "HYDROSTATIC TESTING" SECTION, TO A PRESSURE OF AT LEAST 1.5 TIMES THE WORKING PRESSURE. UNLESS OTHERWISE STATED IN THE CONSTRUCTION DOCUMENTS OR LIMITED BY THE PRESSURE RATING OF EQUIPMENT, THE PRESSURE TEST AND LEAKAGE TEST SHALL BE PERFORMED AT 225 POUNDS PER SQUARE INCH PRESSURE.
15.

THE DEVELOPER SHALL SUBMIT A COST LIST ALONG WITH AN AFFIDAVIT FOR THE WATER SYSTEM PRIOR TO ACCEPTANCE.
16.

THE CONTRACTOR SHALL SUBMIT TWO SETS OF RECORD DRAWINGS VIA A CONSULTANT PRIOR TO ACCEPTANCE OF THE WATER SYSTEM. AN ELECTRONIC IMAGE FILE IN TIFF FORMAT SHALL BE PROVIDED TO THE DWS FOR ALL PROJECTS.

CHLORINATION OF WATER SYSTEM PIPELINES

1.

WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651. ALL PROCEDURES AND MATERIALS (LIQUID CHLORINE OR CALCIUM HYPOCHLORITE) USED FOR THE CHLORINATION OF THE PROJECT SHALL CONFORM TO AWWA REQUIREMENTS.
2.

PRIOR TO CHLORINATION, THE PROJECT PIPELINES SHALL BE THOROUGHLY CLEANED. CLEANING OF LINES 8" AND LARGER SHALL BE BY PIGGING USING FOAM PIGS. SMALLER LINES CAN BE FLUSHED IN ACCORDANCE WITH AWWA REQUIREMENTS IF ADEQUATE WATER SUPPLY IS PROVIDED, OTHERWISE BY PIGGING. THE CONTRACTOR SHALL SUBMIT HIS PLAN FOR PIPELINE CLEANING, INCLUDING FITTING REQUIREMENTS FOR PIGGING, FOR APPROVAL PRIOR TO PROCEEDING.
3.

THE INTERIOR SURFACES OF THE PROJECT SHALL BE EXPOSED TO THE CHLORINATING SOLUTION FOR A MINIMUM OF 24 HOURS AND THE CHLORINE RESIDUAL SHALL NOT BE LESS THAN 10 PPM AFTER SUCH TIME.
4.

SHOULD CALCIUM HYPOCHLORITE BE USED, NO SOLID AND/OR UNDISSOLVED PORTION OF THE COMPOUND SHALL BE INTRODUCED INTO ANY SECTION OF THE PROJECT TO BE CHLORINATED.
5.

AT THE END OF THE 24-HOUR DISINFECTION PERIOD, REPRESENTATIVE SAMPLES SHALL BE TAKEN AND ANALYZED TO ASSURE A CHLORINE RESIDUAL OF AT LEAST 10 PPM. MEASUREMENTS FOR CHLORINE RESIDUAL TESTS SHALL BE BY A TRAINED, QUALIFIED TESTER APPROVED BY THE DIRECTOR.
6.

SHOULD THE RESULTS INDICATE ADEQUATE CHLORINATION, THE PROJECT SHALL BE THOROUGHLY FLUSHED AND FILLED WITH POTABLE WATER FROM THE EXISTING POTABLE WATER SYSTEM AND AGAIN TESTED FOR CHLORINE RESIDUAL. THE FLUSHING SHALL BE CONSIDERED ADEQUATE IF THE TEST RESULTS INDICATE THAT THE WATER IN THE PROJECT HAS A COMPARABLE CHLORINE RESIDUAL AS THE WATER IN THE EXISTING SYSTEM.
7.

FOLLOWING THE ACCEPTABLE FLUSHING OF THE HIGH CONCENTRATION CHLORINE SOLUTION, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES SHALL BE TAKEN AT LEAST 24 HOURS APART FROM REPRESENTATIVE POINTS IN THE PROJECT AND SUBJECTED TO MICROBIOLOGICAL TESTS PERFORMED BY A CERTIFIED LABORATORY APPROVED BY THE DEPARTMENT OF HEALTH. AT LEAST ONE SET OF SAMPLES SHALL BE COLLECTED AND TESTED FROM EVERY 1,200 FEET OF THE NEW WATER MAIN, PLUS ONE SET FROM THE END OF THE LINE AND AT LEAST ONE SET FROM EACH BRANCH. POSITIVE RESULTS WILL NOT BE ACCEPTABLE AND THE ENTIRE CHLORINATION PROCESS WILL BE REPEATED.
8.

ANALYSIS FOR RESIDUAL CHLORINE SHALL BE MADE IN ACCORDANCE WITH "STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER", AMERICAN PUBLIC HEALTH ASSOCIATION, CURRENT EDITION.
9.

MICROBIOLOGICAL TESTS SHALL BE MADE IN ACCORDANCE WITH "STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER", AMERICAN PUBLIC HEALTH ASSOCIATION, CURRENT EDITION.
10.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ALL OF THE FOREGOING.

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DESCRIPTION

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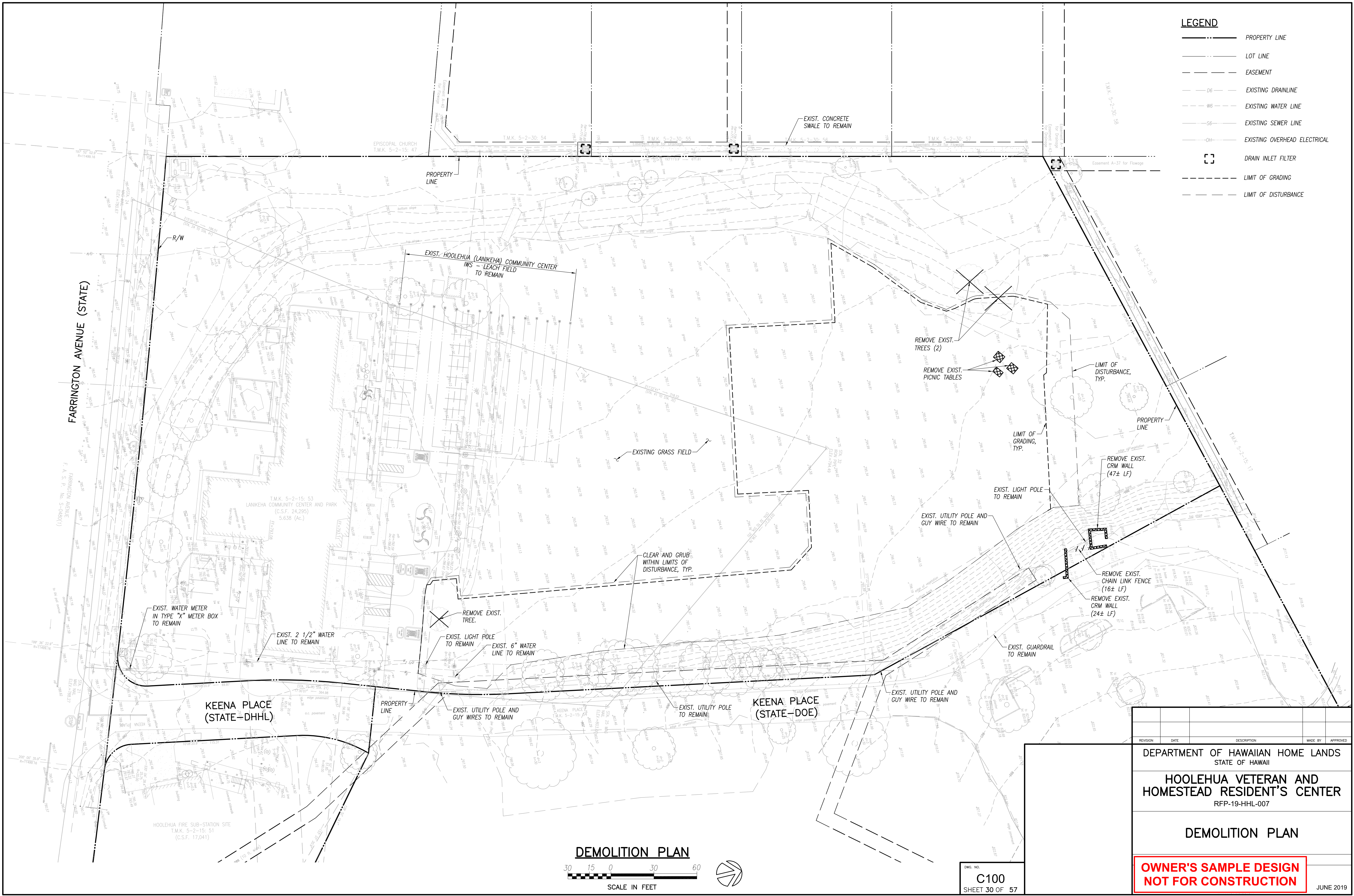
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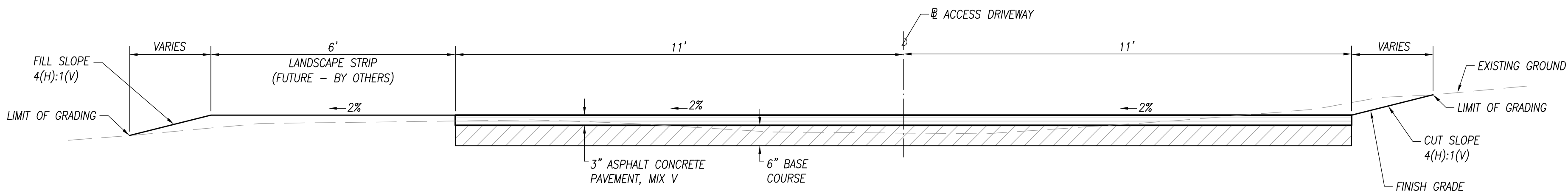
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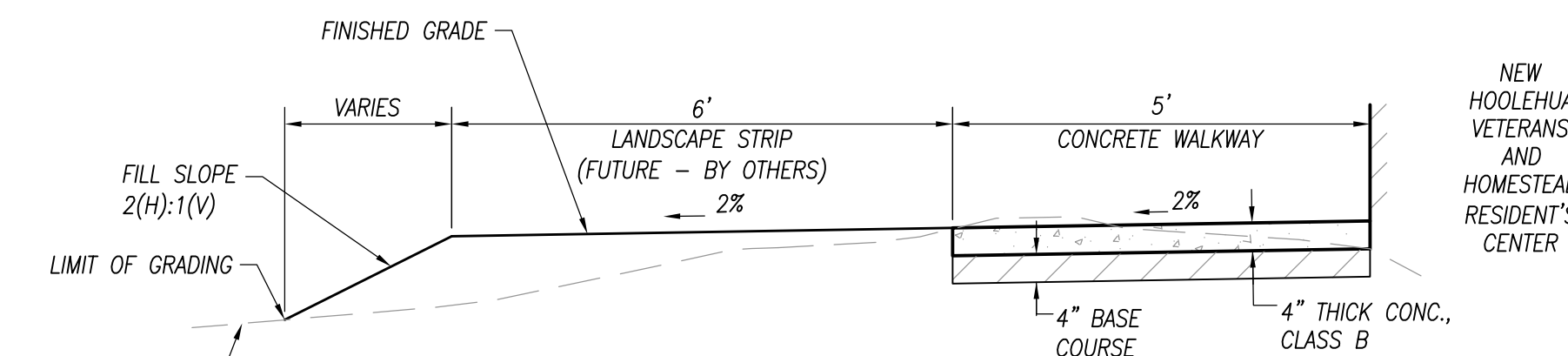
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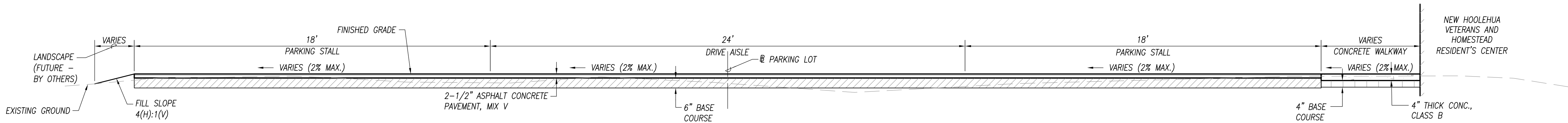




**TYPICAL SECTION A-A**  
NOT TO SCALE



**TYPICAL SECTION B-B**  
NOT TO SCALE



**TYPICAL SECTION C-C**  
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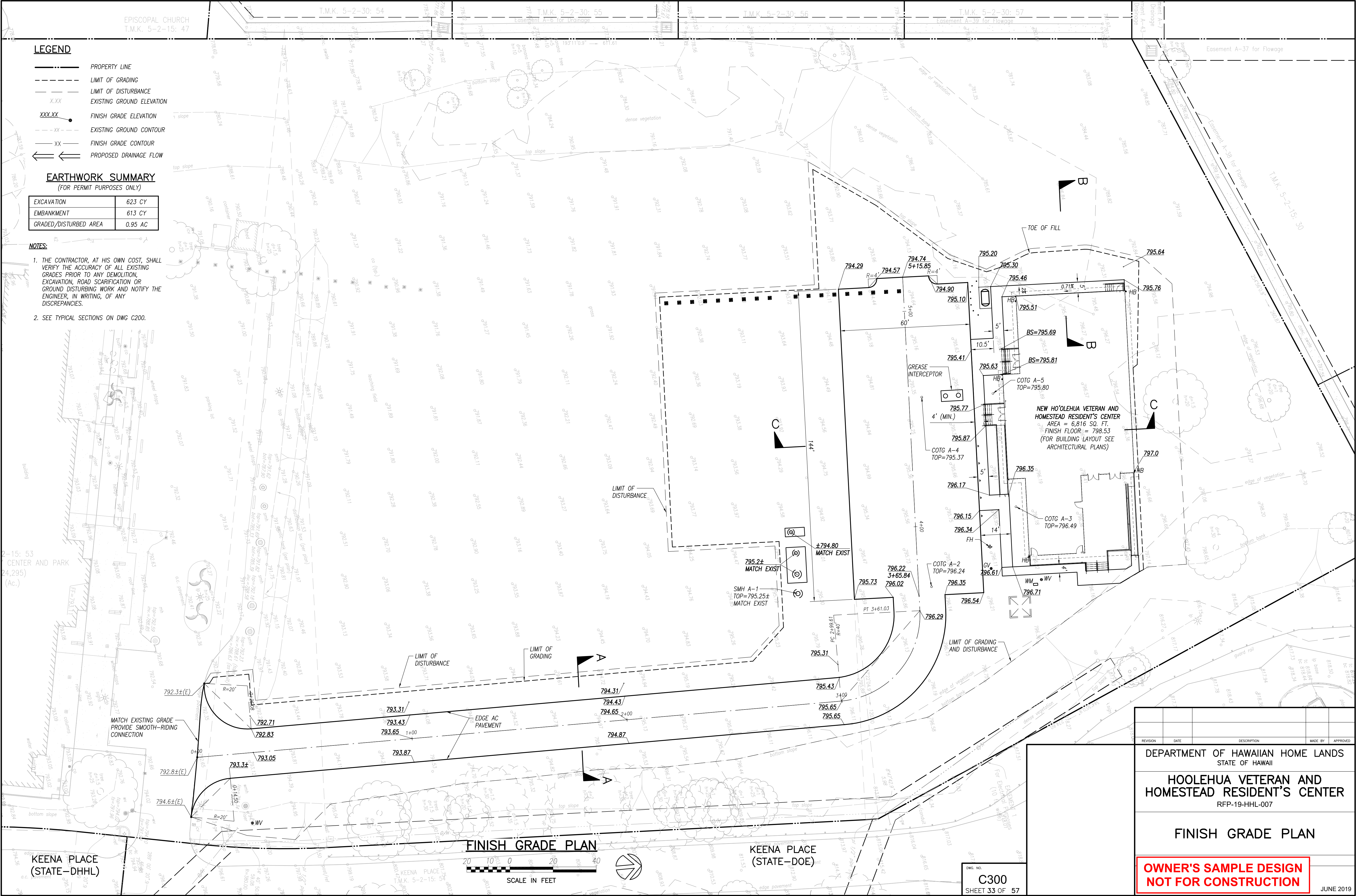
NOTES:  
1. FOR ADDITIONAL DETAILS, SEE DWG C201 AND C300

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**C200**  
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| HOOLEHUA VETERAN AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |  |
| TYPICAL SECTIONS  |      |             |         |          |  |
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LEGEND

- PROPERTY LINE
- LIMIT OF GRADING
- LIMIT OF DISTURBANCE
- X.XX EXISTING GROUND ELEVATION
- XXX.XX FINISH GRADE ELEVATION
- XX EXISTING GROUND CONTOUR
- XX FINISH GRADE CONTOUR
- PROPOSED DRAINAGE FLOW

EARTHWORK SUMMARY  
(FOR PERMIT PURPOSES ONLY)

|                       |         |
|-----------------------|---------|
| EXCAVATION            | 623 CY  |
| EMBANKMENT            | 613 CY  |
| GRADED/DISTURBED AREA | 0.95 AC |

NOTES:

- THE CONTRACTOR, AT HIS OWN COST, SHALL VERIFY THE ACCURACY OF ALL EXISTING GRADES PRIOR TO ANY DEMOLITION, EXCAVATION, ROAD SCARIFICATION OR GROUND DISTURBING WORK AND NOTIFY THE ENGINEER, IN WRITING, OF ANY DISCREPANCIES.
- SEE TYPICAL SECTIONS ON DWG C200.

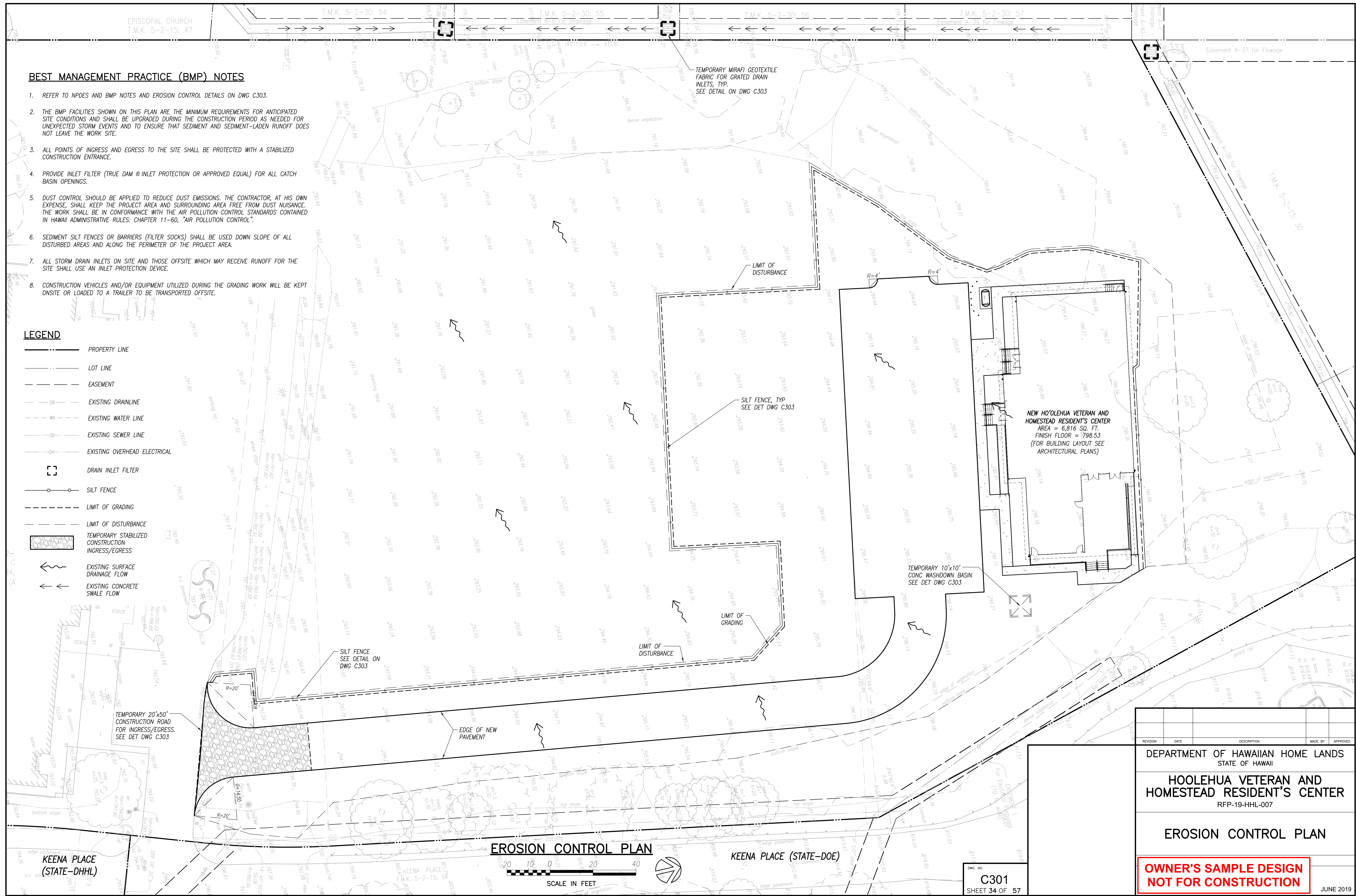
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FINISH GRADE PLAN

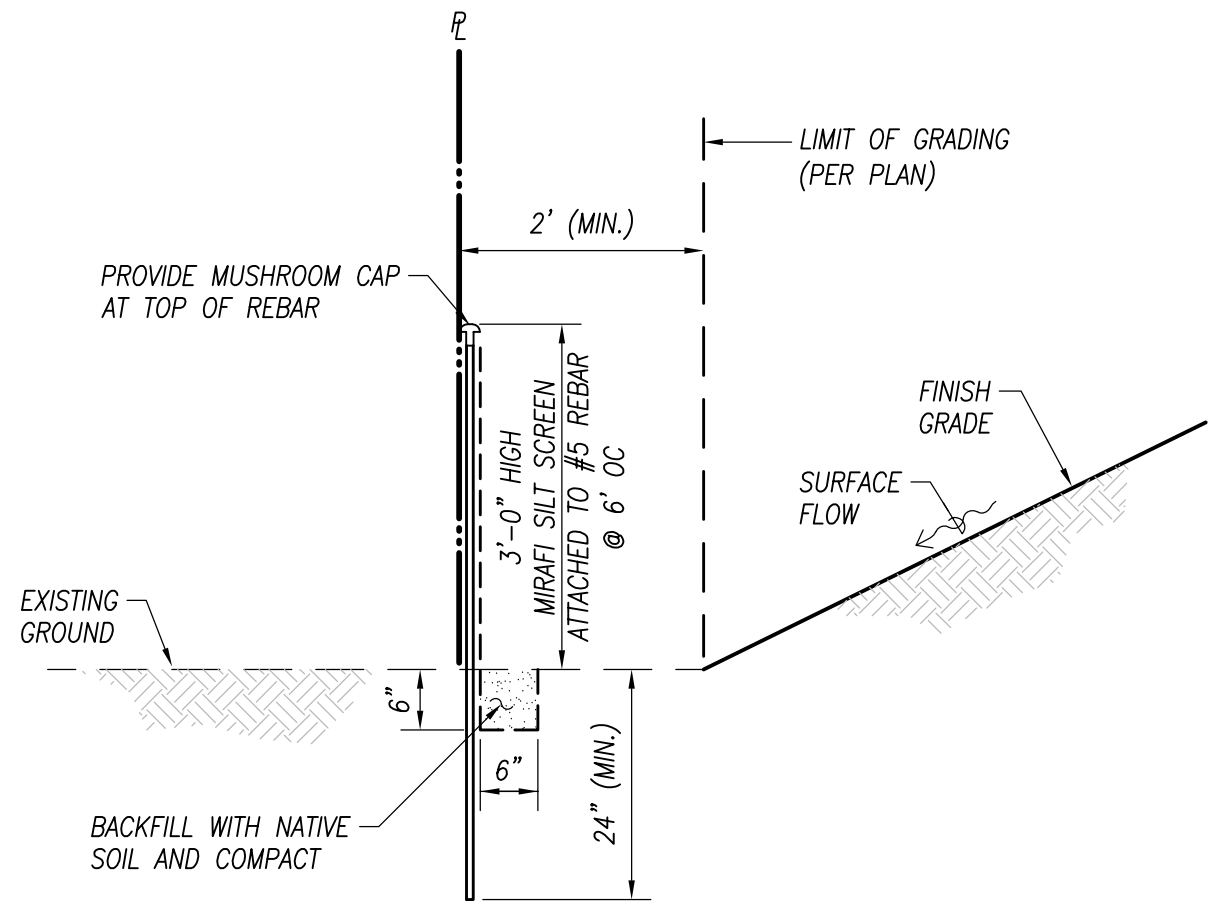
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| EROSION CONTROL PLAN  |      |             |         |          |
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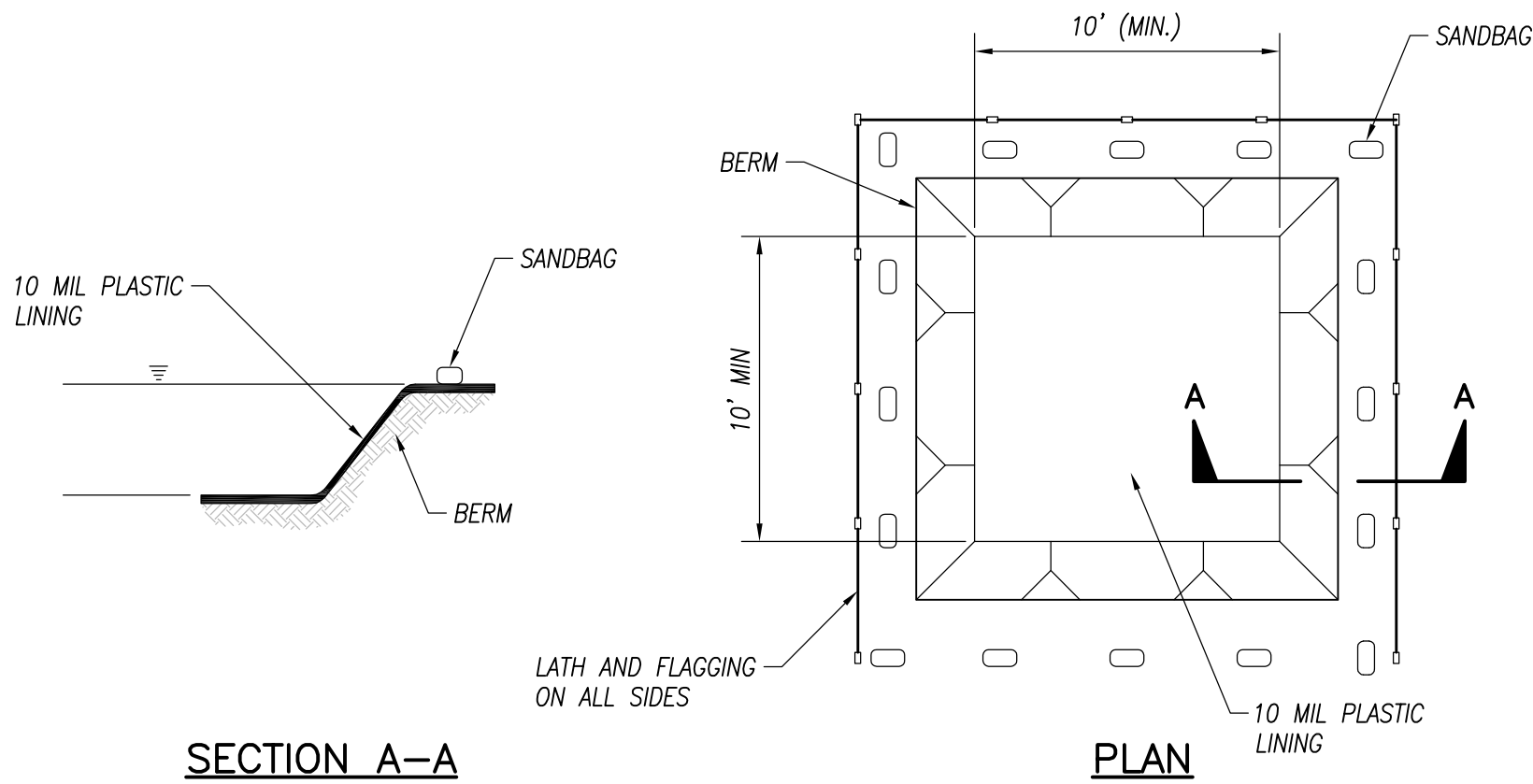
FILE: 217050-01\_35\_C302 EROSION CONTROL DETAILS\_2019-03-08.dwg  
DATE REV: 5/29/2019



**SILT FENCE NOTES:**

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
2. A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2-INCHES AND SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE.
3. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
4. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
5. FILTER FABRIC SHALL BE MIRAFIT SILT FENCE, AMOCO SILT STOP #1380 OR APPROVED EQUAL.
6. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE FENCE STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE SILT FENCE.

**SILT FENCE**  
NOT TO SCALE



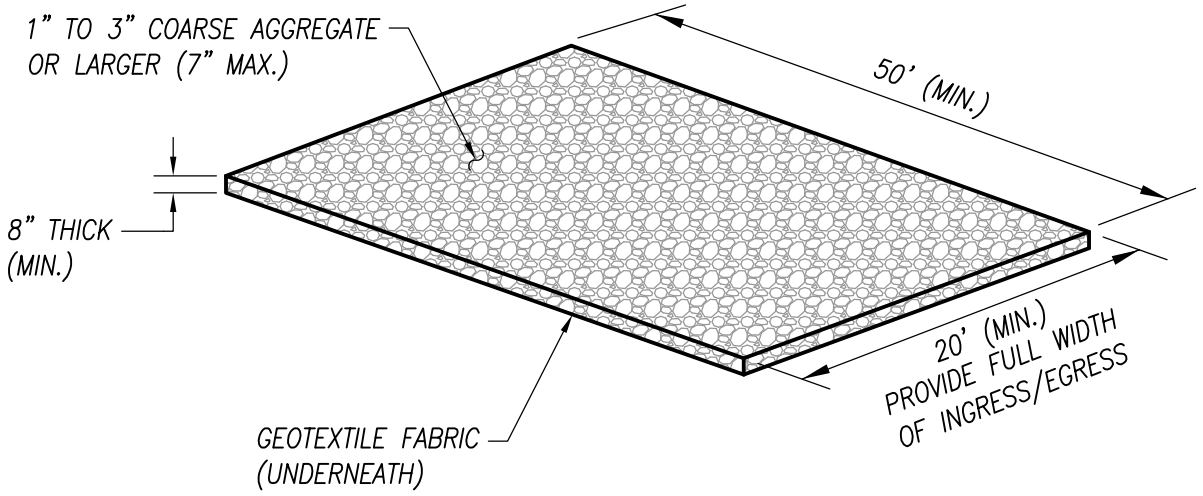
**SECTION A-A**

**PLAN**

**NOTES:**

1. ACTUAL LAYOUT DETERMINED IN FIELD
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30-FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY

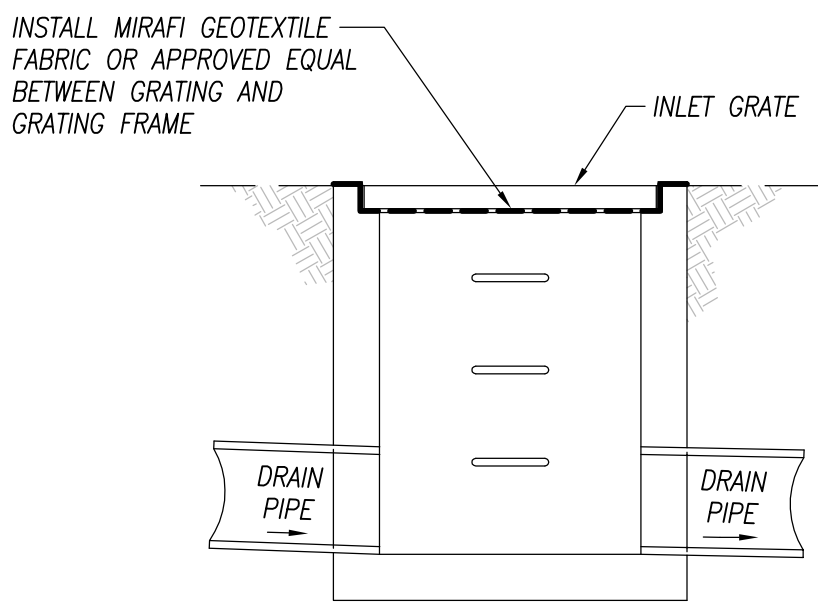
**CONCRETE WASHDOWN BASIN DETAIL**  
NOT TO SCALE



**NOTE:**

1. ANY SEDIMENT CARRIED FROM THE SITE ONTO THE STREET SHALL BE CLEANED UP IMMEDIATELY.

**GRAVEL CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**NOTE:**

MIRAFIT GEOTEXTILE FABRIC SHALL BE INSTALLED UNDER ALL DRAIN INLET GRATES WITHIN THE IMMEDIATE VICINITY OF THE PROJECT SITE.

**TEMPORARY GEOTEXTILE FABRIC FOR GRATED DRAIN INLETS**  
NOT TO SCALE

**NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) BMP NOTES**

1. PERIMETER RUNOFF CONTROL
  - A. SILT FENCE: CONTRACTOR TO INSTALL PERPENDICULAR TO THE DIRECTION OF FLOW AND ALONG THE DOWNHILL SIDE OF THE OPEN GRADING AREAS. LOCATION SHALL BE ADJUSTED DURING THE GRADING OPERATIONS. TEMPORARY SILT FENCE MAY BE USED IN LIEU OF FILTER SOCK AT CONTRACTOR'S DISCRETION.
2. STABILIZATION CONTROL
  - A. TEMPORARY - ALL SLOPES AND EXPOSED AREAS SHALL BE IMMEDIATELY MULCHED OR PLANTED WHEN FINAL GRADES ARE ESTABLISHED OR WHEN GRADING WORK WILL BE DELAYED FOR MORE THAN TWO WEEKS AND BEFORE THE REMOVAL OF THE PROJECT'S TEMPORARY BMP.
  - B. PERMANENT - ALL SLOPES AND EXPOSED AREAS SHALL BE LANDSCAPED WHEN FINAL GRADES ARE ESTABLISHED.
3. STABILIZED CONSTRUCTION ENTRANCE FOR INGRESS/EGRESS WITH AMOCO SERIES 2000 GEOTEXTILE FABRIC OR APPROVED EQUAL, 20' X 50' X 8" THICK, 1" TO 3" COARSE AGGREGATE OR LARGER (7" MAX.)
4. THE CONTRACTOR SHALL ENSURE THAT ALL TIRES OF CONSTRUCTION VEHICLES ARE SUFFICIENTLY CLEANED OFF SO THAT DIRT OR DEBRIS IS NOT TRACKED OFF THE CONSTRUCTION SITE. WASHING OFF TIRES WITH WATER WILL NOT BE ACCEPTABLE UNLESS RUNOFF IS CONTAINED AND DOES NOT ENTER THE STORM DRAIN SYSTEM OR ONTO THE PUBLIC RIGHT-OF-WAY.
5. TEMPORARY EROSION CONTROLS SHALL BE IN PLACE PRIOR TO ANY GRADING OR GRUBBING WORK.
6. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED THROUGHOUT DURATION OF PROJECT.
7. BMP PROVIDED HEREIN ARE MINIMUM REQUIREMENTS. CONTRACTOR SHALL USE DISCRETION WHETHER ADDITIONAL BMP MEASURES ARE NECESSARY FOR CONTROLLING SEDIMENT RUNOFF FROM THE PROJECT SITE.
8. EROSION CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
9. FILTER SOCKS, SILT FENCES, AND TEMPORARY CONSTRUCTION ENTRANCES WILL REMAIN IN-PLACE UNTIL PERMANENT BMP ARE INSTALLED. CONTRACTOR SHALL MAINTAIN ALL EXISTING BMP MEASURES AND ENSURE THAT IT REMAINS OPERABLE AT ALL TIMES.
10. THE FINAL LIFT OF EACH DAYS WORK SHALL BE COMPACTED TO PREVENT EROSION OF FILL MATERIAL.
11. THE CONTRACTOR SHALL HAVE A COPY OF CURRENT NPDES AND GRADING PERMIT(S) ON SITE AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE A COMPLETED BMP CHECKLIST AT TIME OF OBTAINING THE GRADING PERMIT AND MAINTAIN AN UPDATED RECORD OF SITE INSPECTIONS ON SITE THROUGH THE USE OF BMP CHECKLISTS.
12. THE CONTRACTOR SHALL NOT PERFORM EARTHWORK DURING INCLEMENT WEATHER.
13. THE EXISTING PAVED ROADWAYS INCLUDING SIDEWALKS AND GUTTERS SHALL BE CLEANED ON A DAILY BASIS TO BE FREE OF DEBRIS AND SEDIMENT RESULTING FROM THE GRADING OPERATIONS. FLUSHING INTO THE DRAIN STRUCTURES IS PROHIBITED.
14. STOCKPILING CONSTRUCTION MATERIAL IN THE EXISTING ROAD RIGHT-OF-WAY AREA OR ADJACENT LOT(S) ARE PROHIBITED.
15. IF ANY EXPOSED GRADED AREAS THAT ARE NOT BEING WORKED ON OR WHOSE FINAL GRADES HAVE BEEN ESTABLISHED FOR MORE THAN 14 DAYS, THE CONTRACTOR SHALL MULCH THE AREA.
16. AT THE CONCLUSION OF GRADING OPERATIONS AND PRIOR TO PROJECT COMPLETION, ALL DRAINAGE STRUCTURES WITHIN LIMITS OF DISTURBED AREA SHALL BE INSPECTED AND CLEANED OF ACCUMULATED DEBRIS AND SEDIMENT. THE ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE CATCH BASINS (FLUSHING INTO DRAIN STRUCTURES IS PROHIBITED).
17. WASH WATER SHALL NOT DRAIN INTO EXISTING CATCH BASINS.
18. DURING CONSTRUCTION, INLET PROTECTION SHALL BE APPLIED TO ALL DRAIN INLET STRUCTURES IMMEDIATELY FOLLOWING INSTALLATION.
19. THE CONTRACTOR SHALL ADHERE TO ALL OTHER REQUIREMENTS AS DETAILED IN THE STORMWATER POLLUTION PLAN (SWPPP).
20. ALL OTHER REQUIREMENTS PER NPDES FILE NO. \_\_\_\_\_.

**MAINTENANCE NOTE**

EROSION CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

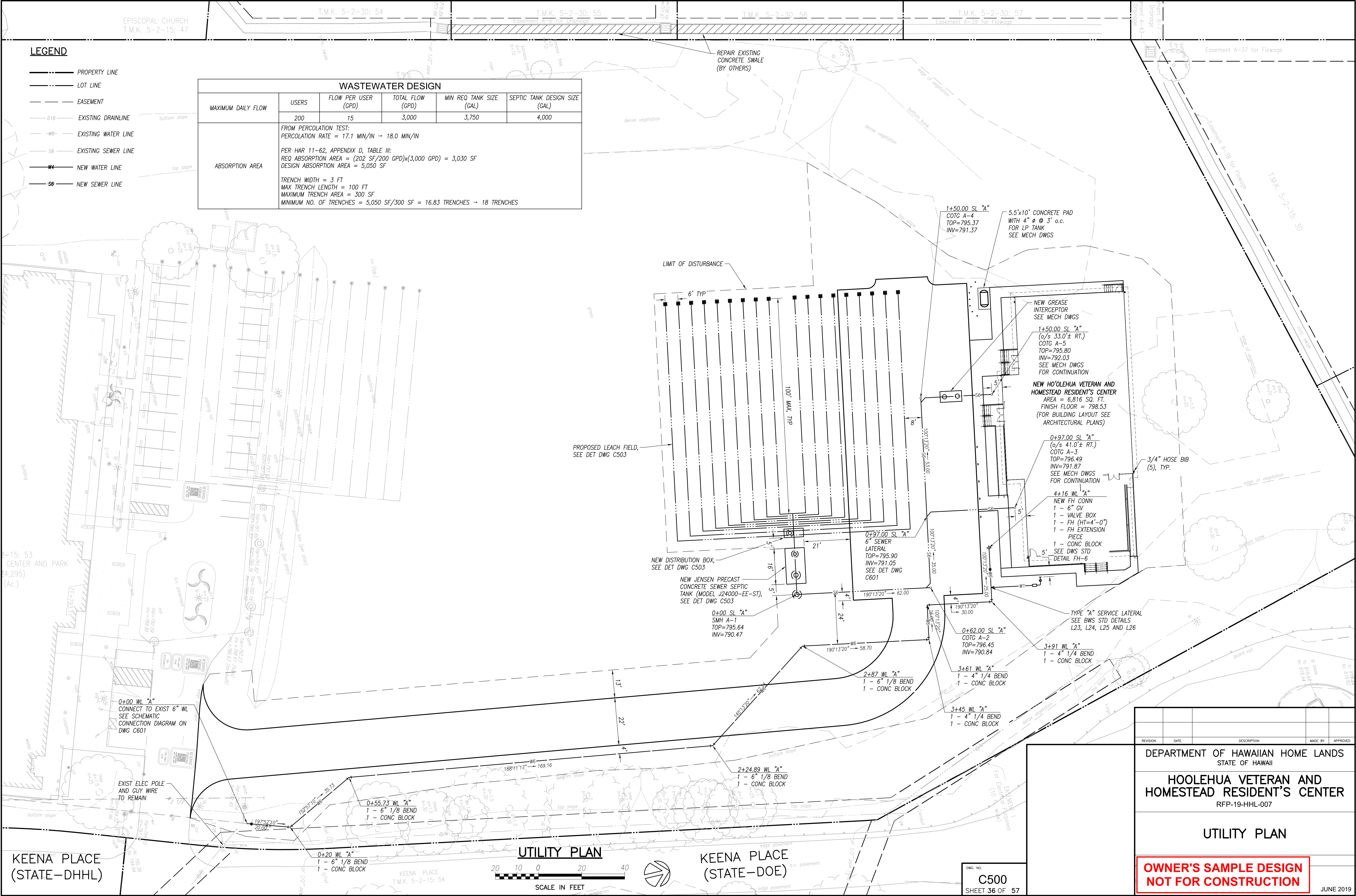
**DUST CONTROL NOTE**

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE MEASURES IT WILL TAKE FOR THE CONTROL OF FUGITIVE DUST FROM THE WORK SITE. THE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION OF DUST SCREENS, WATERING OF THE SITE, FILL MATERIAL BEING PLACED, AND DELAYING WORK IN THE WEEK THAT PREVAILING WIND DIRECTION SHOULD SHIFT.

|   |      |             |         |          |  |
|---|------|-------------|---------|----------|--|
|   |      |             |         |          |  |
| REVISION  | DATE | DESCRIPTION | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                  |      |             |         |          |  |
| HOOLEHUA VETERAN AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |  |
| EROSION CONTROL DETAILS   |      |             |         |          |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                         |      |             |         |          |  |
| JUNE 2019   |      |             |         |          |  |

DWG. NO.  
**C302**  
SHEET 35 OF 57

|      |        |        |     |
|------|--------|--------|-----|
| FILE | POCKET | FOLDER | NO. |
|      |        |        |     |



LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT
- D18 EXISTING DRAINLINE
- W4 EXISTING WATER LINE
- S6 EXISTING SEWER LINE
- W4 NEW WATER LINE
- S6 NEW SEWER LINE

| WASTEWATER DESIGN  |  |                     |                  |                         |                               |
|--------------------|--|---------------------|------------------|-------------------------|-------------------------------|
| MAXIMUM DAILY FLOW | USERS  | FLOW PER USER (GPD) | TOTAL FLOW (GPD) | MIN REQ TANK SIZE (GAL) | SEPTIC TANK DESIGN SIZE (GAL) |
|                    | 200  | 15                  | 3,000            | 3,750                   | 4,000                         |
| ABSORPTION AREA    | FROM PERCOLATION TEST:<br>PERCOLATION RATE = 17.1 MIN/IN → 18.0 MIN/IN<br><br>PER HAR 11-62, APPENDIX D, TABLE III:<br>REQ ABSORPTION AREA = (202 SF/200 GPD)x(3,000 GPD) = 3,030 SF<br>DESIGN ABSORPTION AREA = 5,050 SF<br><br>TRENCH WIDTH = 3 FT<br>MAX TRENCH LENGTH = 100 FT<br>MAXIMUM TRENCH AREA = 300 SF<br>MINIMUM NO. OF TRENCHES = 5,050 SF/300 SF = 16.83 TRENCHES → 18 TRENCHES |                     |                  |                         |                               |

UTILITY PLAN

KEENA PLACE  
(STATE-DOE)

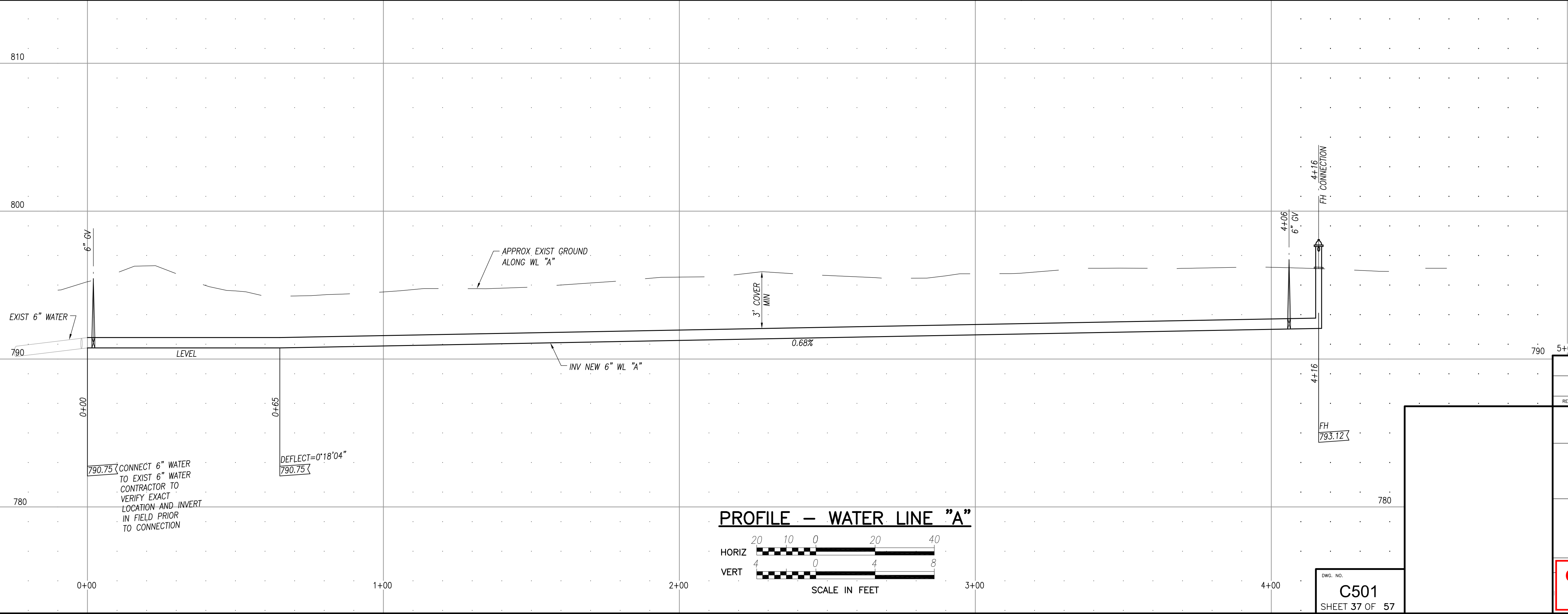
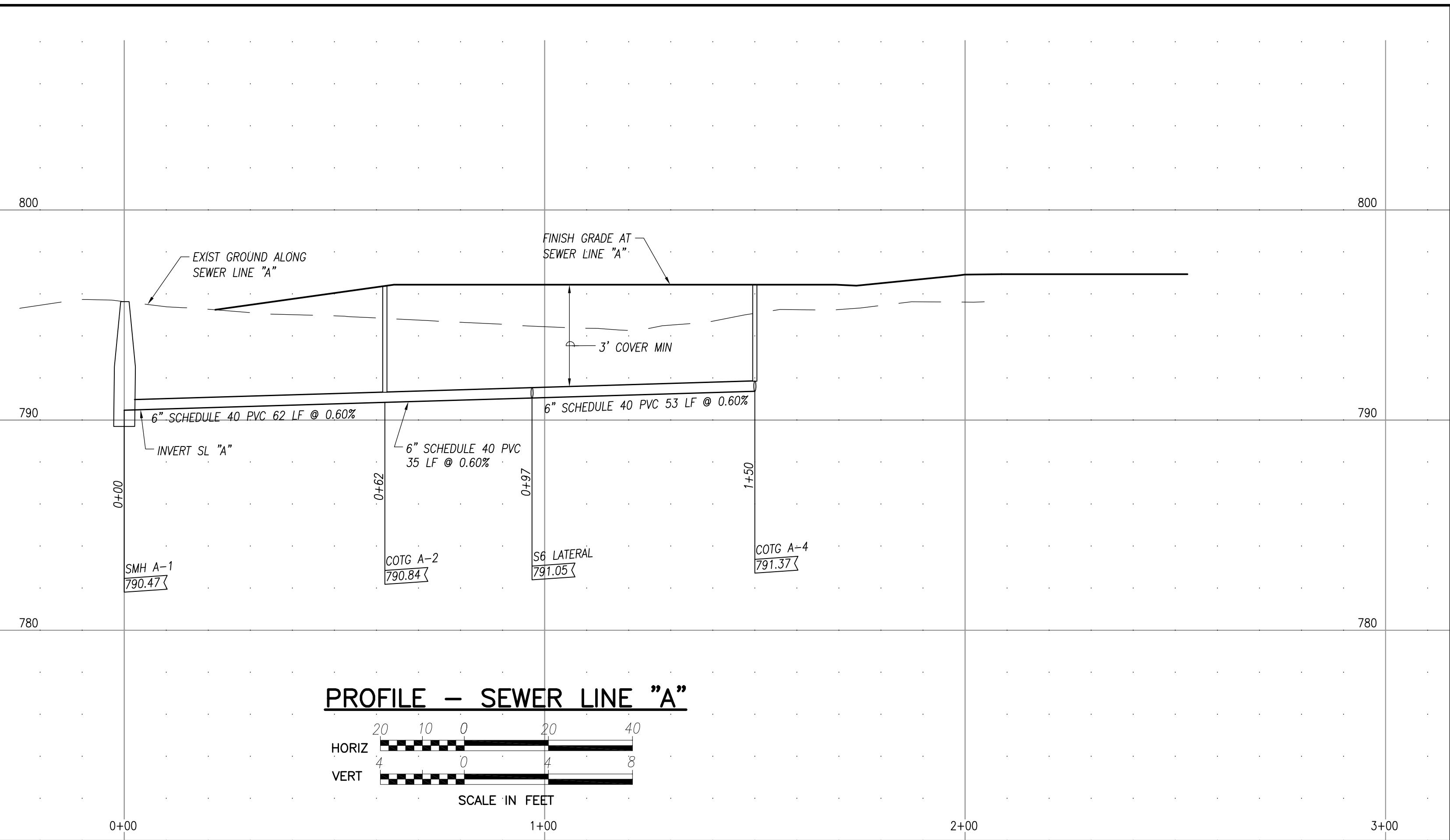
DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII  
HOOLEHUALUA VETERAN AND  
HOMESTEAD RESIDENT'S CENTER  
RFP-19-HHL-007

UTILITY PLAN

OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

JUNE 2019

FILE: 217050-01\_37\_C501 UTILITY PROFILES\_2019-03-08.dwg  
DATE REV: 6/03/2019



| REVISION | DATE | DESCRIPTION | MADE BY | APPROVED |
|----------|------|-------------|---------|----------|
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DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII

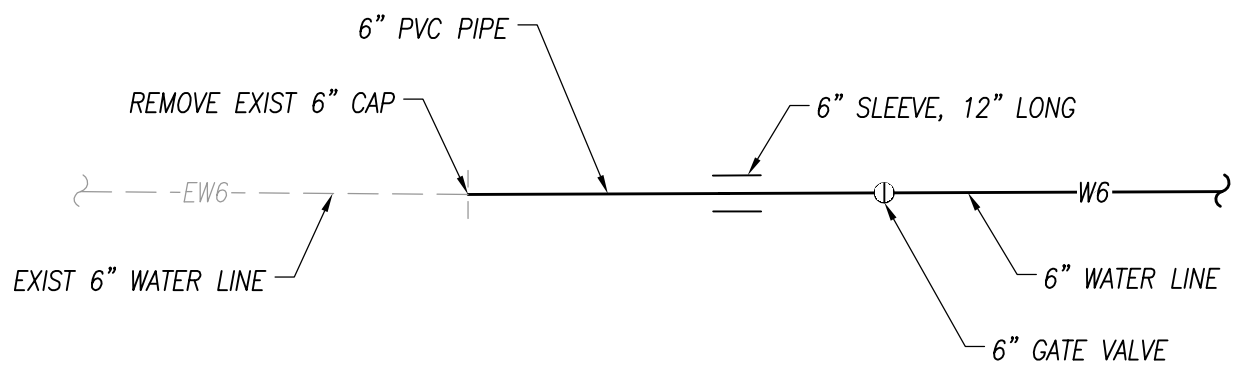
HOOLEHUA VETERAN AND  
HOMESTEAD RESIDENT'S CENTER  
RFP-19-HHL-007

UTILITY PROFILES

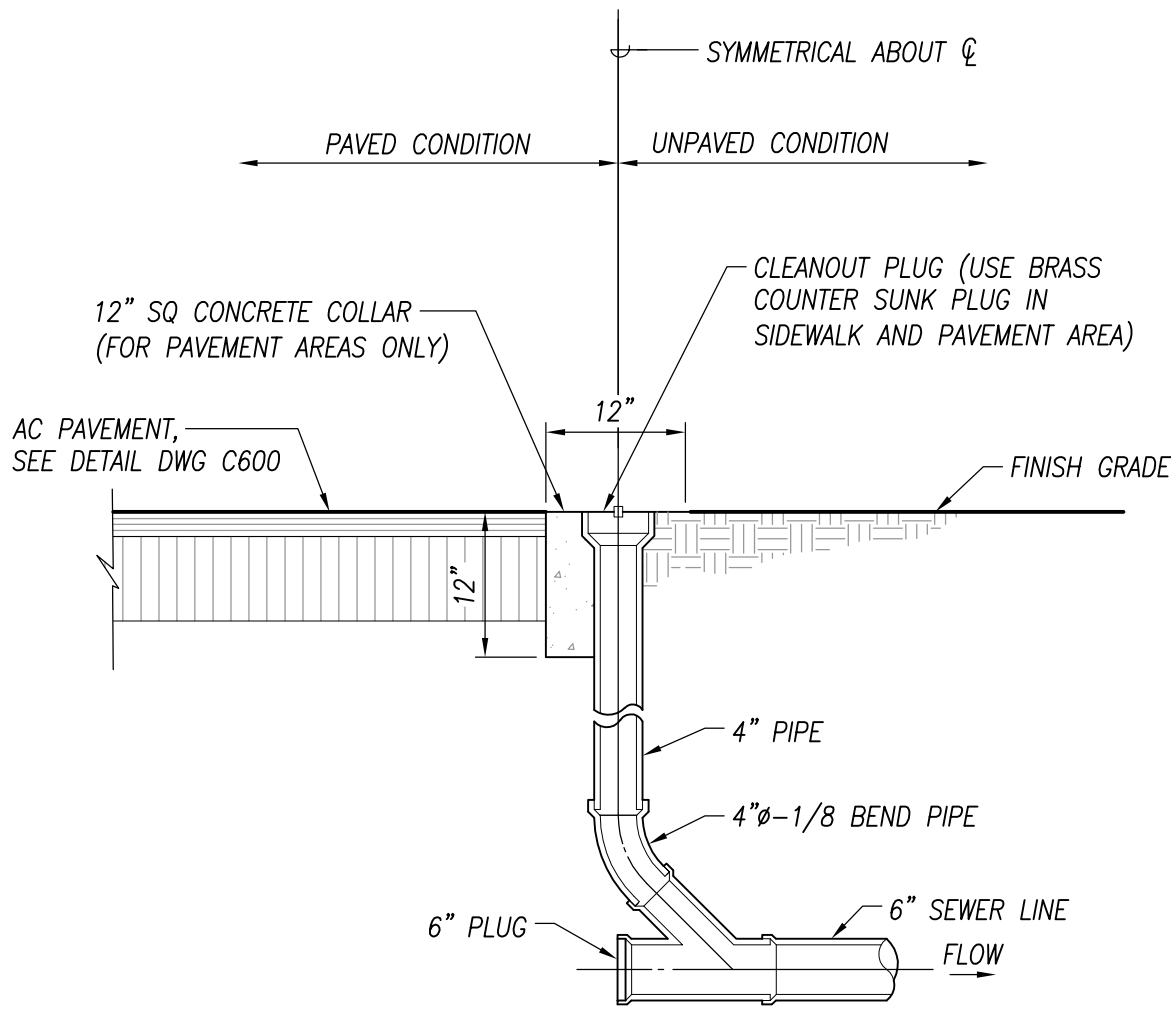
**OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION**

JUNE 2019

DWG. NO.  
**C501**  
SHEET 37 OF 57



**WATER LINE "A"**  
**SCHEMATIC CONNECTION DIAGRAM**  
NOT TO SCALE



**NOTES:**

1. UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION SHALL BE PURSUANT TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.
2. SEWER PIPES AND APPURTENANCES SHALL BE PURSUANT TO "SECTION 20 - CAST IRON AND DUCTILE IRON SEWER PIPE AND APPURTENANCES" OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.
3. FOR SEWER PIPES AND APPURTENANCES 15 INCHES AND LARGER, PIPE MATERIALS SHALL BE PURSUANT TO "SECTION 19 - REINFORCED CONCRETE SEWER PIPE AND APPURTENANCES" OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.

**SEWER CLEANOUT-TO-GRADE**  
NOT TO SCALE

FILE: 217050-01\_38 C502 UTILITY DETAILS\_2019-03-08.dwg  
DATE REV: 5/30/2019

DWG. NO.  
**C502**  
SHEET 38 OF 57

DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII  
**HOOLEHUA VETERAN AND  
HOMESTEAD RESIDENT'S CENTER**  
RFP-19-HHL-007

UTILITY DETAILS

**OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION**

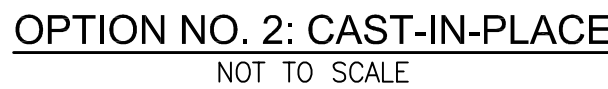
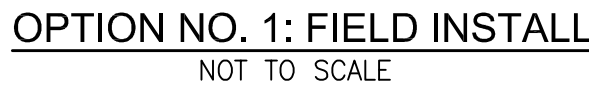
JUNE 2019

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1. CIRCULAR SECTION REBAR SHALL CONSIST OF #3 VERTICAL BARS @ 12" O.C., #3 HORIZONTAL BARS @ 18" O.C. AND A WIRE MESH AROUND ENTIRE CIRCUMFERENCE.
2. REBAR SPACING ON COVER AND BOTTOM SHALL CONSIST OF #4 BARS @ 8" O.C. BOTH WAYS WITH TIES AT EACH CROSSING, AND 1 1/2" CLEAR FROM BOTTOM.
3. SUBSTITUTIONS OF OTHER TANKS ARE ACCEPTABLE AS LONG AS MINIMUM VOLUME REQUIREMENTS ARE MET. CONTRACTOR SHALL SUBMIT TANK DRAWINGS TO ENGINEER FOR APPROVAL. FOR FIBERGLASS SUBSTITUTES, MANUFACTURER SHALL PROVIDE ANCHOR PACKAGE, OR EQUAL, TO ACCOMMODATE BUOYANCY FORCES. NO SUBSTITUTIONS USING FIBERGLASS SYSTEMS SHALL BE AUTHORIZED BY THE ENGINEER WITHOUT MANUFACTURER'S STATEMENT WITH RESPECT TO BUOYANCY.
4. SEPTIC TANK SHALL BE LOCATED IN A NON-VEHICULAR TRAFFIC AREA IF POSSIBLE. FOR TANKS LOCATED IN TRAFFIC AREAS, MANUFACTURER SHALL PROVIDE APPROPRIATE LOAD BEARING COVERS.
5. WHERE NOT OTHERWISE SPECIFIED, THE CONSTRUCTION OF THE SEPTIC TANK SHALL CONFORM TO HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 62, SECTION 33.1(A).
6. MANUFACTURER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE SEPTIC TANK.

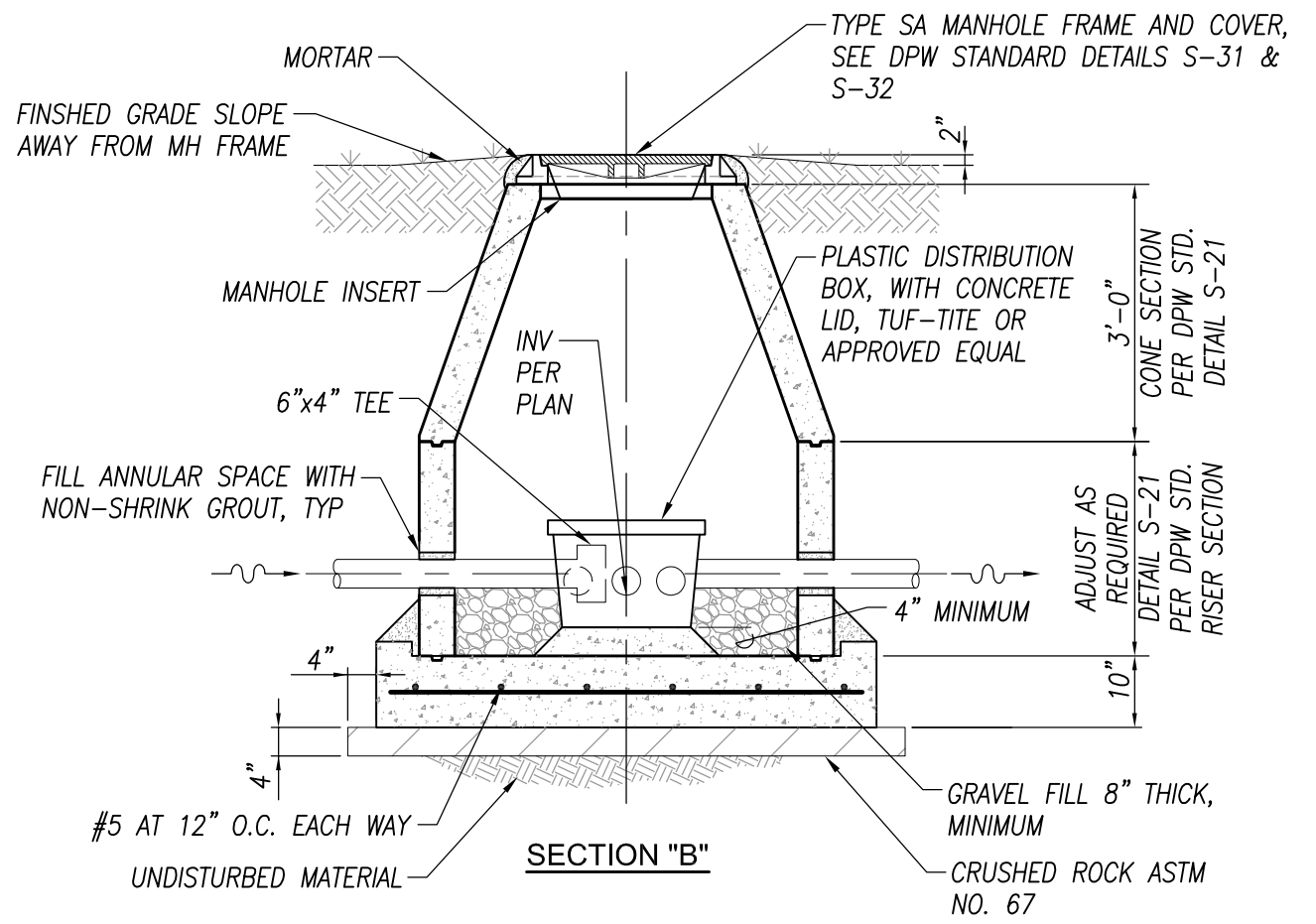
1. SEPTIC TANKS SHALL BE INSPECTED ON A YEARLY BASIS BY OPENING THE ACCESS COVER AND CHECKING IF EITHER THE SLUDGE OR SCUM ARE NEAR THE OUTLET PIPE.
2. THE SEPTIC TANK SHALL BE CLEANED OUT IF EITHER:
  - A) THE BOTTOM OF THE FLOATING SCUM MAT IS WITHIN THREE INCHES OF THE BOTTOM OF THE OUTLET PIPE; OR
  - B) SLUDGE COMES WITHIN SIX INCHES OF THE BOTTOM OF THE OUTLET PIPE.
3. CLEANING THE SEPTIC TANK SHALL CONSIST OF PUMPING OF THE CONTENTS INTO A TANK TRUCK AND HAULING IT TO A STATE HEALTH DEPARTMENT APPROVED POINT OF DISPOSAL. THE SEPTIC TANK SHALL NOT BE WASHED OR DISINFECTED AFTER PUMPING. A THREE INCH DEPTH OF RESIDUAL SLUDGE SHALL BE LEFT IN THE TANK FOR SEEDING PURPOSES.
4. A SEPTIC TANK SHALL NOT BE ENTERED BY ANYONE UNLESS PROPER SAFETY PROCEDURES ARE FOLLOWED. THERE IS A POTENTIAL HAZARD OF EXPLOSION OF GASES AND/OR ASPHYXIATION OF PERSONNEL IF PRECAUTIONS ARE NOT TAKEN.
5. CHEMICALS OR DISINFECTANTS DO NOT IMPROVE OPERATION OF SEPTIC TANKS AND ARE NOT RECOMMENDED. ORDINARY CHEMICALS USED IN THE HOUSEHOLD IN SMALL QUANTITIES WILL NOT ADVERSELY AFFECT THE OPERATION OF THE SEPTIC TANK.
6. PAPER TOWELS, NEWSPAPER, WRAPPING PAPER, RAGS AND STICKS SHOULD NOT BE FLUSHED INTO THE SEPTIC TANK. THEY WILL NOT DECOMPOSE AND WILL LEAD TO CLOGGING OF THE PIPING.
7. IMPROPER OPERATION AND MAINTENANCE OF THE SEPTIC TANK WILL LEAD TO EARLY FAILURE OF THE DISPOSAL SYSTEM (SEEPAGE PITS AND/OR LEACH LINES) BY CLOGGING THE PIPING ADJACENT SOIL. THIS WILL RESULT IN SEPTIC TANK OVERFLOWS AND DISPOSAL SYSTEM FLOODING. COMPLETE REPLACEMENT OF THE DISPOSAL SYSTEM IS THEN REQUIRED.



1. MAINTAIN 10'-0" MINIMUM CLEARANCE FROM ALL LARGE TREES.
2. GEOTEXTILE FILTER FABRIC SHALL BE WOVEN OR NON-WOVEN THERMOPLASTIC FIBER WITH MINIMUM WEIGHT OF 135 GRAMS PER SQUARE METER.

1. MAXIMUM LENGTH OF EACH DISTRIBUTION LINE SHALL BE 100 FEET.
2. DISTRIBUTION LINES SHALL BE UNIFORMLY SPACED A MINIMUM OF 4 FEET AND A MAXIMUM OF 6 FEET APART. DISTRIBUTION LINES SHALL BE PLACED A MINIMUM OF 1 1/2 FEET AND A MAXIMUM OF 3 FEET FROM THE SIDE OF THE BED.
3. DISTRIBUTION LINES SHALL BE LEVEL.
4. THE FLOOR OF THE ABSORPTION BED SHALL BE LEVEL.
5. WHERE NOT OTHERWISE SPECIFIED, THE CONSTRUCTION OF THE ABSORPTION BED SHALL CONFORM TO HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 62.

**ABSORPTION BED**  
NOT TO SCALE



## DISTRIBUTION BOX III DETAIL

1. INSTALL LEVELER AT EACH OUTLET PIPE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

1. IF THE DEPARTMENT OF HEALTH WAIVES THE FINAL INSPECTION REQUIREMENT THE OWNER/CONTRACTOR SHALL CONTACT THE ENGINEER FOR FINAL INSPECTION. AS PART OF THE FINAL INSPECTION, THE FOLLOWING PARTS OF THE SYSTEM SHALL BE KEPT OPEN.
  - A. DISTRIBUTION BOXES TO THE DISPOSAL SYSTEM;  
THE ENDS OF THE ABSORPTION TRENCHES SUCH THAT THE GRAVEL, PIPING AND FILTER FABRIC ARE EXPOSED. AND
  - C. INSPECTION PORTS OF THE SEPTIC TANK. IF THE ABOVE ITEMS ARE NOT OPEN AT THE TIME OF INSPECTION, WE MAY REQUIRE THAT YOU DIG OR RE-EXPOSE THE ITEMS FOR INSPECTION. FURTHER, THE CONTRACTOR/OWNER SHALL CONTACT THE ENGINEER AT 521-0306 IN ORDER TO MAKE NECESSARY ARRANGEMENTS FOR FINAL INSPECTION.
2. IF THERE ARE ANY CHANGES TO THE ORIGINALLY APPROVED SYSTEM, OWNER/CONTRACTOR SHALL INFORM AND OBTAIN CONCURRENCE FROM THE ENGINEER. SUCH CHANGES THAT REQUIRE THE ENGINEER'S CONCURRENCE INCLUDE, BUT NOT LIMITED TO CHANGES IN WASTEWATER TREATMENT UNIT OR DISPOSAL SYSTEM LOCATION, MATERIAL ORIGINALLY SPECIFIED FOR IN THE TREATMENT UNITS OR DISPOSAL SYSTEM AND CHANGES IN BRAND NAMES OF PRODUCTS ORIGINALLY SPECIFIED. SOME CHANGES MAY ALSO REQUIRE A REAPPROVAL FROM THE HEALTH DEPARTMENT.
3. THE PLANS FOR THE IWS SHALL BE APPROVED BY THE DEPARTMENT OF HEALTH BEFORE CONSTRUCTION. THE DEPARTMENT OF HEALTH WILL ISSUE A LETTER APPROVING THE SYSTEM. THE CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVAL LETTER FROM THE OWNER OR THE ENGINEER AND COMPLY WITH ALL CONDITIONS RELATED TO IWS CONSTRUCTION.



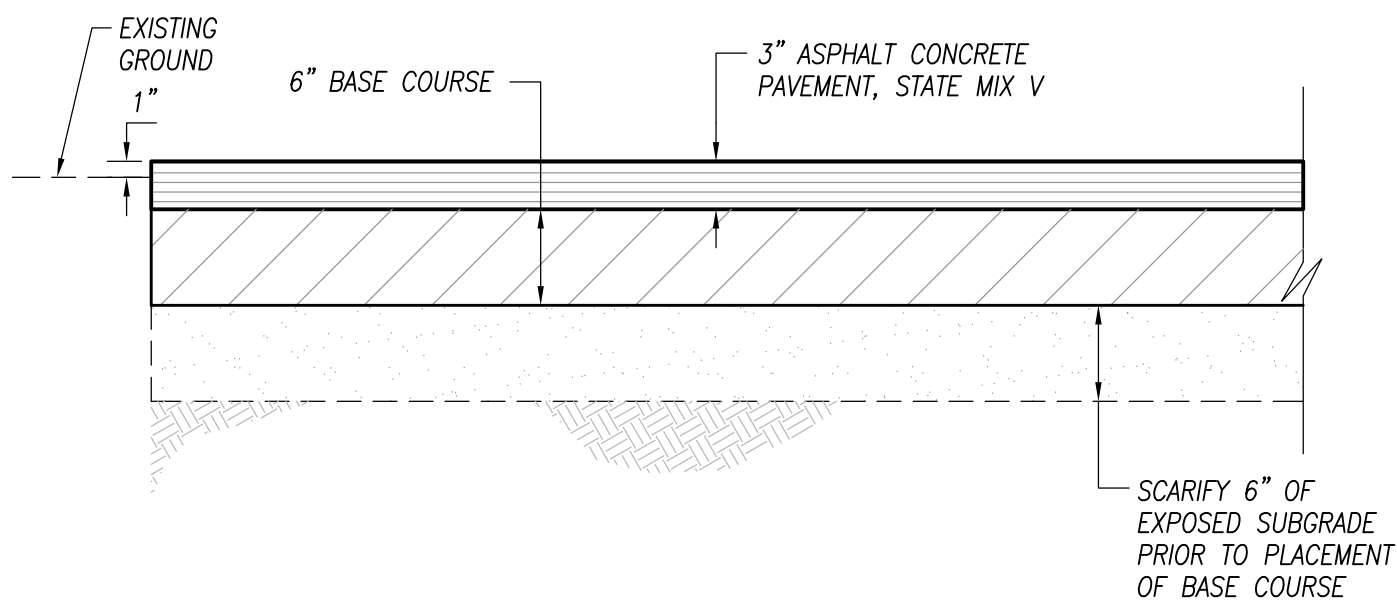
NOT TO SCALE

## UTILITY DETAILS 2

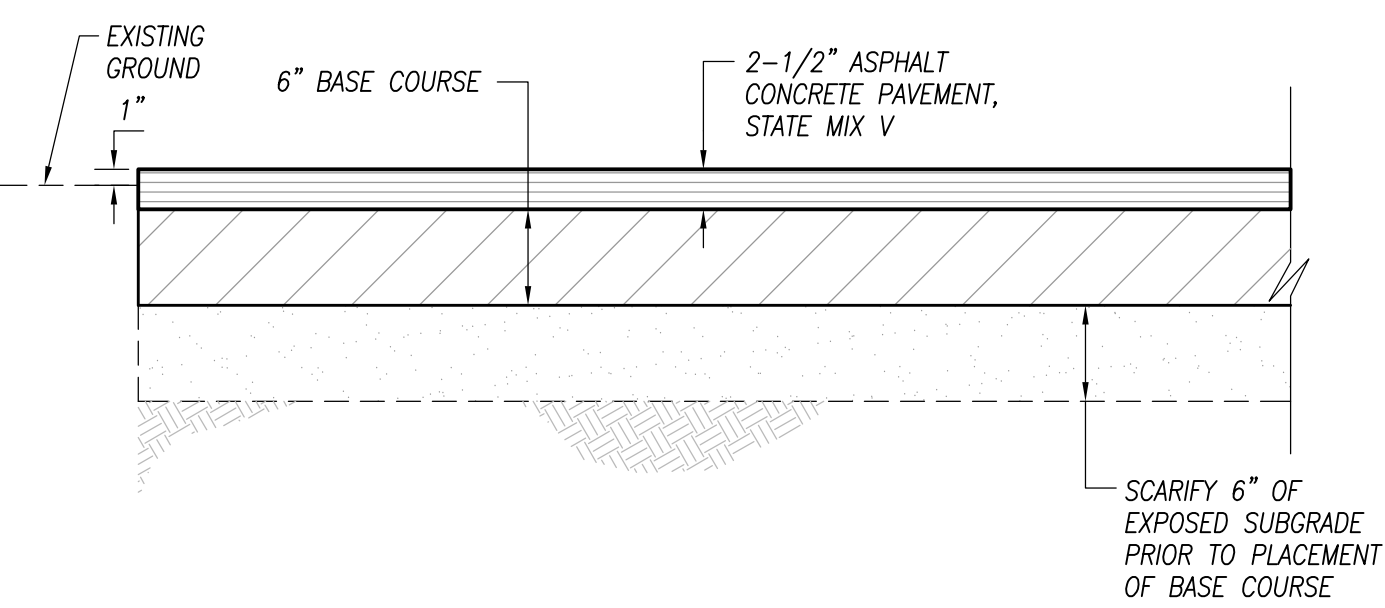
**OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION**

JUNE 2019

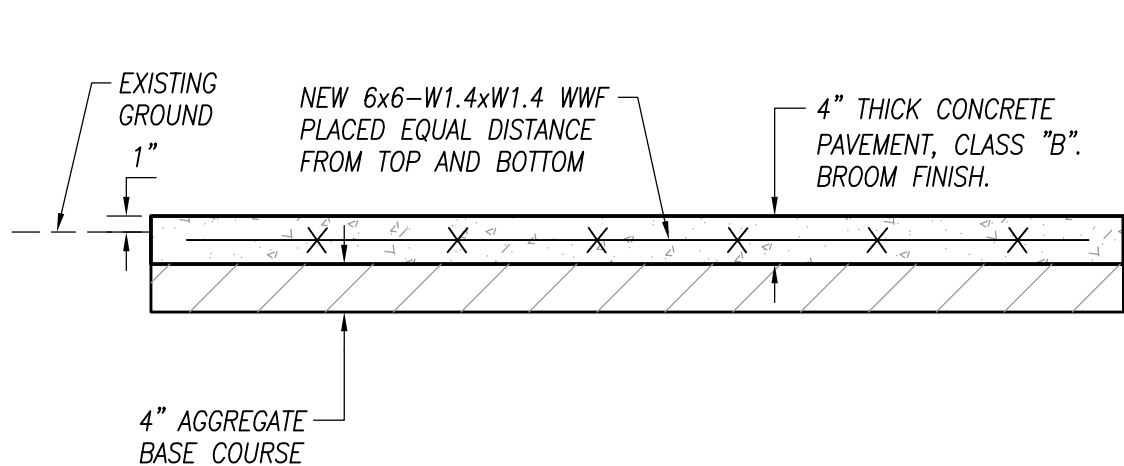
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DRIVEWAY/FIRE ACCESS LANE



PARKING LOT



NOTES:

1. REFER TO GEOTECHNICAL INVESTIGATION REPORT BY HIRATA & ASSOCIATES, INC. DATED JANUARY 23, 2018 FOR SOIL CONDITIONING AND COMPACTION REQUIREMENTS.

CONCRETE WALKWAY

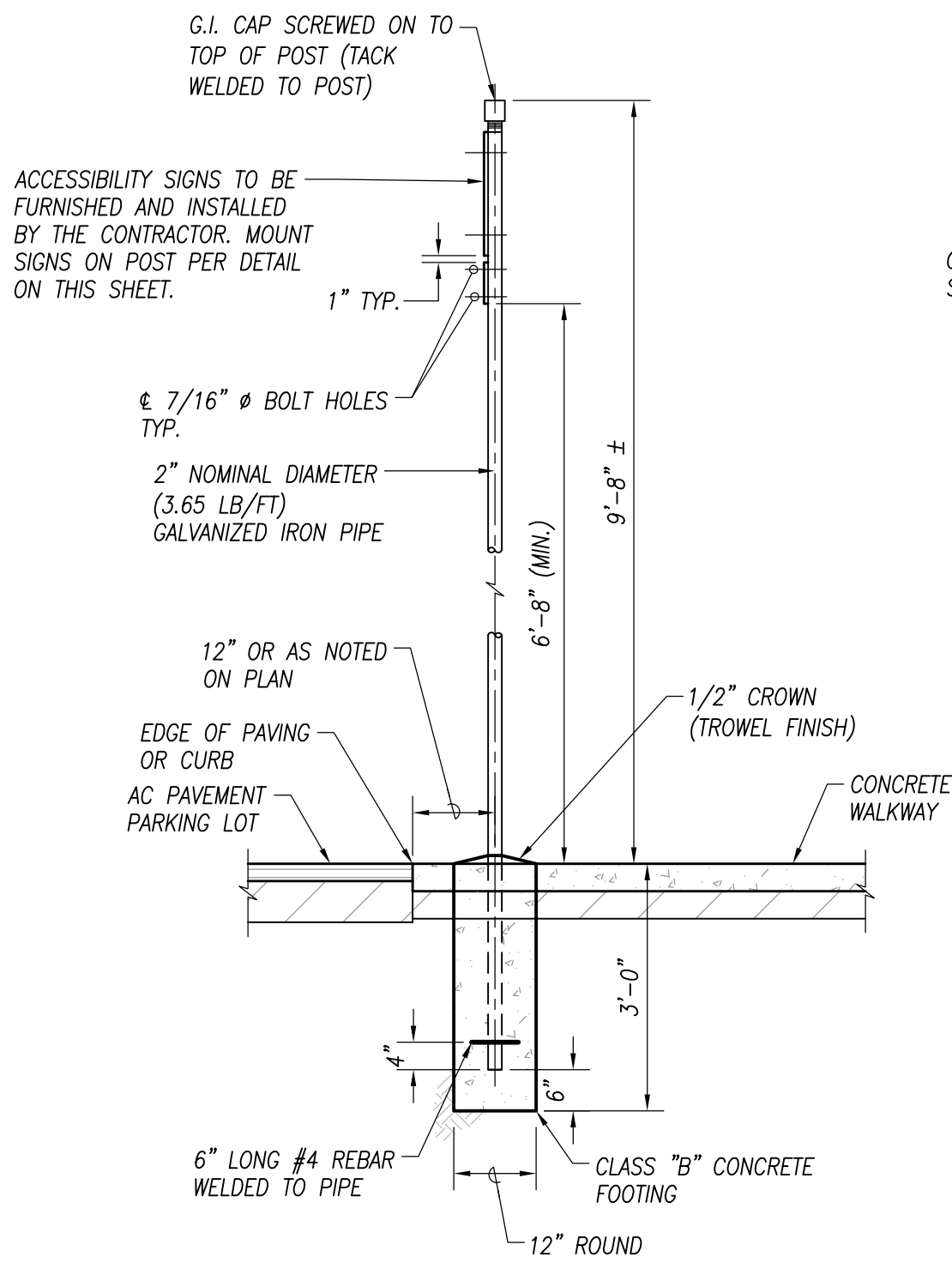
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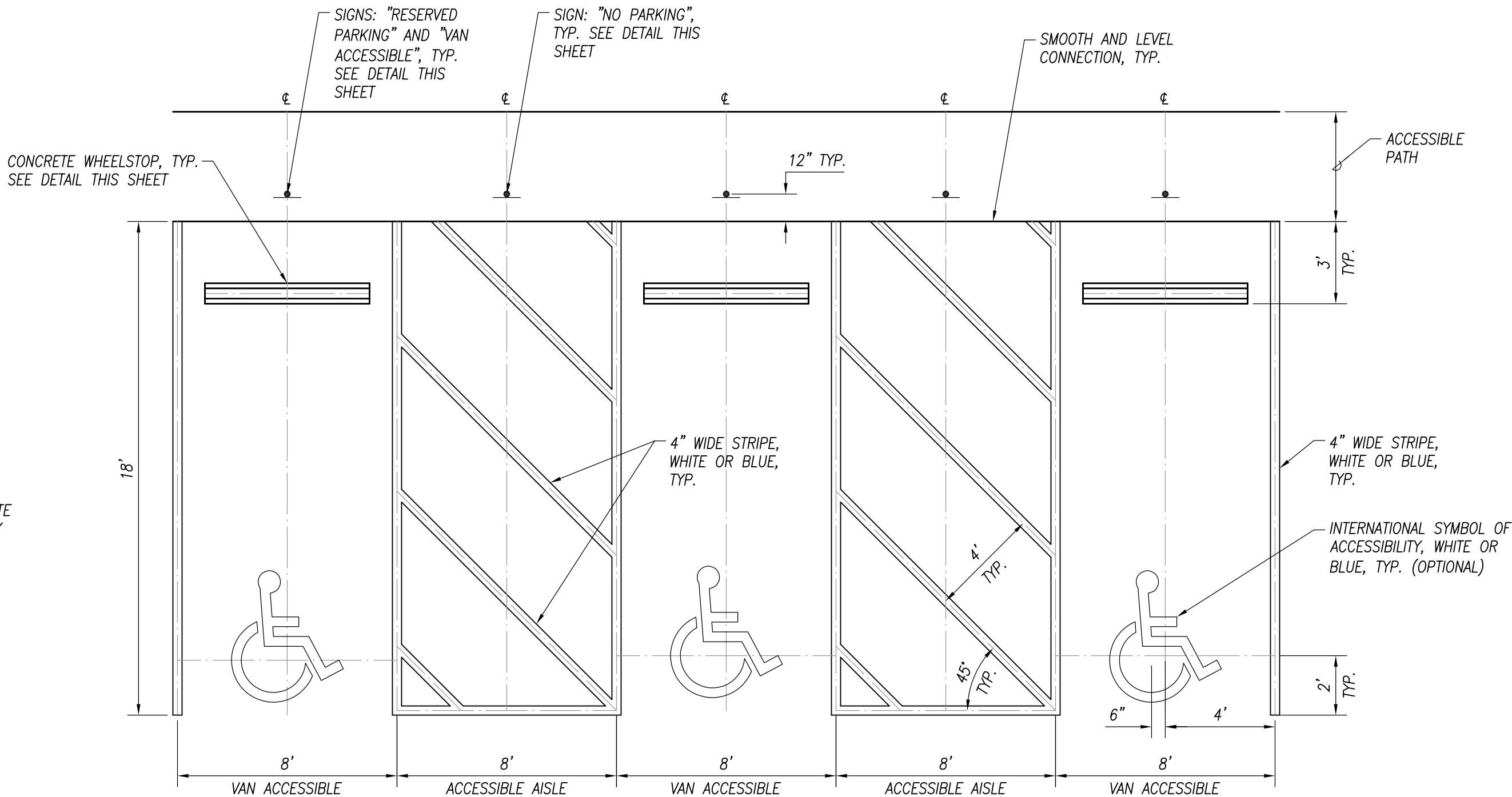
1. REFER TO GEOTECHNICAL INVESTIGATION REPORT BY HIRATA & ASSOCIATES, INC. DATED JANUARY 23, 2018 FOR SOIL CONDITIONING AND COMPACTION REQUIREMENTS.

ASPHALT CONCRETE PAVEMENT

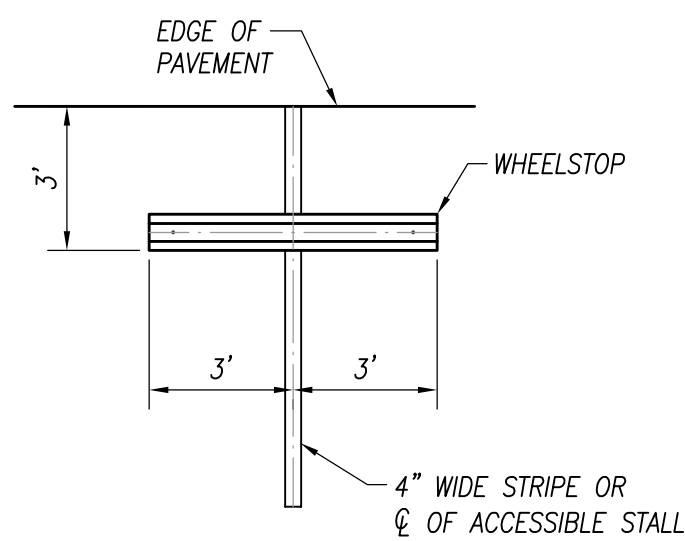
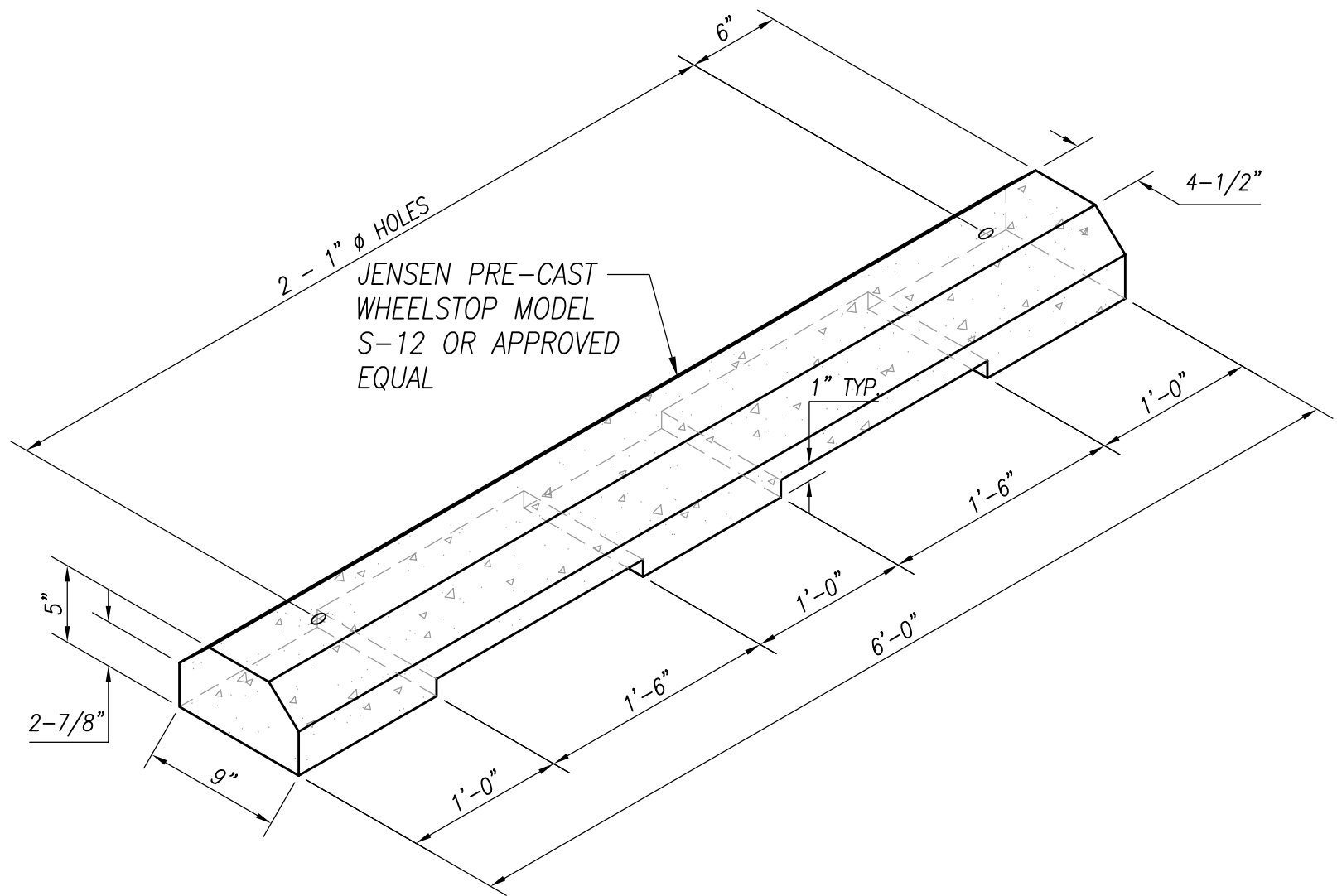
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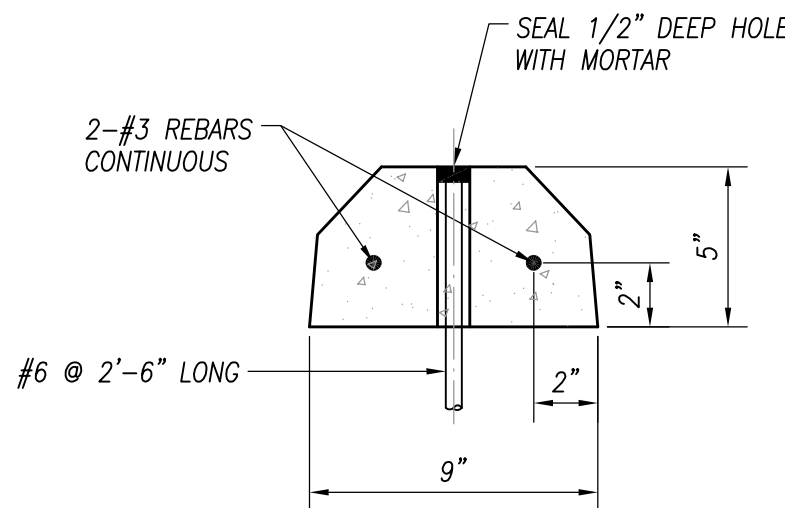
SIGN POST DETAIL



ACCESSIBLE PARKING SPACE MARKING



PLACEMENT



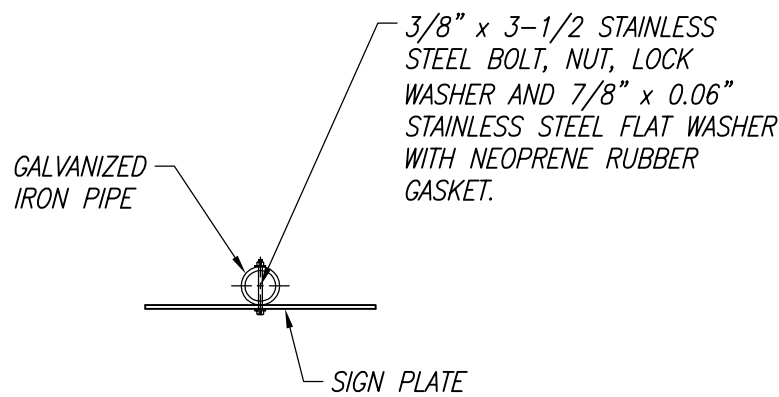
SECTION

PRE-CAST CONCRETE WHEELSTOP

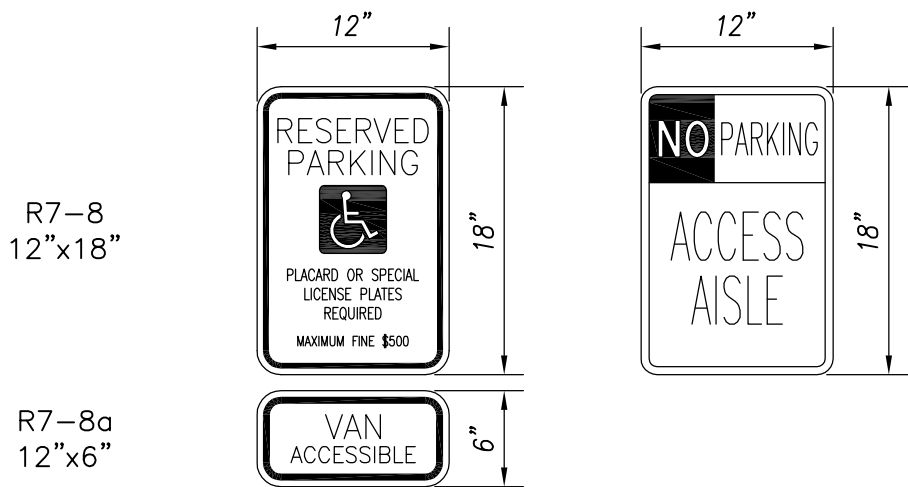
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NOTES:

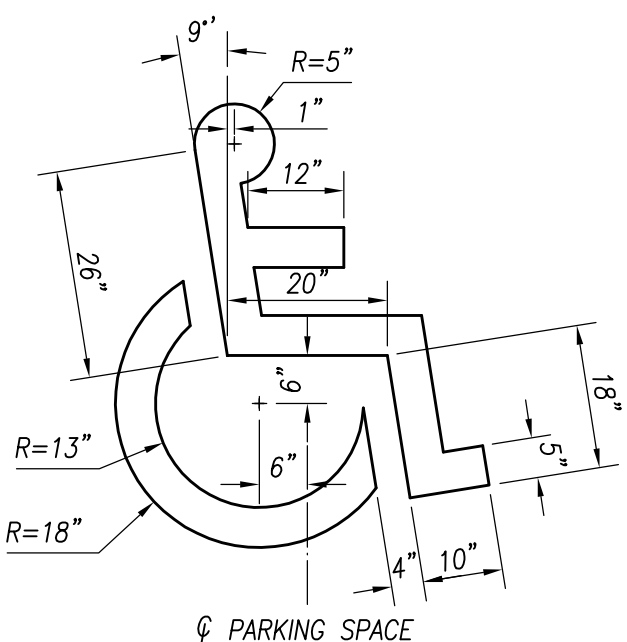
1. REFER TO THE 2009 MUTCD, SECTION 2B.46.
2. REFER TO "HOW TO DESIGN AN ACCESSIBLE PARKING SPACE", FEDERAL AND STATE OF HAWAII REQUIREMENTS COMBINED, BY THE DISABILITY AND COMMUNICATION ACCESS BOARD, DATED DECEMBER 2012.
3. THE SURFACE WITHIN THE ACCESSIBLE PARKING SPACE AND ACCESS AISLE SHALL BE VIRTUALLY LEVEL (1:48 MAX. SLOPE) IN ALL DIRECTIONS.



SIGN MOUNTING DETAIL



SIGNS



INTERNATIONAL SYMBOL OF ACCESSIBILITY

TYPICAL DETAILS FOR ACCESSIBLE PARKING SPACE

NOT TO SCALE

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DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII  
HOOLEHUA VETERAN AND  
HOMESTEAD RESIDENT'S CENTER  
RFP-19-HHL-007

MISCELLANEOUS DETAILS

OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

JUNE 2019

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE BUILDING CODE OF THE MAUI COUNTY (LATEST).
2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
3. THE GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY UNLESS OTHERWISE SHOWN.
4. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW BY THE ENGINEER.
6. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF THE JOB AND NOTIFY ALL DISCREPANCIES TO THE ARCHITECT.
7. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
8. DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING AND THE PROTECTION OF ADJACENT PROPERTIES, STRUCTURES, STREETS AND UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA.
9. ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA.
10. THE CONTRACTOR SHALL NOTIFY TANIMURA & ASSOCIATES (PH. 536-1692) TWO (2) WORKING DAYS PRIOR TO BEGINNING ANY WORK WHICH WILL CONCEAL STRUCTURAL ELEMENT SUCH AS POURING CONCRETE (CONCEALING REINFORCING) OR SHEATHING WALLS (CONCEALING HOLD DOWN ANCHORS).

FOUNDATION

1. THE FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS IN THE FOUNDATION INVESTIGATION REPORT BY HIRATA & ASSOCIATES, INC. DATED JANUARY 23, 2018. UNLESS OTHERWISE INDICATED FOUNDATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS REPORT. THE REPORT IS PART OF THIS PLAN AND SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
2. MODULAR BUILDING FOUNDATION SHALL BEAR DIRECTLY ON THE UNDISTURBED CLAYEY SILT. ALL CAST IN PLACE CONCRETE FOOTINGS SHALL BE BOTTOMED A MINIMUM OF 12" BELOW THE LOWEST ADJACENT EXTERIOR GRADE. THE BOTTOM OF ALL FOOTING EXCAVATIONS SHALL BE COMPACTED, OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL OR CONCRETE.
3. SUBGRADE BELOW SLABS ON GRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES, MOISTURE CONDITIONED TO ABOUT TWO PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM 90 PERCENT COMPACTION AS DETERMINED BY ASTM D1557.
4. ALL WATER, MUD AND DEBRIS SHALL BE REMOVED FROM THE BOTTOM OF FOOTING EXCAVATIONS. THE BOTTOM OF FOOTING EXCAVATIONS SHALL BE THOROUGHLY TAMPED PRIOR TO THE PLACEMENT OF REINFORCING STEEL AND CONCRETE.
5. CONTRACTOR SHALL NOTIFY HIRATA & ASSOCIATES 4 WORKING DAYS PRIOR TO BEGINNING ANY FOUNDATION WORK (BOTTOM OF FOOTING, STRUCTURAL FILL, ETC.).

REINFORCED CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318-02.
2. ALL CONCRETE SHALL BE NORMAL WEIGHT (150 PCF) WITH AGGREGATES CONFORMING TO ASTM C-33. UNLESS OTHERWISE NOTED, THE COMPRESSIVE STRENGTHS OF CONCRETE AT 28 DAYS AND MAXIMUM AGGREGATE SIZES SHALL BE AS FOLLOWS:
- |                         | STRENGTH | AGGREGATE SIZE |
|-------------------------|----------|----------------|
| FOOTING & SLAB ON GRADE | 2500 PSI | 3/4"           |
| OTHERS                  | 2500 PSI | 3/4"           |
3. MAXIMUM WATER-CEMENT RATIO SHALL NOT EXCEED 0.55.
4. ALL REINFORCING STEEL EXCEPT TIES AND STIRRUPS SHALL CONFORM TO ASTM A615 GRADE 60. TIES, STIRRUPS AND REBARS TO BE WELDED SHALL BE ASTM A615 GRADE 40.

5. UNLESS OTHERWISE NOTED, SPLICES, LAPS, DOVEL EXTENSIONS AND EMBEDMENTS SHALL BE 40 BAR DIAMETERS BUT NOT LESS THAN 24" MINIMUM.
6. ALL REINFORCING BARS MARKED CONTINUOUS (CONT.) ON THE PLANS SHALL BE LAPPED 45 BAR DIAMETERS MINIMUM, BUT NOT LESS THAN 2'-0".
7. STAGGER ALL SPLICES WHERE POSSIBLE.
8. ALL WELDING OF REINFORCING SHALL CONFORM TO 'STRUCTURAL WELDING CODE - REINFORCING STEEL' (AWS D1.4).
9. REBARS SHALL BE SUPPORTED, BENT AND PLACED AS PER 'MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES' ACI 315 (LATEST).
10. MINIMUM COVER IN INCHES FOR REBARS FOR CAST-IN-PLACE CONCRETE:
- |                             |    |
|-----------------------------|----|
| CONCRETE CAST AGAINST EARTH | 3" |
|-----------------------------|----|
- FORMED CONCRETE EXPOSED TO EARTH OR WEATHER:
- |                |        |
|----------------|--------|
| #5 AND SMALLER | 1-1/2" |
| #6 AND LARGER  | 2"     |
- CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
- |                          |        |
|--------------------------|--------|
| SLABS, WALLS, AND JOISTS | 3/4"   |
| BEAMS AND COLUMNS        | 1-1/2" |
11. WELDED WIRE FABRIC SHALL BE GALVANIZED AND CONFORM TO ASTM A-185.
12. UNLESS OTHERWISE SHOWN LAP OUTERMOST CROSS WIRES OF EACH SHEET OF WELDED WIRE FABRIC ONE SPACING OF CROSS WIRES PLUS 2" MINIMUM.
13. AT TIME CONCRETE IS PLACED, REINFORCING SHALL BE FREE FROM MUD, OIL, LAITANCE OR OTHER COATINGS ADVERSELY AFFECTING BOND CAPACITY.
14. REINFORCEMENT, ANCHOR BOLTS, SIMPSON CONNECTORS, DOWELS AND ALL OTHER EMBEDDED ITEMS SHALL BE POSITIVELY SECURED BEFORE POURING.

WOOD

1. ALL WOOD STRUCTURAL MEMBERS SHALL BE DOUGLAS FIR MEETING THE FOLLOWING MINIMUM GRADES AS ESTABLISHED BY THE WESTERN WOOD PRODUCTS ASSOCIATIONS:
- |                         |                       |
|-------------------------|-----------------------|
| 6x & 4x BEAMS AND POSTS | NO. 1 OR BETTER       |
| 2x RAFTERS              | NO. 2 OR BETTER       |
| 2x EXTERIOR STUDS       | NO. 1 OR CONSTRUCTION |
2. WOOD SHALL BE SEPARATED FROM DIRECT CONTACT WITH CONCRETE AND MASONRY WITH A LAYER OF 30" FELT.
3. PROVIDE STANDARD WASHERS AT ALL BOLTS AND NUTS BEARING ON WOOD.
4. NOTCHING OF JOISTS SHALL BE LIMITED TO CUT OR BORED HOLES NOT DEEPER THAN 1/3 THE JOIST DEPTH FROM THE TOP AND LOCATED NOT FURTHER FROM THE END THAN 3 TIMES THE JOIST DEPTH. HOLES THROUGH PLATES AND STUDS SHALL BE CENTERED IN THE MEMBER AND NOT EXCEED 1/3 THE PLATE WIDTH.
5. ALL PREFABRICATED METAL HANGERS AND CONNECTORS NOTED IN THE DRAWINGS ARE 'SIMPSON STRONG TIE CONNECTORS' WITH 'Z-MAX' COATING.
6. MINIMUM NAILING SHALL COMPLY WITH TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE AND THE NAILING SCHEDULE BELOW. WHERE CONFLICTS OCCUR THE MORE SEVERE SHALL GOVERN.
7. ALL WOOD STRUCTURAL MEMBERS SHALL BE TREATED WITH AN APPROVED PROCESS AGAINST ROT AND INSECT DAMAGE.

NAILING

1. ALL NAILS FOR STRUCTURAL FRAMING SHALL BE GALVANIZED COMMON WIRE NAILS UNLESS OTHERWISE NOTED.
2. PREDRILL HOLES AS REQUIRED TO PREVENT SPLITTING.
3. SINKING OF NAIL HEADS IS PROHIBITED.
4. UNLESS OTHERWISE NOTED, THE FOLLOWING MINIMUM NAILING SHALL APPLY:
- |                                       |                 |
|---------------------------------------|-----------------|
| JOIST OR RAFTER AT BEARING (TOE NAIL) | 3-10d           |
| STUDS TO PLATE (TOE NAIL)             | 3-8d            |
| END NAIL THRU PLATE                   | 2-16d           |
| DOUBLE TO PLATE - TYPICAL             | 16d @ 16'o.o.c. |
| EACH SIDE OF SPLICE                   | 6-16d           |
| AT CORNERS                            | 2-16d           |
- 
- |   |               |
|---|---------------|
| BUILT-UP AND CORNER STUDS               | 16d @ 24'o.c. |
| BLOCKING (TOE NAIL)                     | 3-10d         |
| END NAIL                                | 2-16d         |
| CEILING JOIST OVER PARTITION (TOE NAIL) | 3-16d         |
| CEILING JOIST TO PARALLEL RAFTER        |               |
| FACE NAIL                               | 3-16d         |
| RIM JOIST OR BLOCKING TO TOP PLATE      | 16d @ 16'o.c. |

MODULAR BUILDING

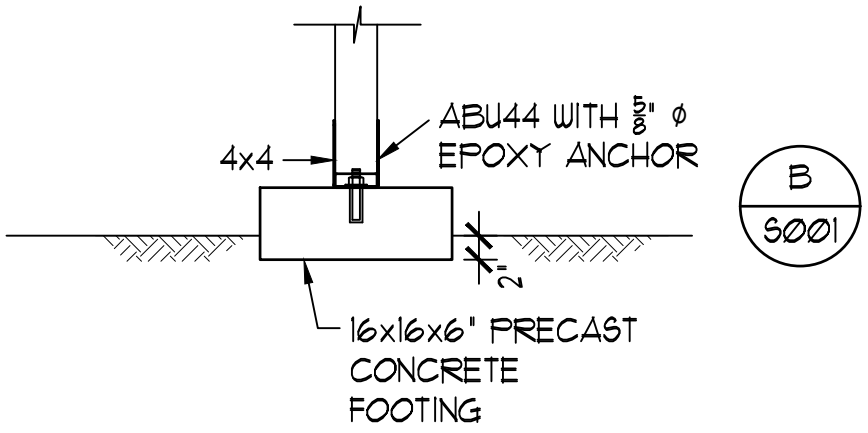
1. ALL WORK SHALL CONFORM TO THE 2006 INTERNATIONAL BUILDING CODE, ASCE 7-05 AND CRITERIA NOTED HEREIN OR IN THE OTHER CONTRACT DOCUMENTS.
2. SHOP DRAWINGS, CALCULATIONS AND OTHER SUBMITTALS SHALL BE SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF HAWAII AND SUBMITTED TO THE ARCHITECT FOR APPROVAL.
3. PROVIDE AND INSTALL ANCHOR BOLT STEEL TEMPLATES FOR COLUMN ANCHOR BOLTS PRIOR TO CONCRETE POUR.
4. WHEN COMPUTING WIND UPLIFT, THE ACTUAL DEAD LOAD SHALL BE USED WHEN IT IS LESS THAN THE SPECIFIED DEAD LOAD.
5. A MINIMUM OF 1' OF NON-SHRINK LEVELING GROUT SHALL BE USED UNDER ALL COLUMN BASE PLATES. BUILDING MANUFACTURER SHALL ENSURE THAT ANCHOR BOLT PROJECTION ABOVE THE SLAB ACCOUNTS FOR THE GROUT.
6. MODULAR BUILDING FOOTINGS ARE SHOWN FOR COMPLETENESS. THE FOOTING LOCATIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED WITH THE MODULAR BUILDINGS DRAWINGS. THE FOOTING LENGTH, WIDTH, THICKNESS, REINFORCING AND ANCHOR BOLT EMBEDMENT WILL BE DESIGNED BY THE STRUCTURAL ENGINEER OF RECORD AFTER THE MODULAR BUILDING DESIGNER SUBMITS THE COLUMN AND WALL REACTIONS FOR REVIEW AND APPROVAL. COLUMN AND WALL REACTIONS SHALL BE LISTED BY LOAD CASE, USING UNFACTORED LOADS. MAXIMUM VERTICAL AND HORIZONTAL REACTIONS SHALL BE CLEARLY NOTED. THE CONTRACTOR SHALL TREAT THE FOOTING DESIGN AS A VARIABLE QUANTITY BECAUSE THE FOOTING SIZES AND REINFORCING MAY CHANGE FROM WHAT IS SHOWN.
7. THE MODULAR BUILDING DESIGNER SHALL BE RESPONSIBLE FOR DESIGNING THE SUPER STRUCTURE (RAFTERS, BEAMS, STUDS, COLUMNS, DIAPHRAGMS, SHEAR WALLS, AND DRAG STRUTS, ETC.) ABOVE THE FOUNDATION IN ADDITION TO THE SIZE AND QUANTITY OF ALL ANCHOR BOLTS. THE MODULAR BUILDING DESIGNER SHALL BE HIRED AND PAID FOR BY THE CONTRACTOR. THE COST OF THE WORK FOR THE MODULAR BUILDING DESIGN SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

DESIGN CRITERIA

1. CODES: 2006 INTERNATIONAL BUILDING CODE. MODULAR BUILDINGS SHALL BE DESIGNED ACCORDING TO THESE VALUES.
2. FOUNDATION DESIGN CRITERIA
- |                         |          |
|-------------------------|----------|
| ALLOWABLE BEARING       | 3000 PSF |
| PASSIVE RESISTANCE      | 300 PCF  |
| COEFFICIENT OF FRICTION | 0.4      |
3. SEISMIC LATERAL FORCES
- |                           |       |
|---------------------------|-------|
| SITE CLASS                | D     |
| OCCUPANCY CATEGORY        | II    |
| SEISMIC DESIGN CATEGORY   | D     |
| SEISMIC IMPORTANCE FACTOR | 1.0   |
| MAPPED SPECTRAL RESPONSE  |       |
| S <sub>a</sub>            | 0.192 |
| S <sub>1</sub>            | 0.209 |
| S <sub>D5</sub>           | 0.623 |
| S <sub>D1</sub>           | 0.215 |
- WIND
- |                                    |         |
|------------------------------------|---------|
| BASIC WIND SPEED (3 SECOND GUST)   | 105 MPH |
| WIND IMPORTANCE FACTOR I           | 1.0     |
| WIND EXPOSURE                      | C       |
| K <sub>zt</sub> TOPOGRAPHIC FACTOR | 1.1     |
| K <sub>d</sub>                     | 0.80    |
4. LIVE LOADS
- |                         |        |
|-------------------------|--------|
| ROOF                    | 20 PSF |
| OFFICE                  | 50 PSF |
| PARTITION LOAD (OFFICE) | 15 PSF |
| DECK                    | 50 PSF |

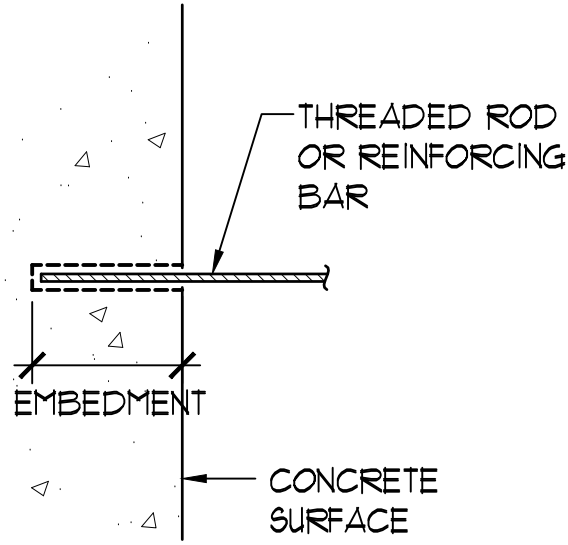
SPECIAL INSPECTION

1. ITEMS REQUIRING SPECIAL INSPECTION:
- REINFORCING STEEL (PERIODIC)
  - COMPLETE LOAD PATH AND UPLIFT TIES
2. NOTIFY SPECIAL INSPECTOR 4 WORKING DAYS PRIOR TO NEED OF INSPECTION SERVICES. WORK SHALL NOT PROCEED UNTIL SPECIAL INSPECTION HAS BEEN COMPLETED. CONTRACT SHALL CORRECT DEFECTIVE WORK AT NO ADDITIONAL COST TO THE OWNER AND PAY COST FOR RE-INSPECTION.
3. CONCRETE DESIGNED USING f'c=2500 PSI. SPECIAL INSPECTION NOT REQUIRED.
4. SPECIAL INSPECTOR IS REQUIRED TO BE CERTIFIED WITH THE INTERNATIONAL CODE COUNCIL AND DOES NOT HAVE TO BE A LICENSED STRUCTURAL ENGINEER.



TYPICAL EXTERIOR FOOTING (F1)

SC: 3/4"=1'-0"



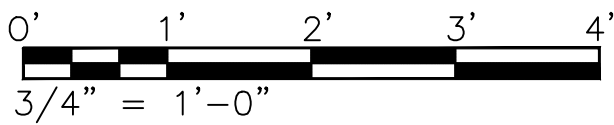
| THREADED ROD (REBAR) | DRILL BIT DIAMETER | MINIMUM EMBEDMENT |
|----------------------|--------------------|-------------------|
| 1/2" ( #4 )          | 5/8"               | 4"                |
| 5/8" ( #5 )          | 3/4"               | 6"                |
| 3/4" ( #6 )          | 7/8"               | 7"                |
| 7/8" ( #7 )          | 1"                 | 8"                |

NOTES:

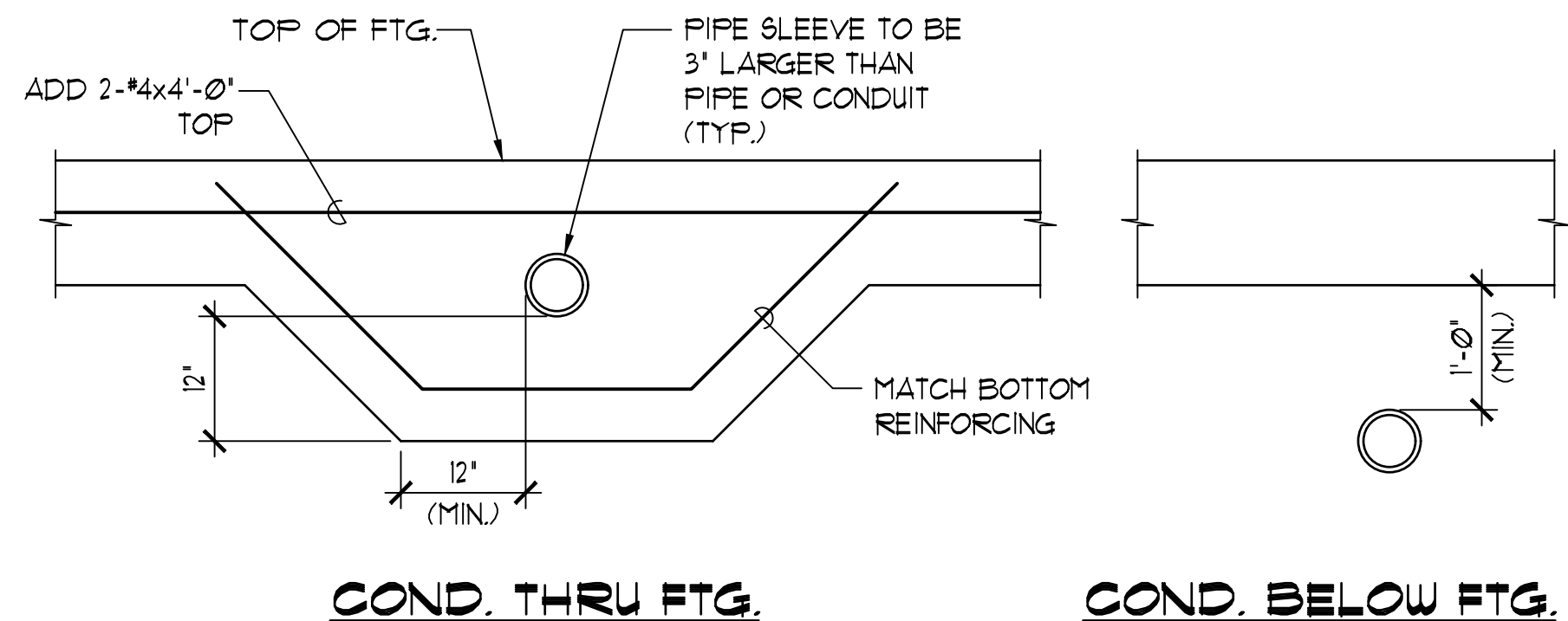
- A. PRE APPROVAL FOR SIMPSON STRONG TIE SET-XP EPOXY TIE ADHESIVE. ALL SUBSTITUTION REQUEST SHALL BE SUBMITTED WITH CURRENT ICC-ES REPORT TO ENGINEER FOR REVIEW AND APPROVAL.
- B. ALL THREAD ROD SHALL BE CARBON STEEL CONFORMING TO ASTM F1554, GRADE 36 HOT DIP GALVANIZED. REINFORCING BAR SHALL BE ASTM A615 GRADE 60.
- C. PRE DRILL HOLE WITH DRILL BIT COMPLYING WITH ANSI B312.15-1994.
- D. CLEAN HOLE WITH OIL FREE COMPRESSED AIR (80 PSI MINIMUM) AND NYLON BRUSH.
- E. FILL HOLE HALF TO TWO THIRDS FULL WITH ADHESIVE STARTING FROM BOTTOM, THEN INSERT ANCHOR TO BOTTOM OF HOLE AND TWIST CLOCKWISE TO ENSURE ADHESIVE COVERS THE ANCHOR SURFACE. ADHESIVE MUST BE LEVEL WITH CONCRETE SURFACE AFTER INSERTION OF ANCHOR.
- F. ANCHOR INSTALLATION REQUIRES SPECIAL INSPECTION.

EPOXY ANCHOR DETAIL

NO SCALE



|  |      |             |         |          |
|--|------|-------------|---------|----------|
|  |      |             |         |          |
|  |      |             |         |          |
| REVISION   | DATE | DESCRIPTION | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |             |         |          |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |
| GENERAL NOTES  |      |             |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |      |             |         |          |
| JUNE 2019  |      |             |         |          |

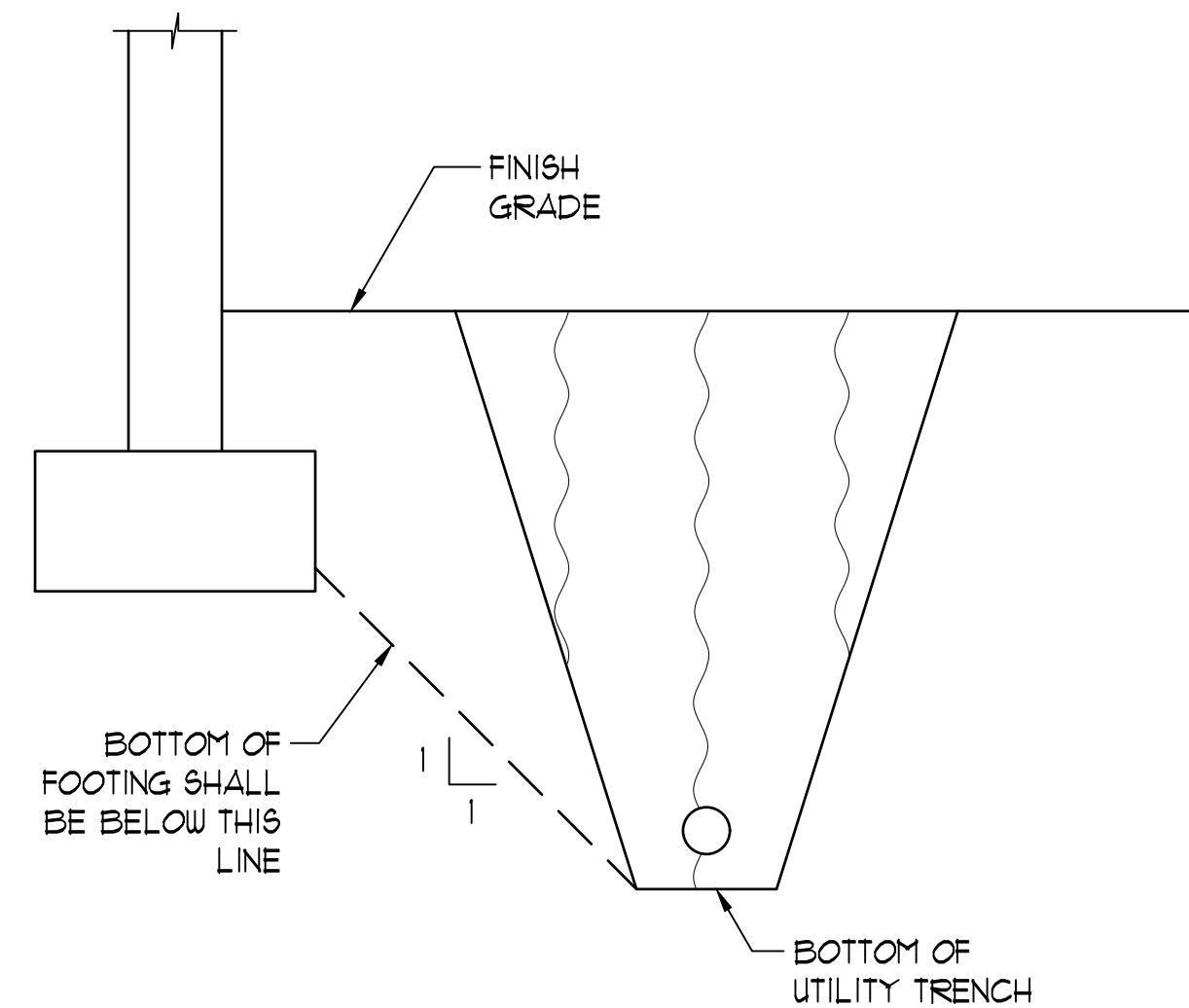


**TYPICAL PIPES & CONDUITS AT FOOTING DETAIL**

SC: 3/4" = 1'-0"

**A**

S101

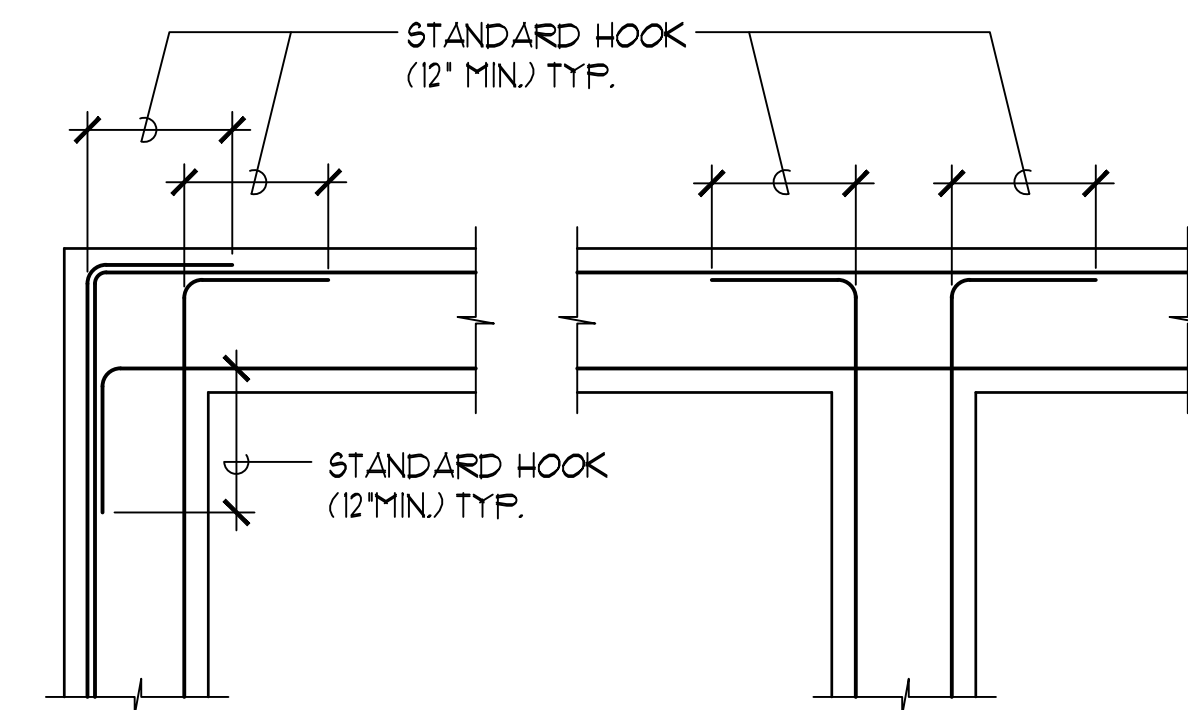


**FOOTING ADJACENT TO UTILITY TRENCH**

NO SCALE

**B**

S101



**COND. AT CORNER**

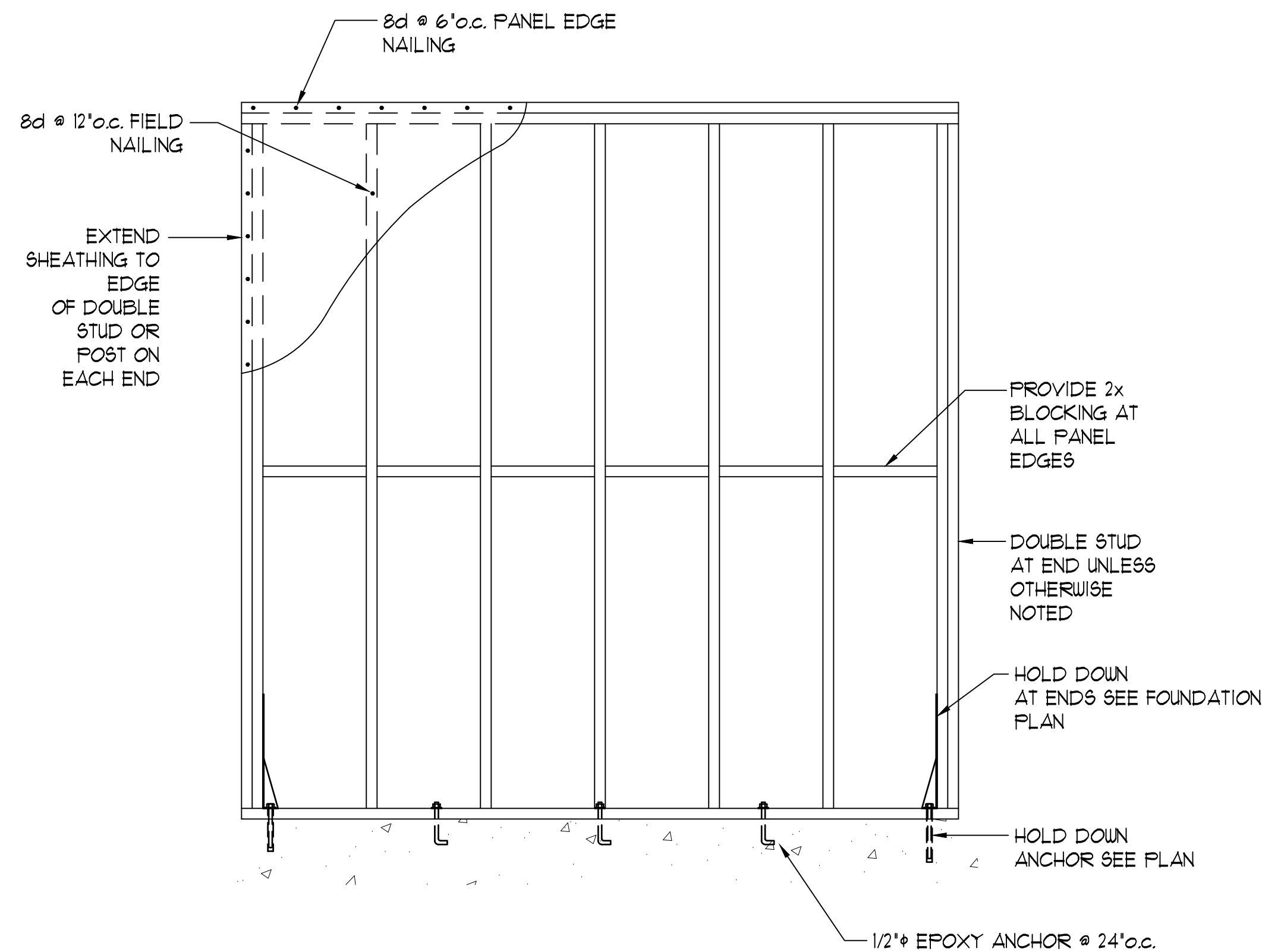
**COND. AT INTERSECTION**

**TYP. REINFORCING  
PLAN FOR CONC. FOOTINGS**

NOT TO SCALE

**C**

S101



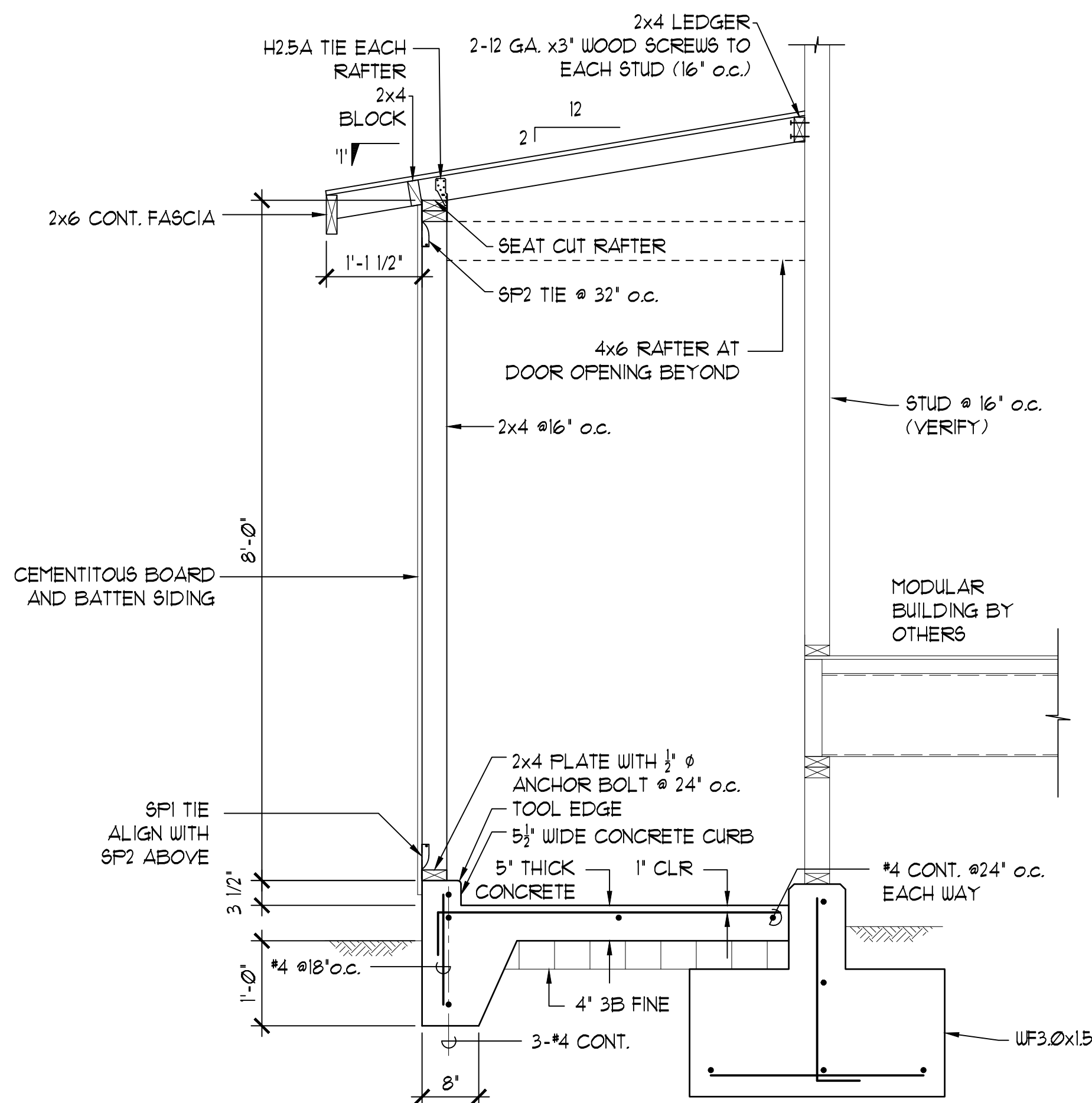
**SCHEMATIC SHEAR WALL ELEVATION**

**SHEAR WALL DETAILS**

NO SCALE

**D**

S101

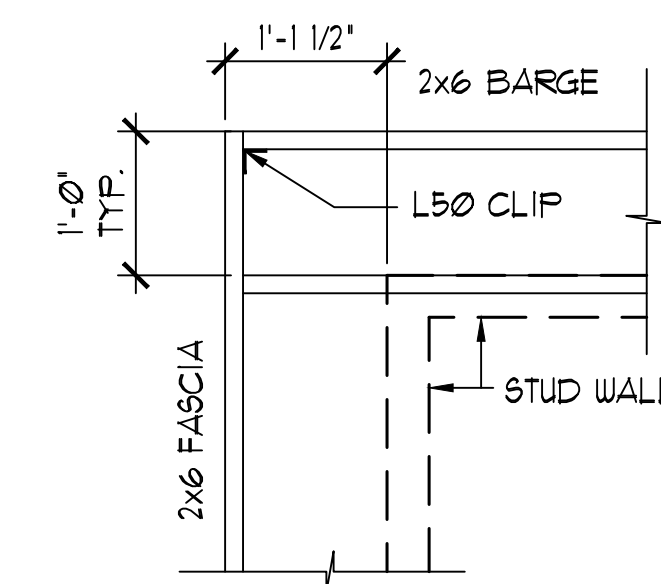


**SECTION THROUGH WATER HEATER CLOSET**

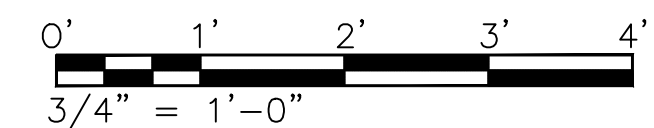
NO SCALE

**E**

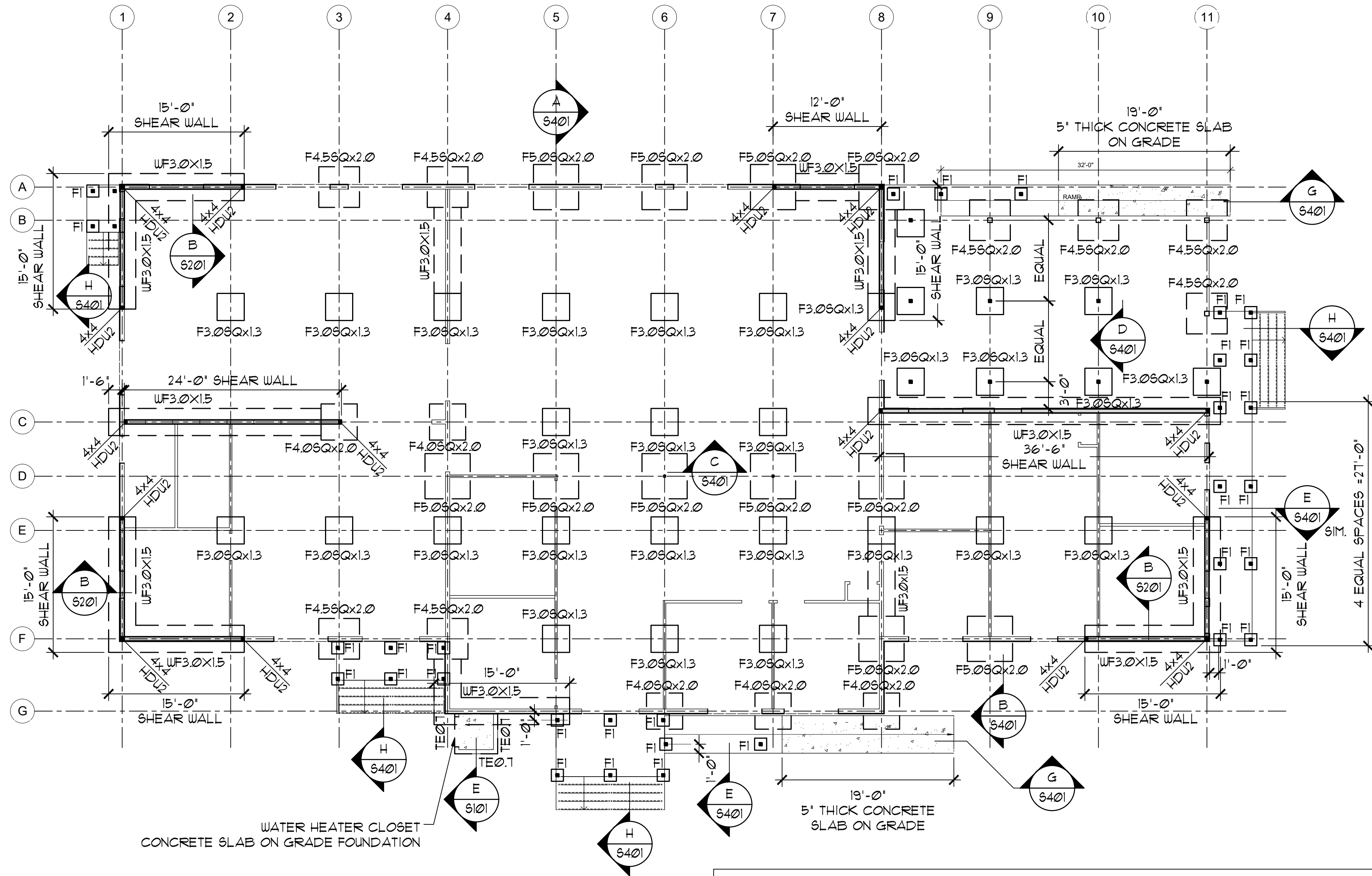
S101



**1" PLAN - RAFTERS AT CORNER**



| REVISION   | DATE | DESCRIPTION | MADE BY | APPROVED |
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|  |      |             |         |          |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |             |         |          |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |
| TYPICAL DETAILS  |      |             |         |          |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |      |             |         |          |
| JUNE 2019  |      |             |         |          |

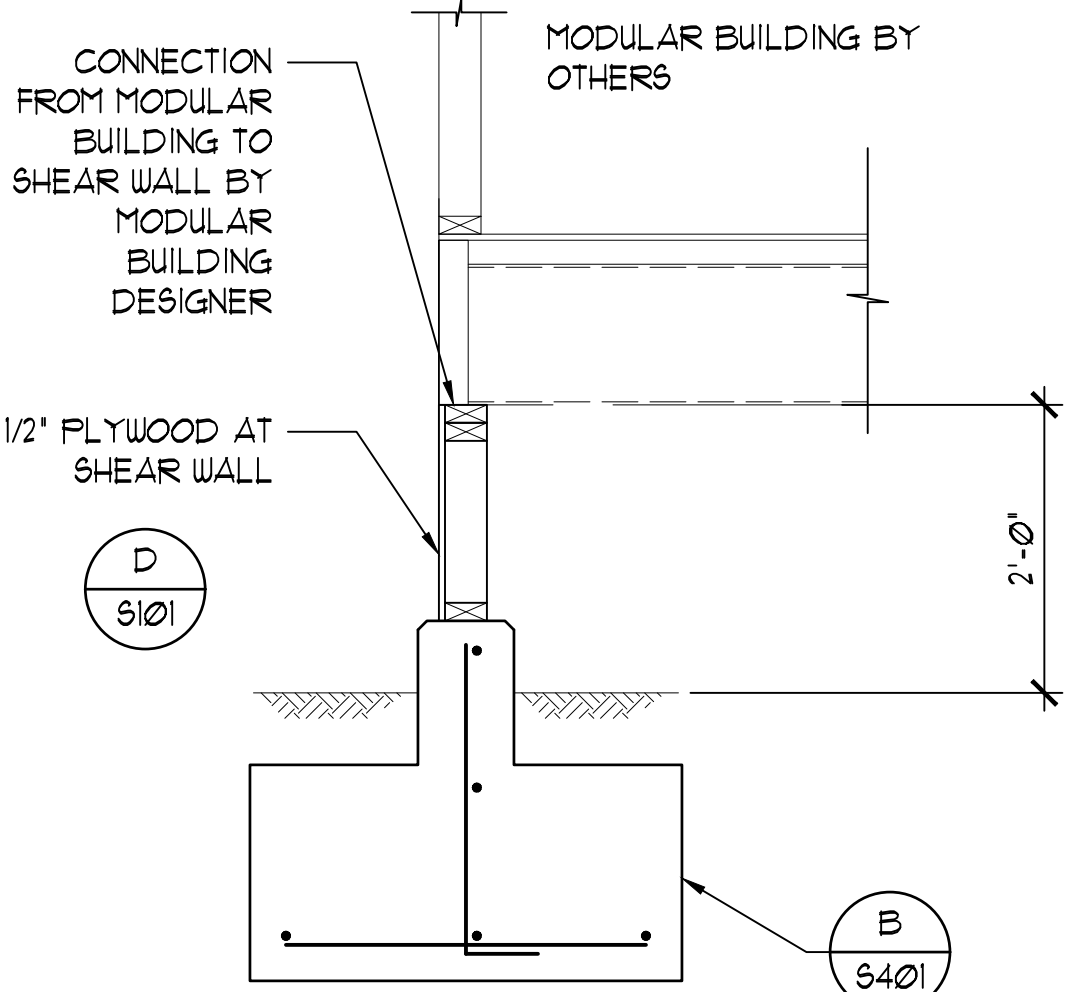


- NOTES:
- MODULAR BUILDING ROOF AND FLOOR FRAMING BY OTHERS
  - SHEAR WALL INDICATES 1/2" THICK PLYWOOD SHEAR WALL BELOW THE BUILDING.

## FOUNDATION PLAN

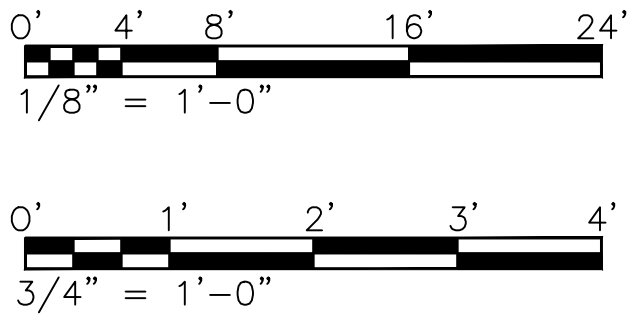
SC: 1/8"=1'-0"

| FOOTING SCHEDULE |           |       |           |                                       |                 |                  |
|------------------|-----------|-------|-----------|---------------------------------------|-----------------|------------------|
| MARK             | LENGTH    | WIDTH | THICKNESS | BOTTOM REINFORCING                    | TOP REINFORCING | NOTE             |
| FI               | 16"       | 16"   | 1'-6"     | --                                    | --              | PRECAST CONCRETE |
| F3.0SQx1.3       | 3'-0"     | 3'-0" | 1'-4"     | 4-#4 EACH WAY                         | --              |                  |
| F4.0SQx2.0       | 4'-0"     | 4'-0" | 2'-0"     | 6-#4 EACH WAY                         | 6-#4 EACH WAY   |                  |
| F4.5SQx2.0       | 4'-6"     | 4'-6" | 2'-0"     | 6-#4 EACH WAY                         | 6-#4 EACH WAY   |                  |
| F5.0SQx2.0       | 5'-0"     | 5'-0" | 2'-0"     | 5-#5 EACH WAY                         | 5-#5 EACH WAY   |                  |
| WF3.0x1.5        | VARIABLES | 3'-0" | 1'-6"     | 3-#4 CONT. LONG<br>#4 @12" O.C. SHORT | --              |                  |



## SHEAR WALL FOOTING

SC: 3/4"=1'-0"



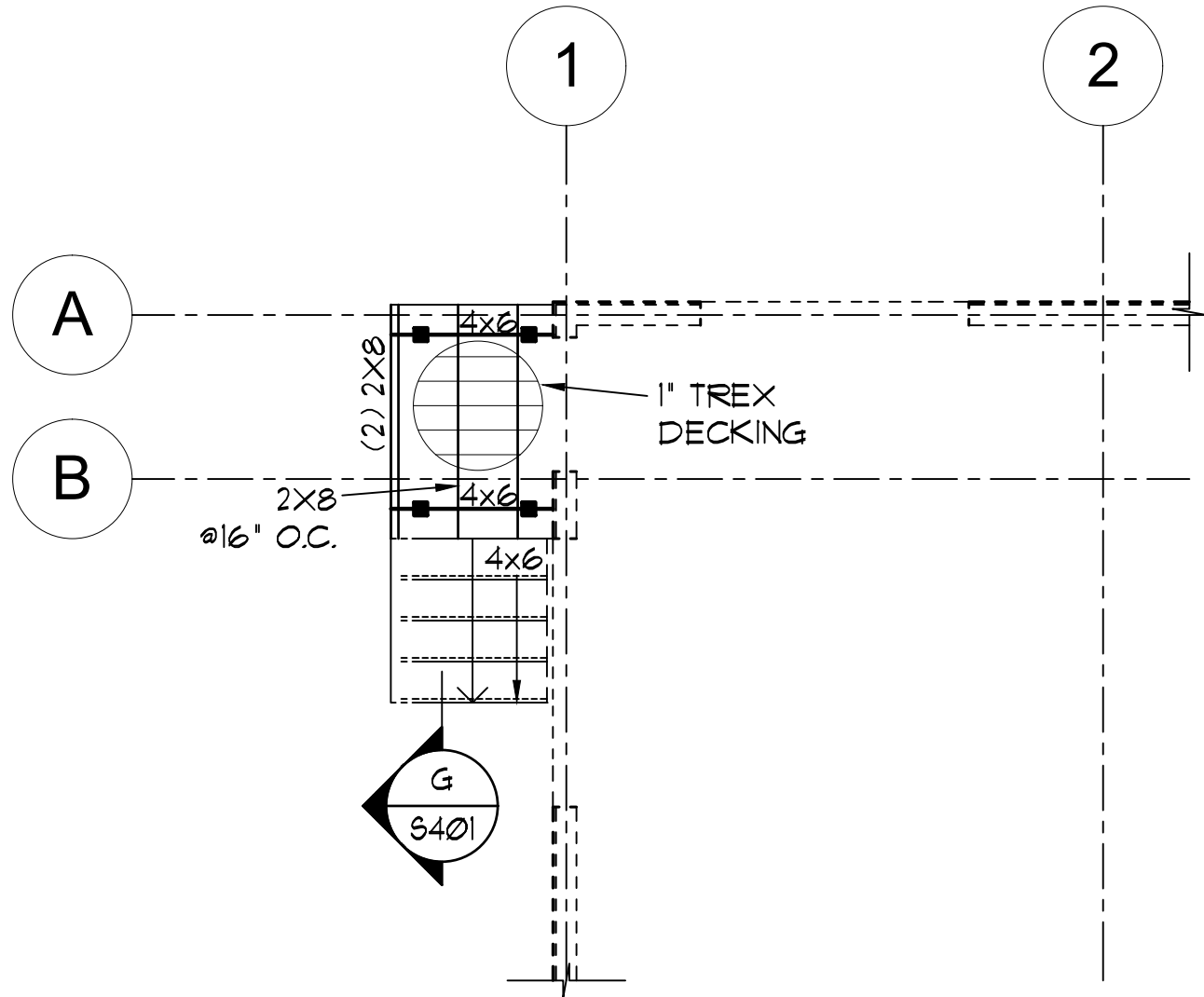
DWG. NO.  
**S201**  
SHEET 430F 57

|  |      |             |         |          |
|--|------|-------------|---------|----------|
| REVISION   | DATE | DESCRIPTION | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |             |         |          |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |
| FOUNDATION PLAN  |      |             |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |      |             |         |          |
| JUNE 2019  |      |             |         |          |

FILE: D:\HHL\_Hoolehua Vet Homestead Center Structural.dwg  
DATE REV: 11/05/2018

## PARTIAL DECKING FRAMING PLAN

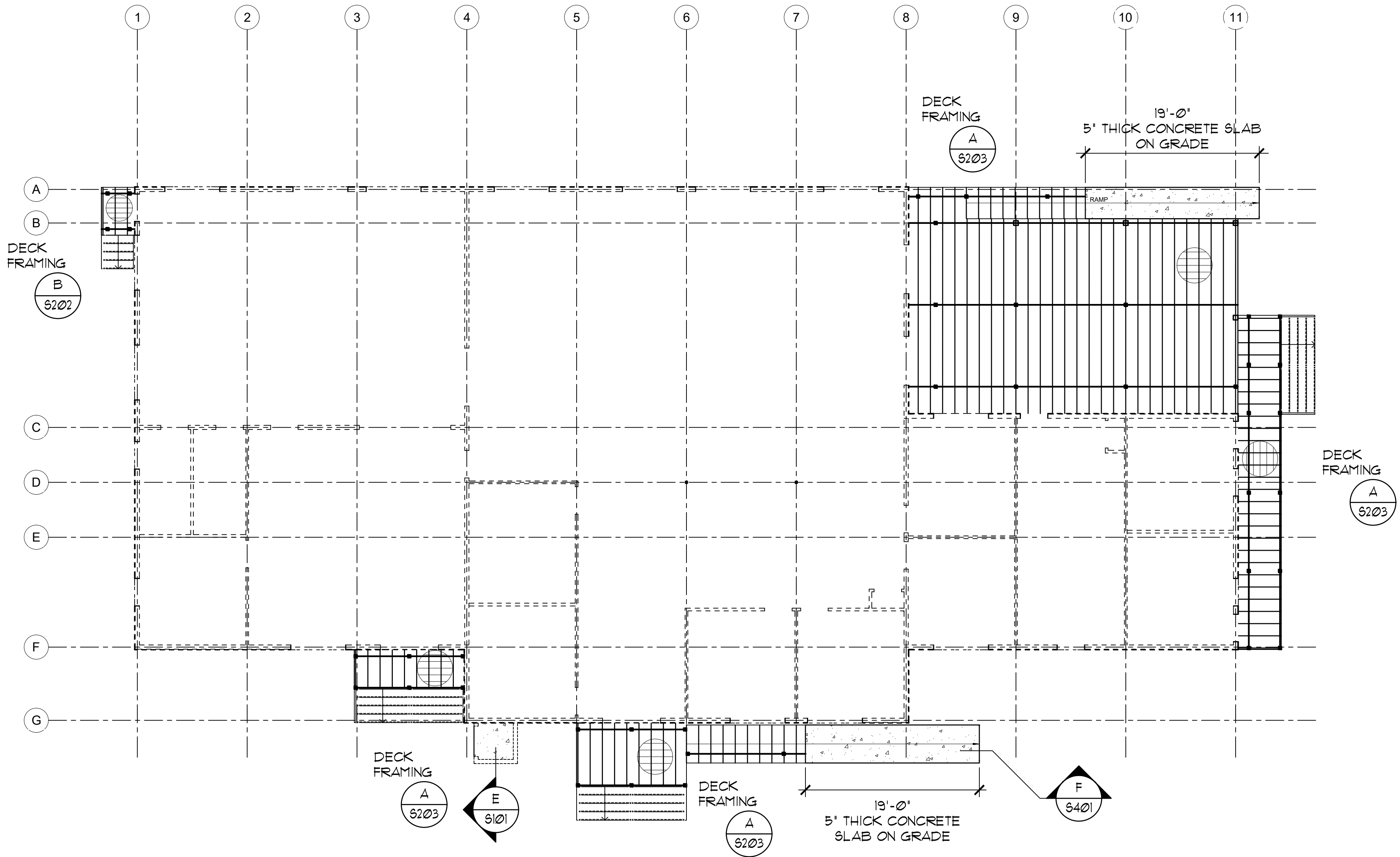
SC: 1/4"=1'-0"



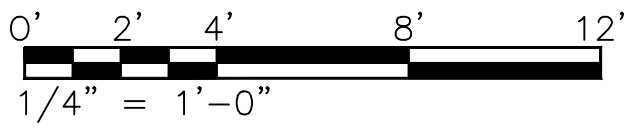
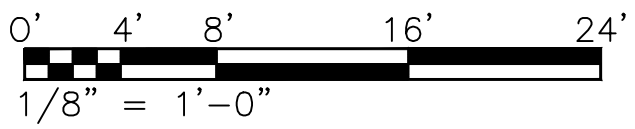
**B**  
S202

## DECK FRAMING PLAN

SC: 1/8"=1'-0"



**A**  
S202



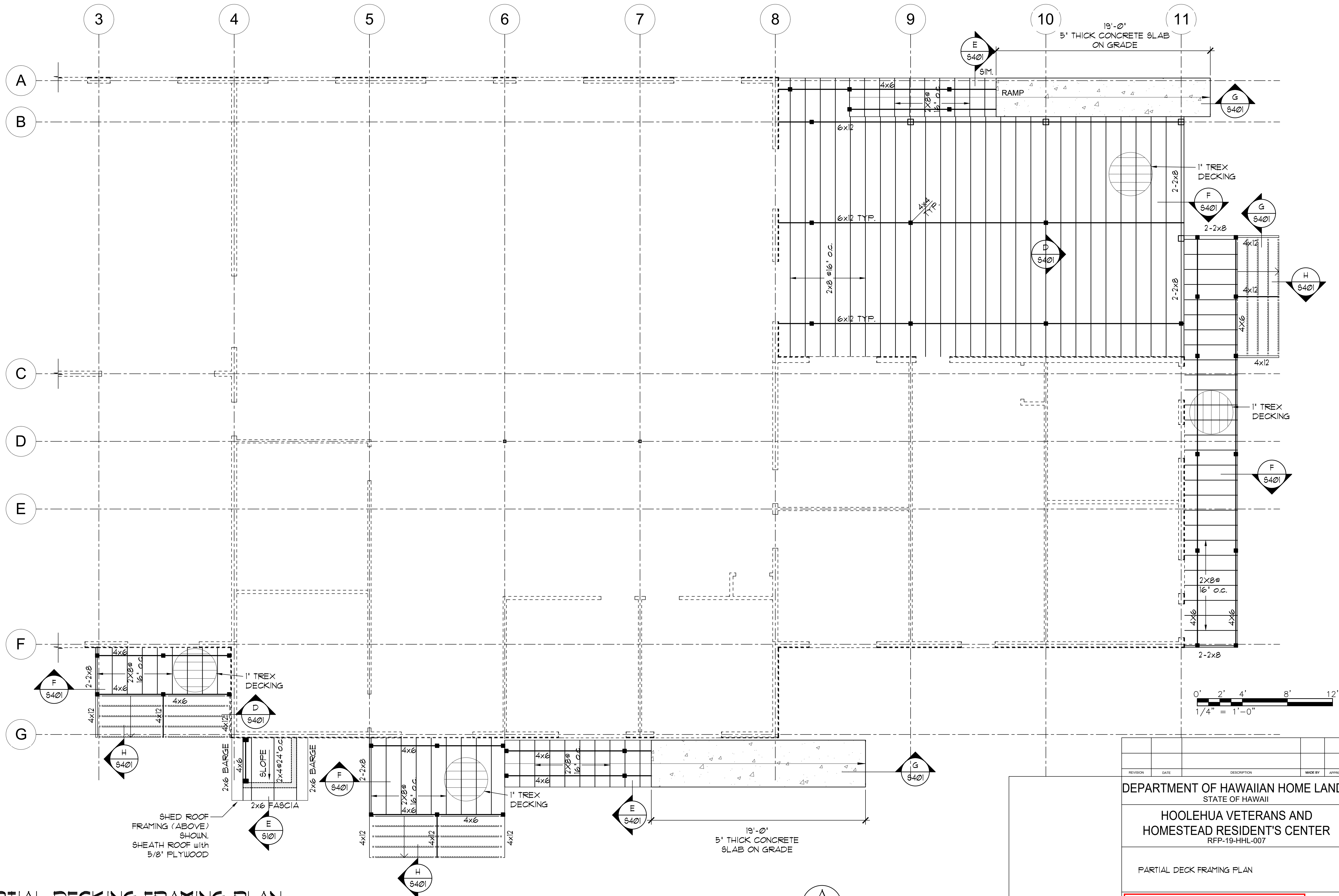
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|--|------|-------------|---------|----------|--|
|  |      |             |         |          |  |
| REVISION   | DATE | DESCRIPTION | MADE BY | APPROVED |  |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |             |         |          |  |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |  |
| DECK FRAMING PLAN  |      |             |         |          |  |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |      |             |         |          |  |
| JUNE 2019  |      |             |         |          |  |

DWG. NO.  
**S202**  
SHEET 44 OF 57

FILE: D:\HHL Hoolehua Vet Homestead Center Structural.dwg  
DATE REV: 11/05/2018

# PARTIAL DECK FRAMING PLAN

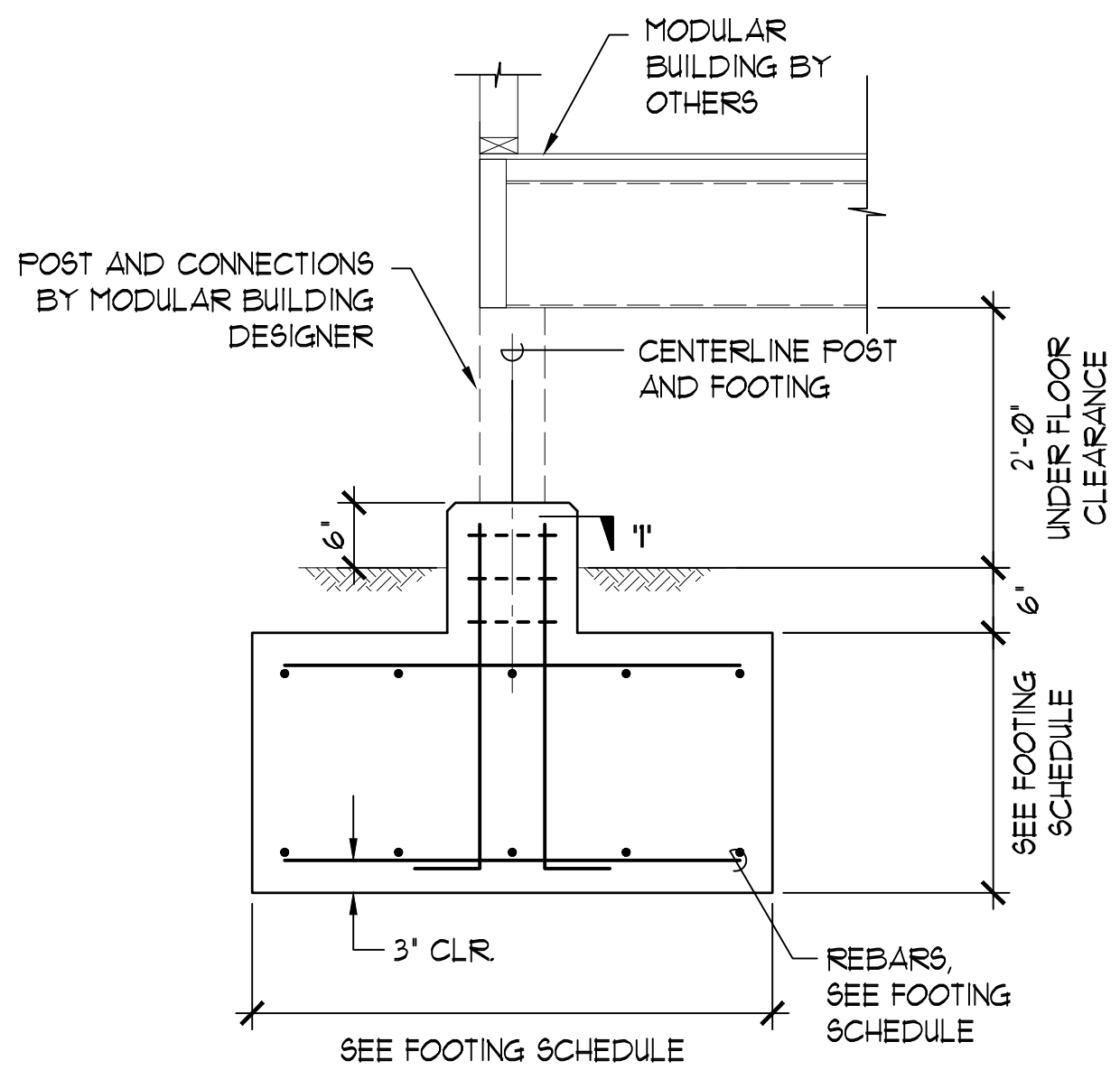
SC: 1/4"=1'-0"



|  |  |      |             |         |          |
|--|--|------|-------------|---------|----------|
| REVISION   |  | DATE | DESCRIPTION | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |  |      |             |         |          |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |  |      |             |         |          |
| PARTIAL DECK FRAMING PLAN  |  |      |             |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |  |      |             |         |          |
| JUNE 2019  |  |      |             |         |          |

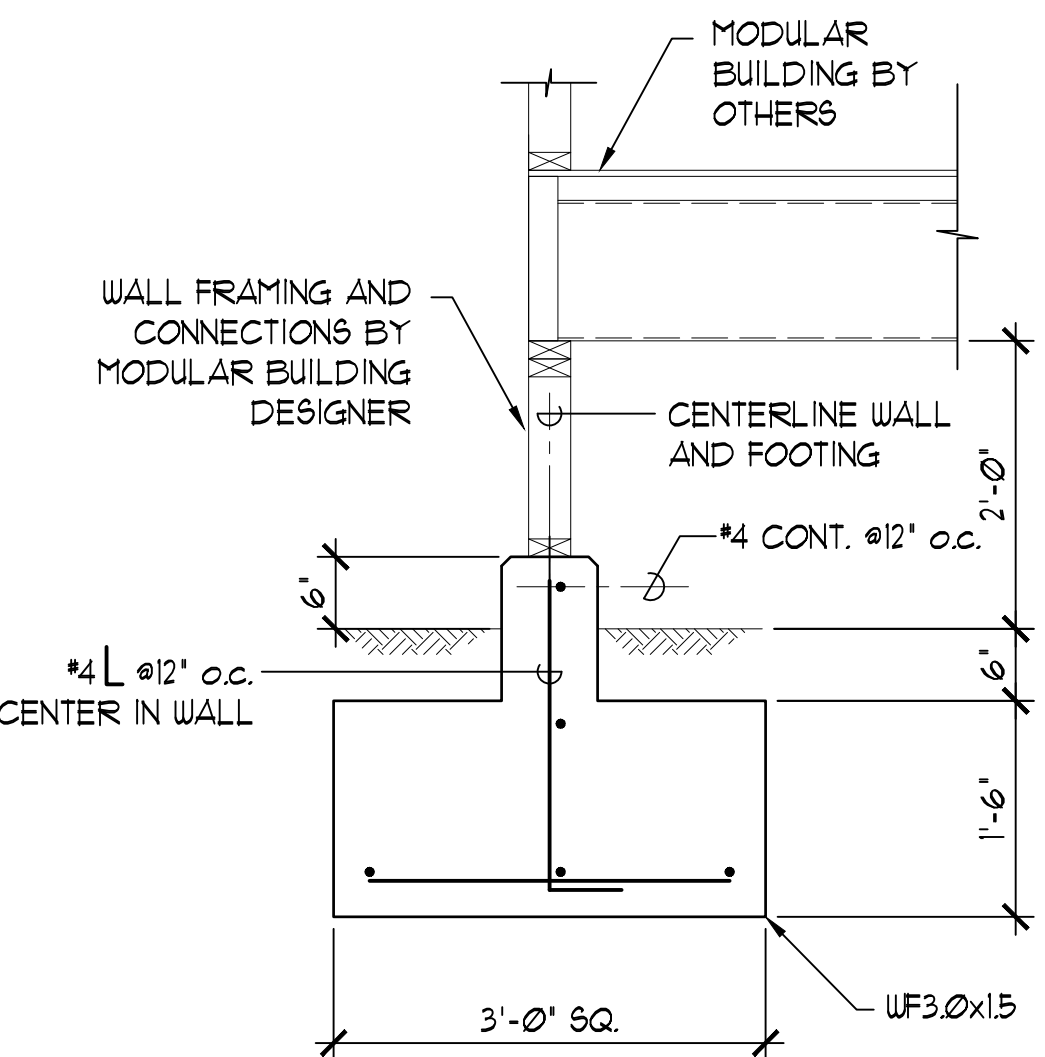
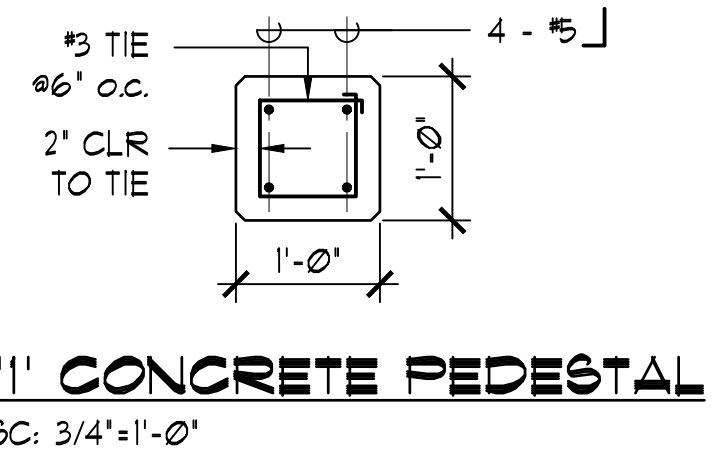
DWG. NO.  
**S203**  
SHEET 45 OF 57

FILE: D:\HLL Hoolehua Vet Homestead Center Structural.dwg  
DATE REV: 11/05/2018



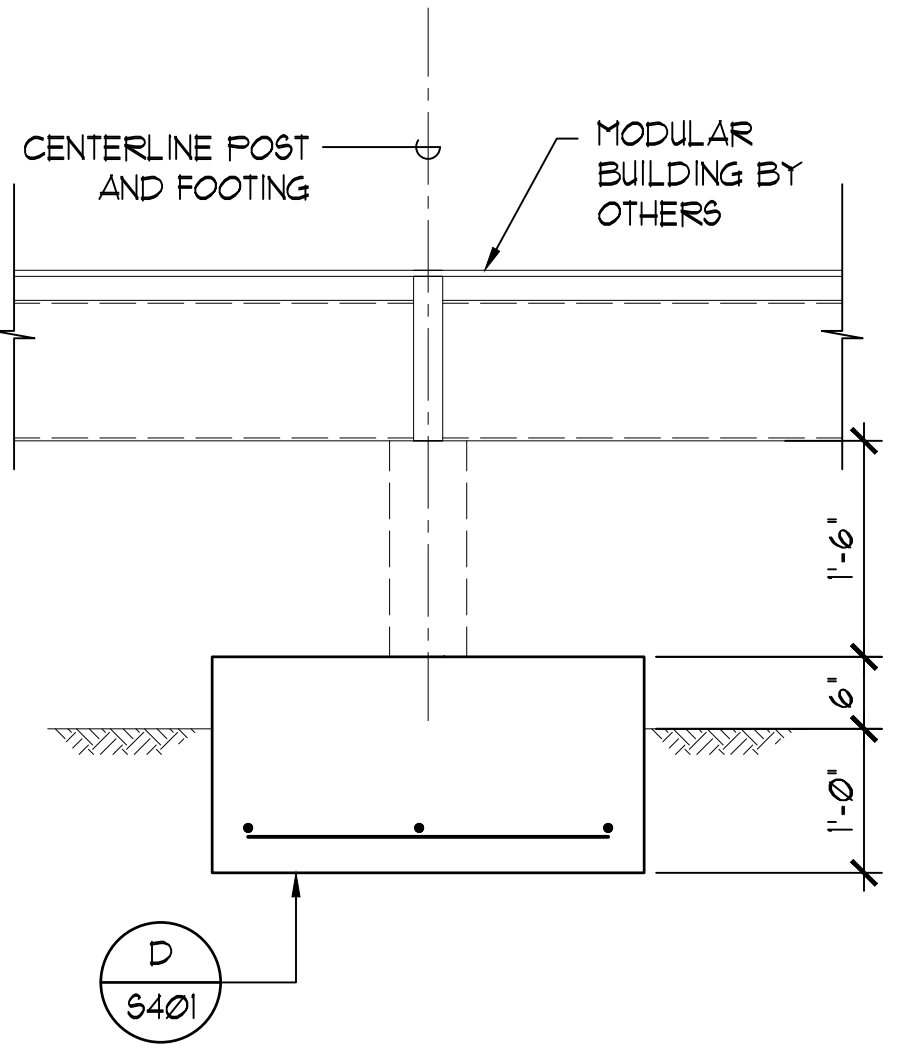
**TYPICAL PETIMETER SPOT FOOTING**  
SC: 3/4"=1'-0"

A  
S401



**TYPICAL PETIMETER WALL FOOTING**  
SC: 3/4"=1'-0"

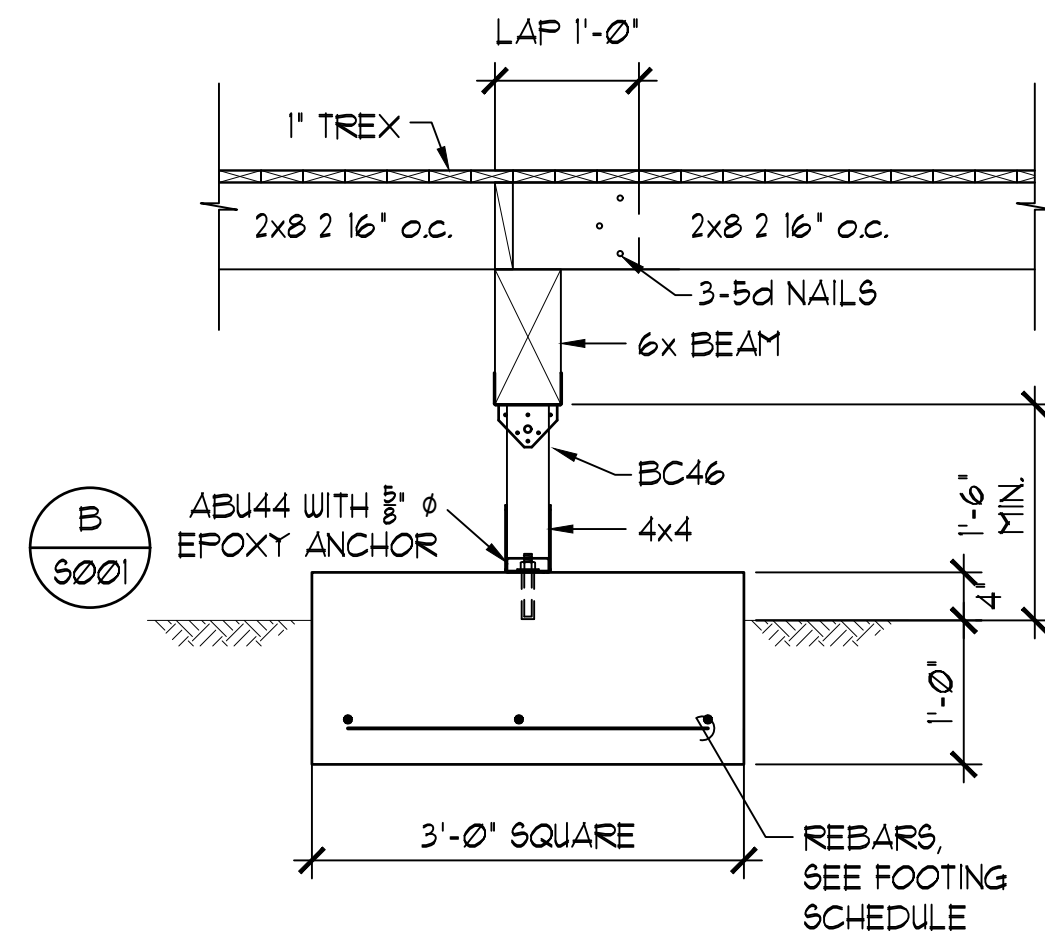
B  
S401



NOTE:  
FOR FOOTING DIMENSIONS AND  
REINFORCING SEE FOOTING  
SCHEDULE ON A/S202

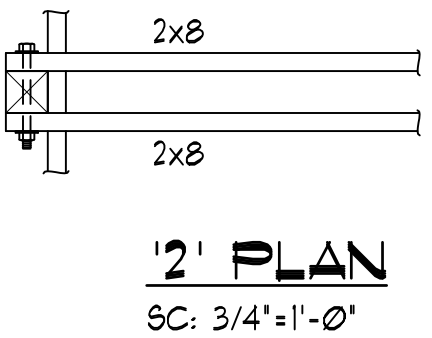
**TYPICAL INTERIOR SPOT FOOTING**  
SC: 3/4"=1'-0"

C  
S401

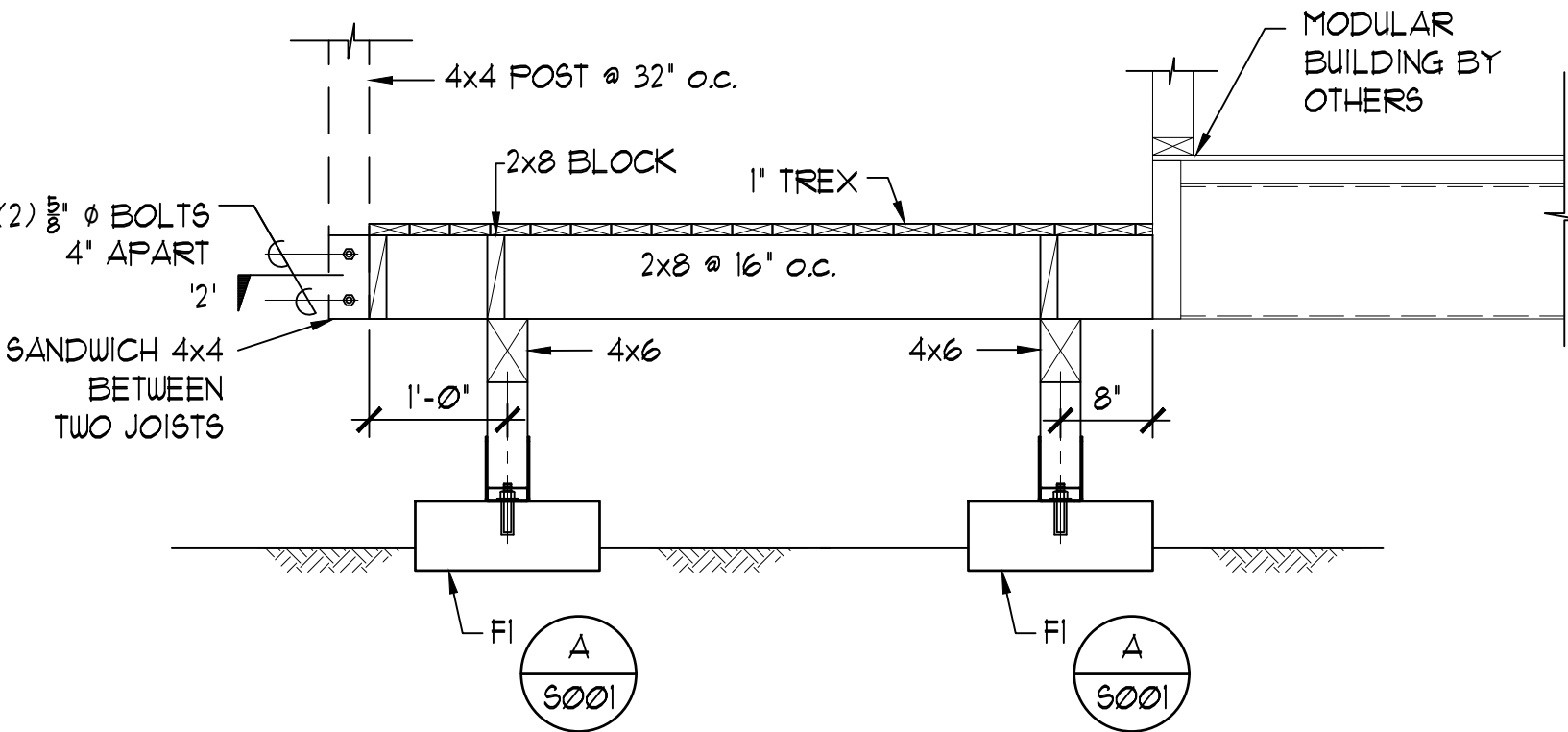


**F3.06Qx1.3 INTERIOR SPOT FOOTING AT DECK**  
SC: 3/4"=1'-0"

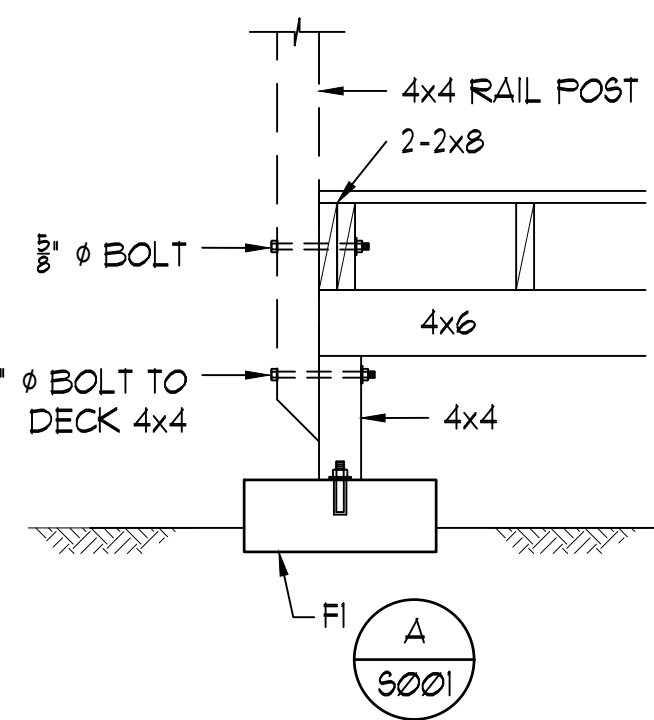
D  
S401



**SECTION AT RAMP**  
SC: 3/4"=1'-0"

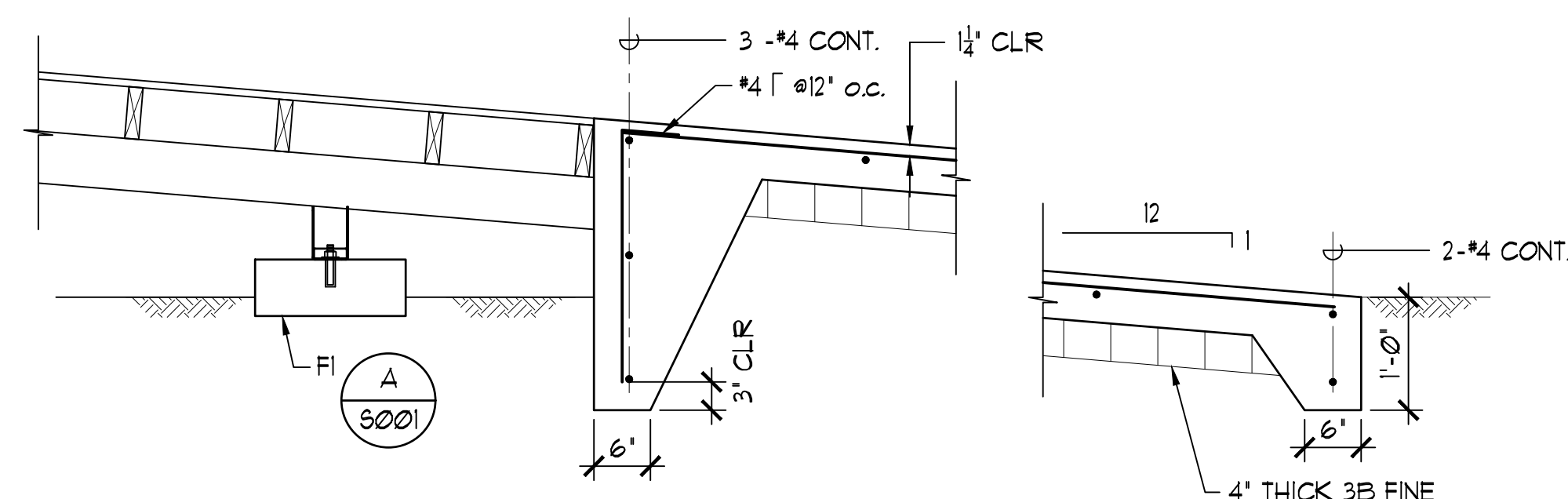


E  
S401



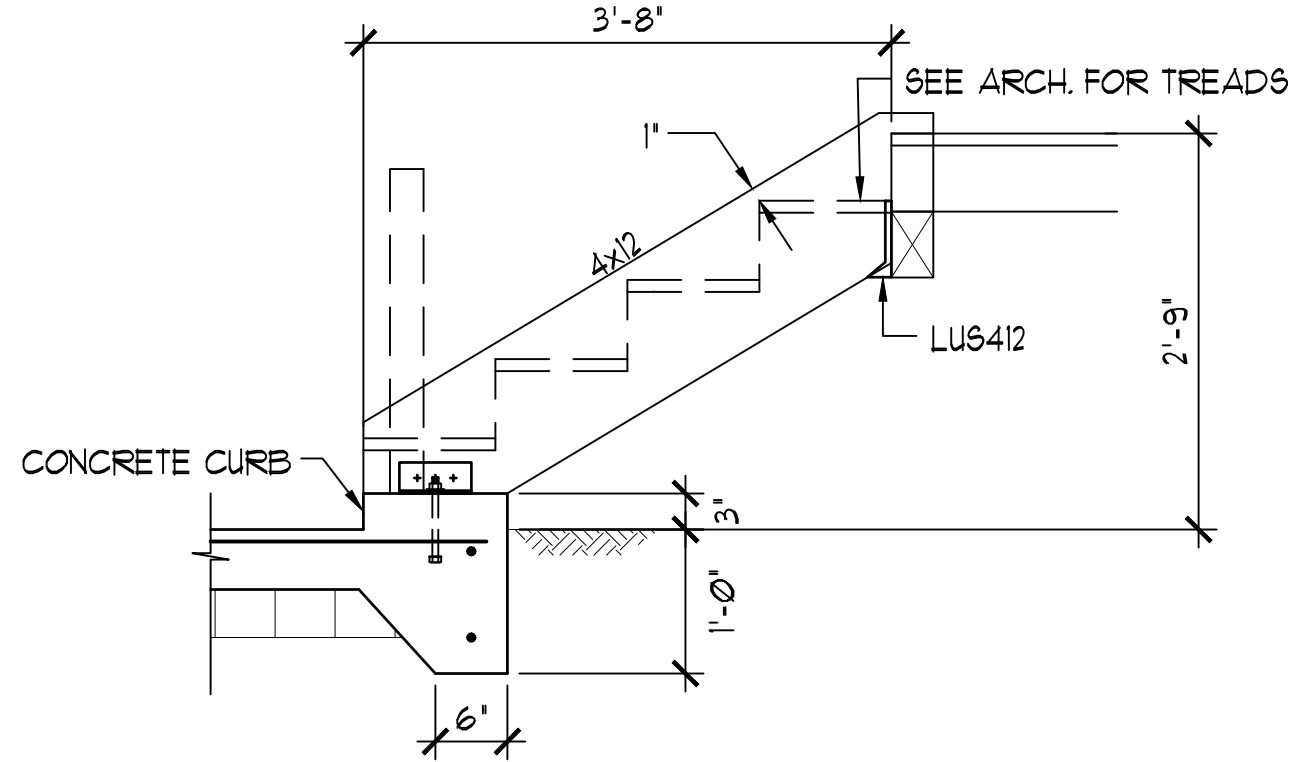
**DETAIL**  
SC: 3/4"=1'-0"

F  
S401



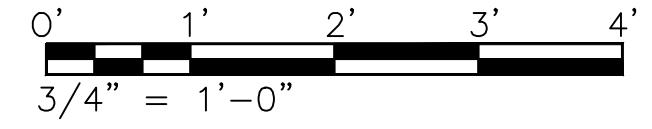
**SECTION AT RAMP**  
SC: 3/4"=1'-0"

G  
S401



**SECTION AT STAIRS**  
SC: 3/4"=1'-0"

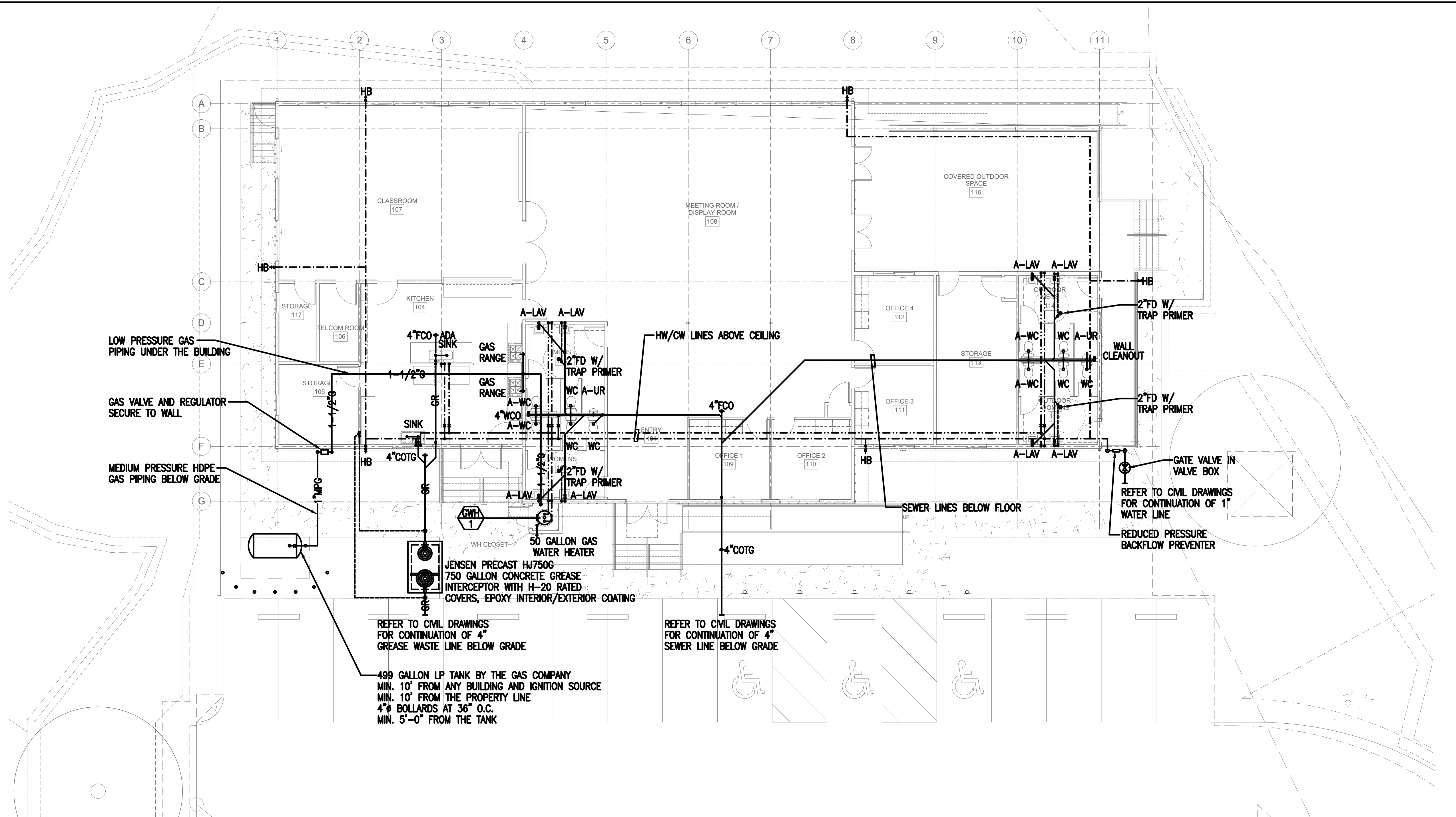
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S401



| REVISION   | DATE | DESCRIPTION | MADE BY | APPROVED |
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|  |      |             |         |          |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |             |         |          |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |
| DETAILS  |      |             |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |      |             |         |          |
| JUNE 2019  |      |             |         |          |

DWG. NO.  
**S401**  
SHEET 46 OF 57

FILE: 19-10\_DHHH\_m1.dwg  
DATE REV.: 6/05/2019



## MECHANICAL LEGEND

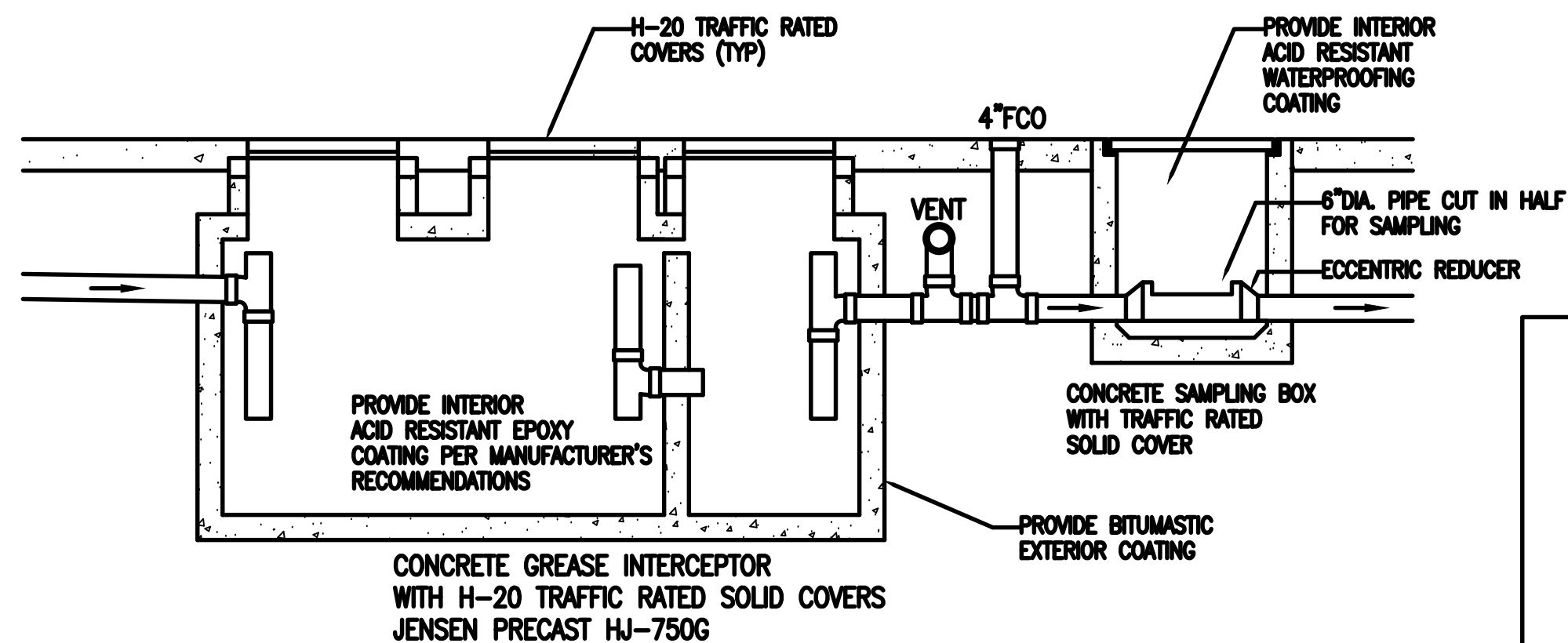
HW HOT WATER  
CW COLD WATER  
S SEWER  
V VENT  
GR GREASE WASTE  
A ACCESSIBLE  
LAV LAVATORY  
UR URINAL  
WC WATER CLOSET  
WCO WALL CLEANOUT  
COTG CLEANOUT TO GRADE  
HB HOSEBIBB  
EXH EXHAUST  
GWH GAS WATER HEATER

FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH NFPA 1 2012 EDITION

## FLOOR PLAN - PLUMBING

SCALE: 1/8" = 1'-0"

|   |                              |
|---|------------------------------|
| COUNTY OF MAUI<br>MAUI COUNTY CODE, CHAPTER 16.16A ENERGY CODE                                    |                              |
| To the best of my knowledge, this project's design substantially conforms to the Energy Code for: |                              |
| <input type="checkbox"/>  | Building Component Systems   |
| <input type="checkbox"/>  | Electrical Component Systems |
| <input checked="" type="checkbox"/>   | Mechanical Component Systems |
| Signature: <i>R. H. Muryama</i>   | Date: 04/25/18               |
| Name: Randolph H. Muryama, P.E.   |                              |
| Title: Mechanical Engineer  |                              |
| License No.: 3404-M   |                              |



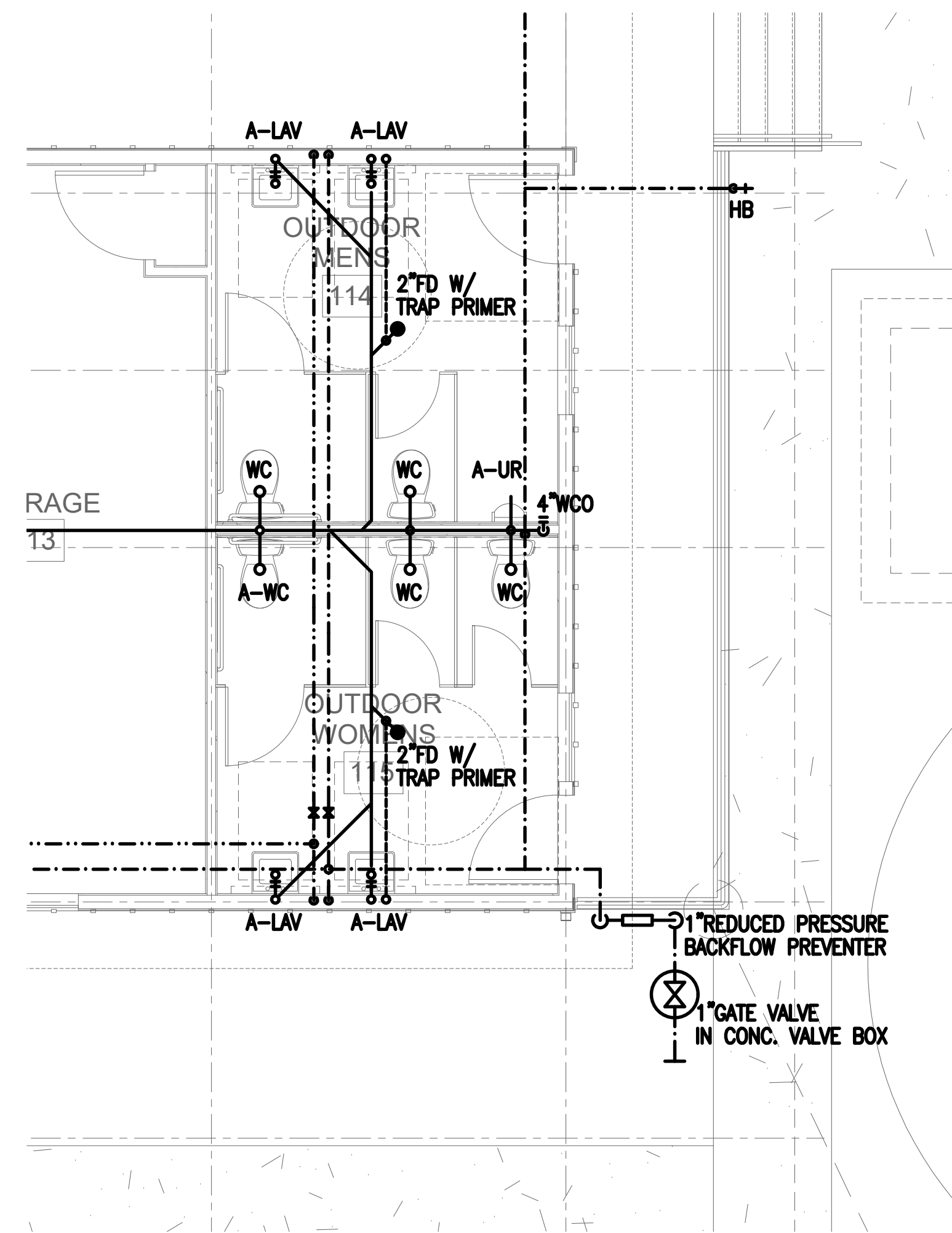
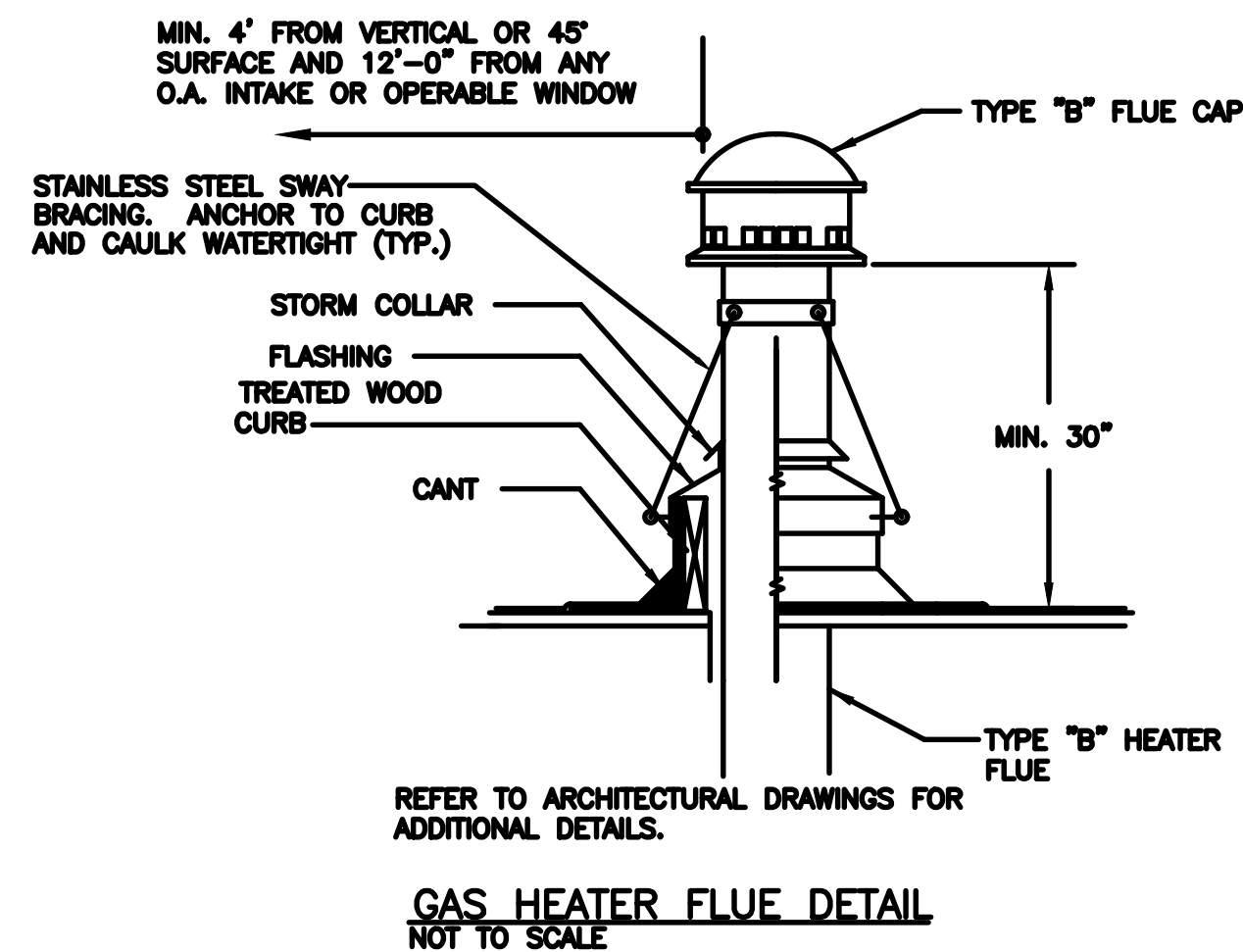
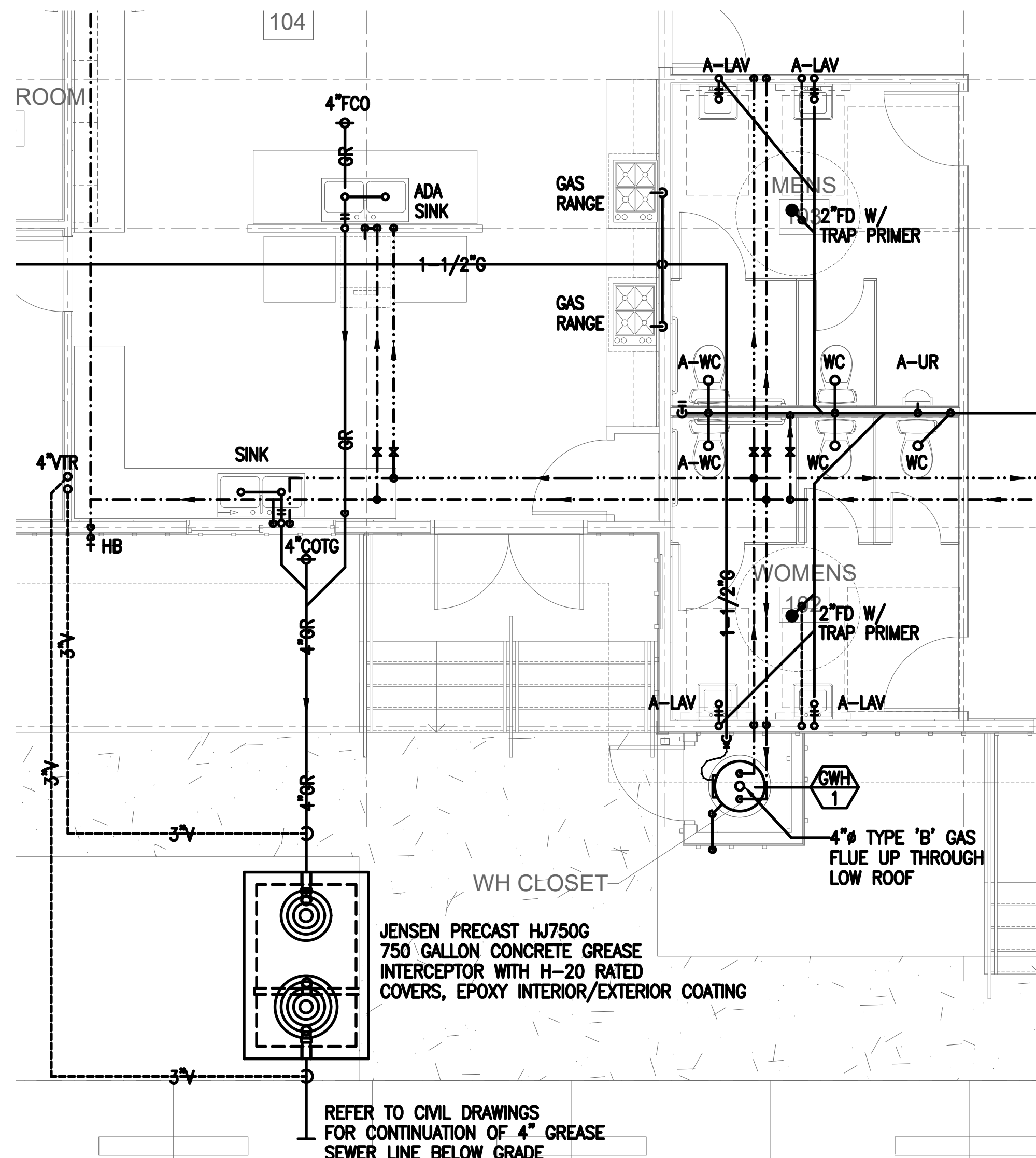
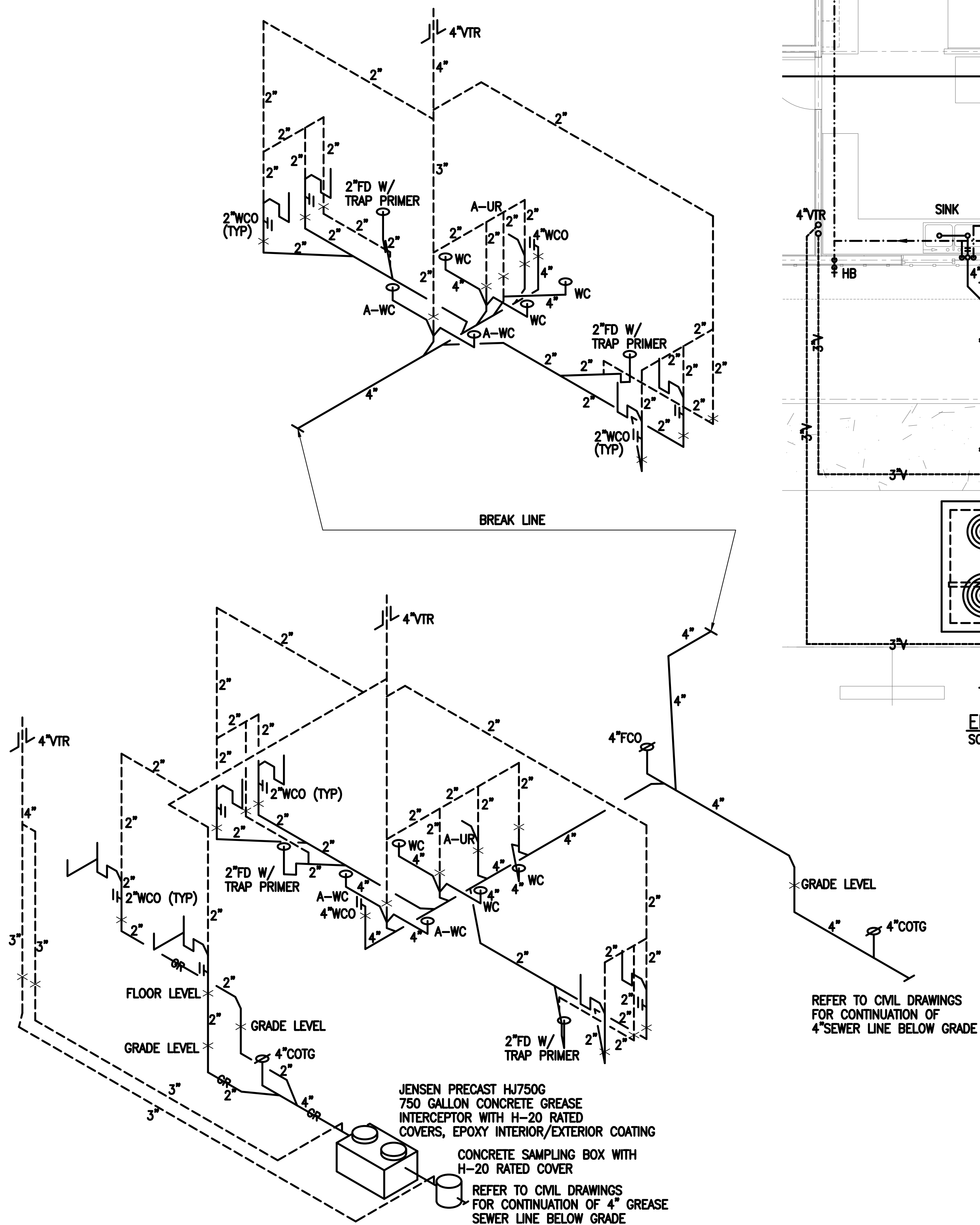
## GREASE INTERCEPTOR SECTION

SCALE: NONE

DWG. NO.  
**M100**  
SHEET 47 OF 57

|  |      |             |         |          |
|--|------|-------------|---------|----------|
| REVISION   | DATE | DESCRIPTION | MADE BY | APPROVED |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |             |         |          |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |
| FLOOR PLAN - PLUMBING<br>MECHANICAL LEGEND                             |      |             |         |          |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |      |             |         |          |
| JUNE 2019  |      |             |         |          |

19-10.DHHL.mxd  
DATE REV: 8/15/2019



ENLARGED SCALE PLAN - PLUMBING  
SCALE: 1/4" = 1'-0"

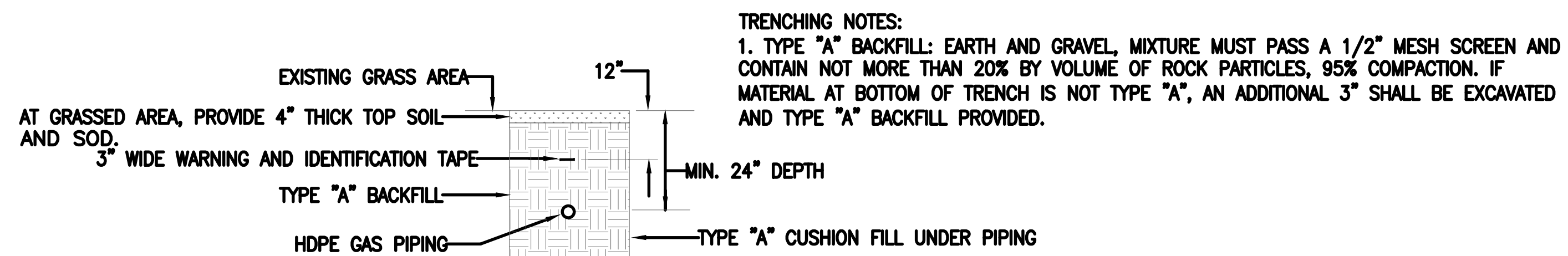
MECHANICAL EQUIPMENT SCHEDULE:

- EF-1:  
GREENHECK SQ-95, DIRECT DRIVE IN-LINE CENTRIFUGAL, 16"x16"x16"  
MAX OVERALL DIMENSIONS, 115V/1PH/60HZ, 1/6 HP, INSULATED CASING  
INTERLOCK W/BATHROOM LIGHT SWITCH
- EF-2: SAME AS EF-1
- EF-3: SAME AS EF-1
- EF-4: SAME AS EF-1
- EF-K:  
GREENHECK SQ-95, DIRECT DRIVE IN-LINE CENTRIFUGAL, 16"x16"x16"  
MAX OVERALL DIMENSIONS, 115V/1PH/60HZ, 1/6 HP, INSULATED CASING  
INTERLOCK W/ADJUSTABLE THERMOSTAT SWITCH. PROVIDE RELAY,  
CONTROLLER AND RUN-TIMER TO PREVENT SHORT-CYCLING
- GWH-1:  
BRADFORD WHITE RG250T6N, LP FIRED, 35,000 BTUH INPUT, 50 GALLON CAPACITY  
43 GPH RECOVERY AT 90F RISE. MAX 24" DIAMETER. 115V/1PH/60HZ SPARK IGNITION

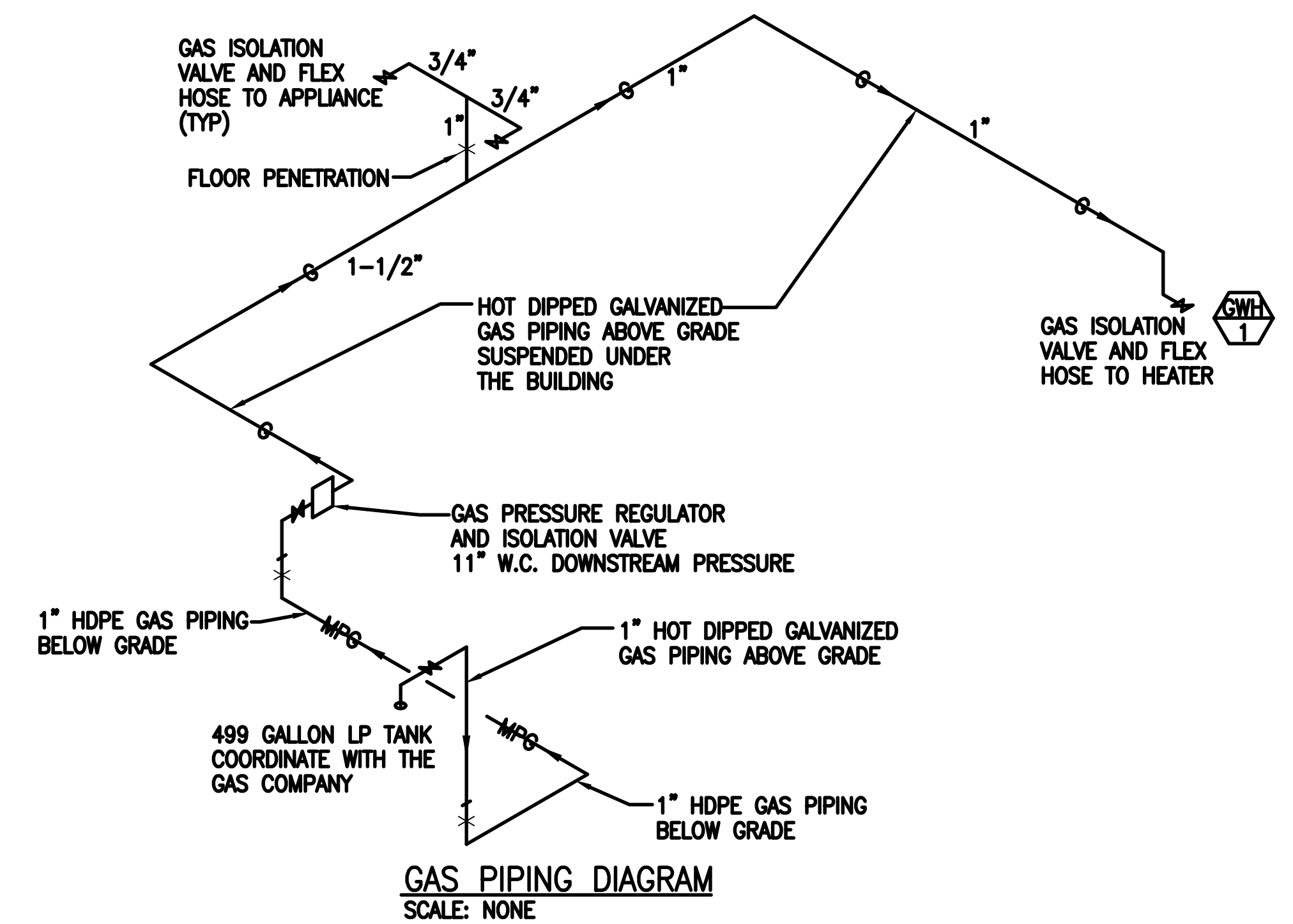
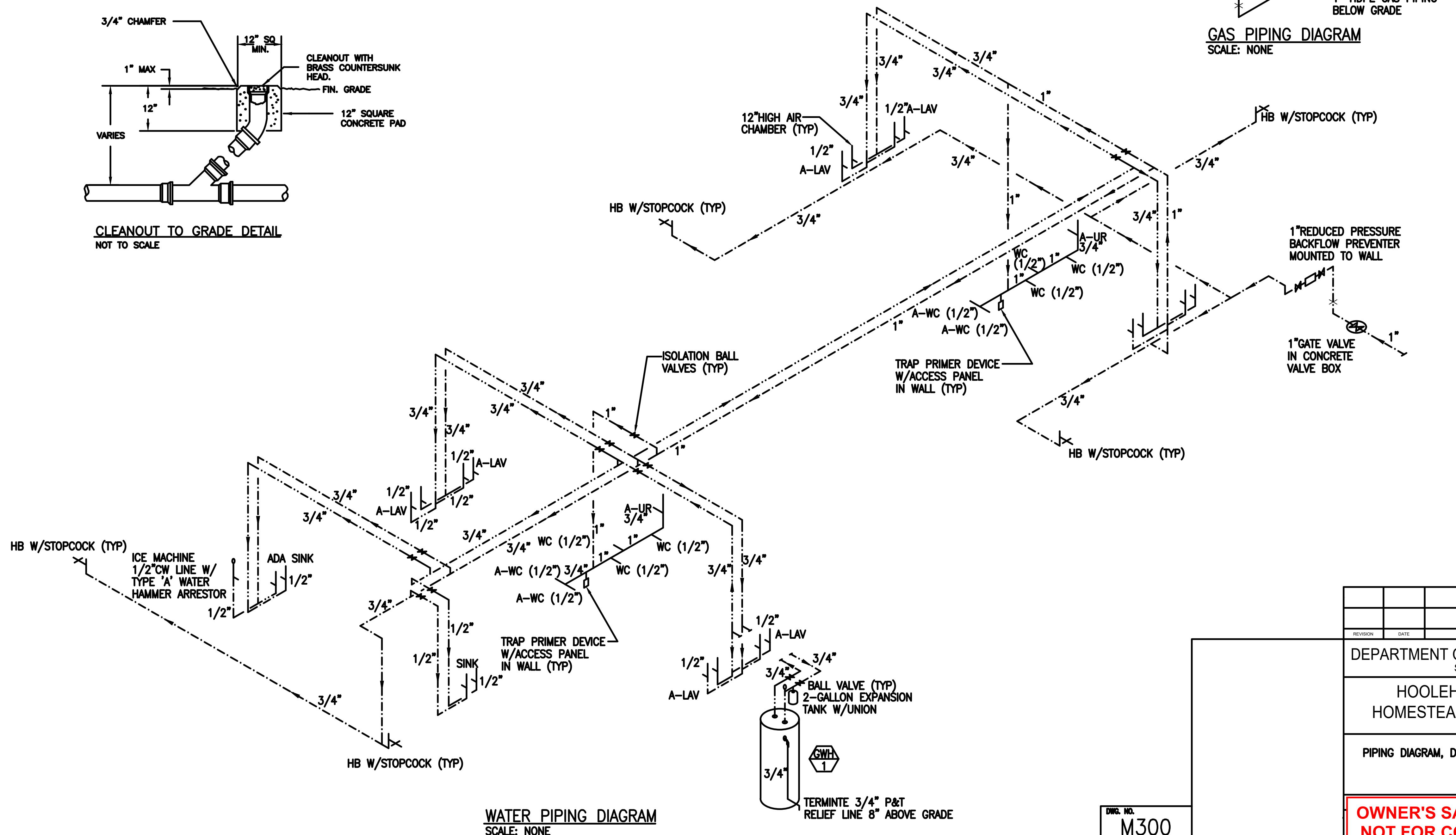
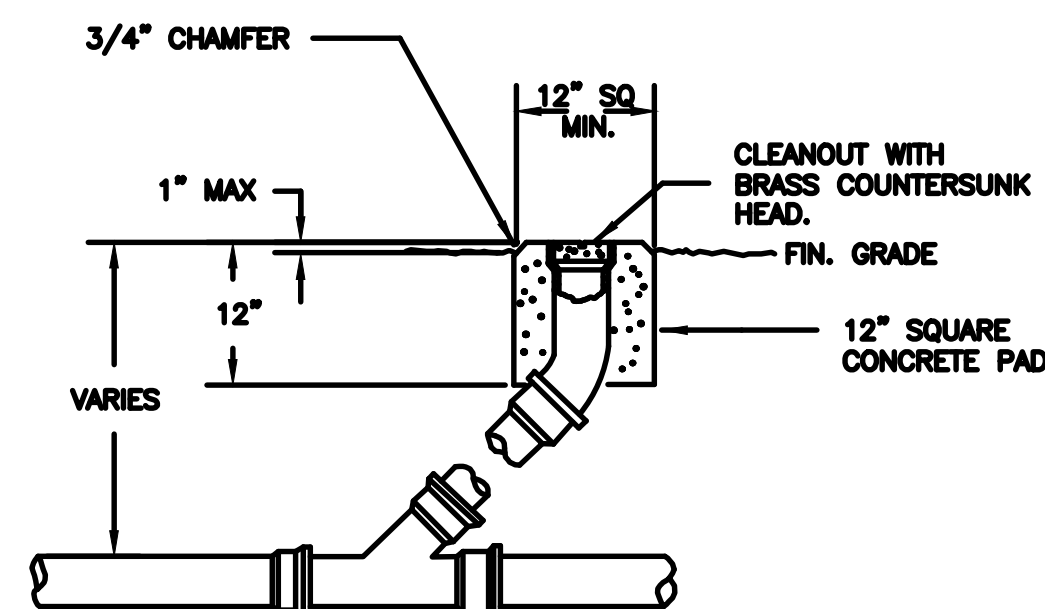
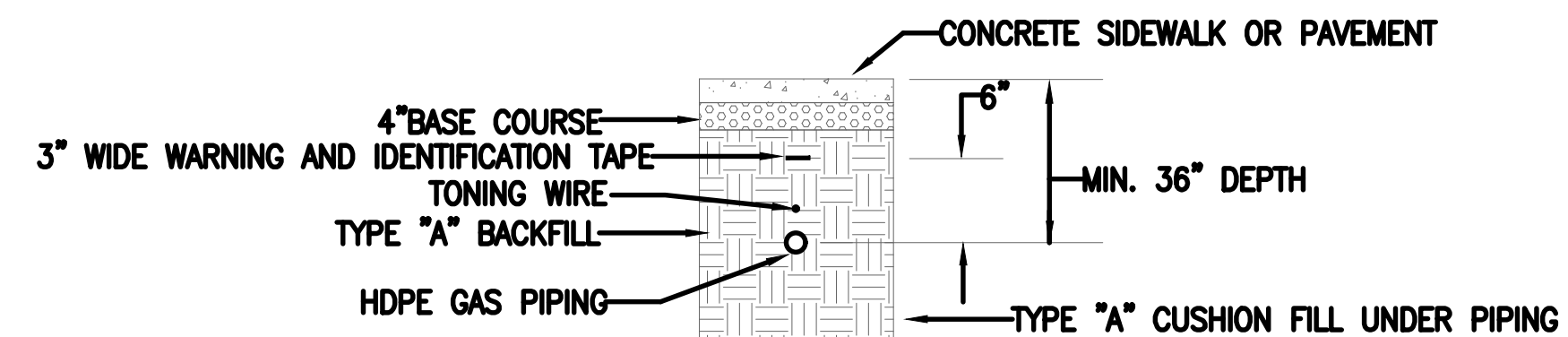
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| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII  |      |             |         |          |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007                            |      |             |         |          |
| ENLARGED SCALE FLOOR PLANS - PLUMBING<br>SANITARY PIPING DIAGRAM<br>MECHANICAL EQUIPMENT SCHEDULE |      |             |         |          |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION   |      |             |         |          |

DWG. NO.  
M200  
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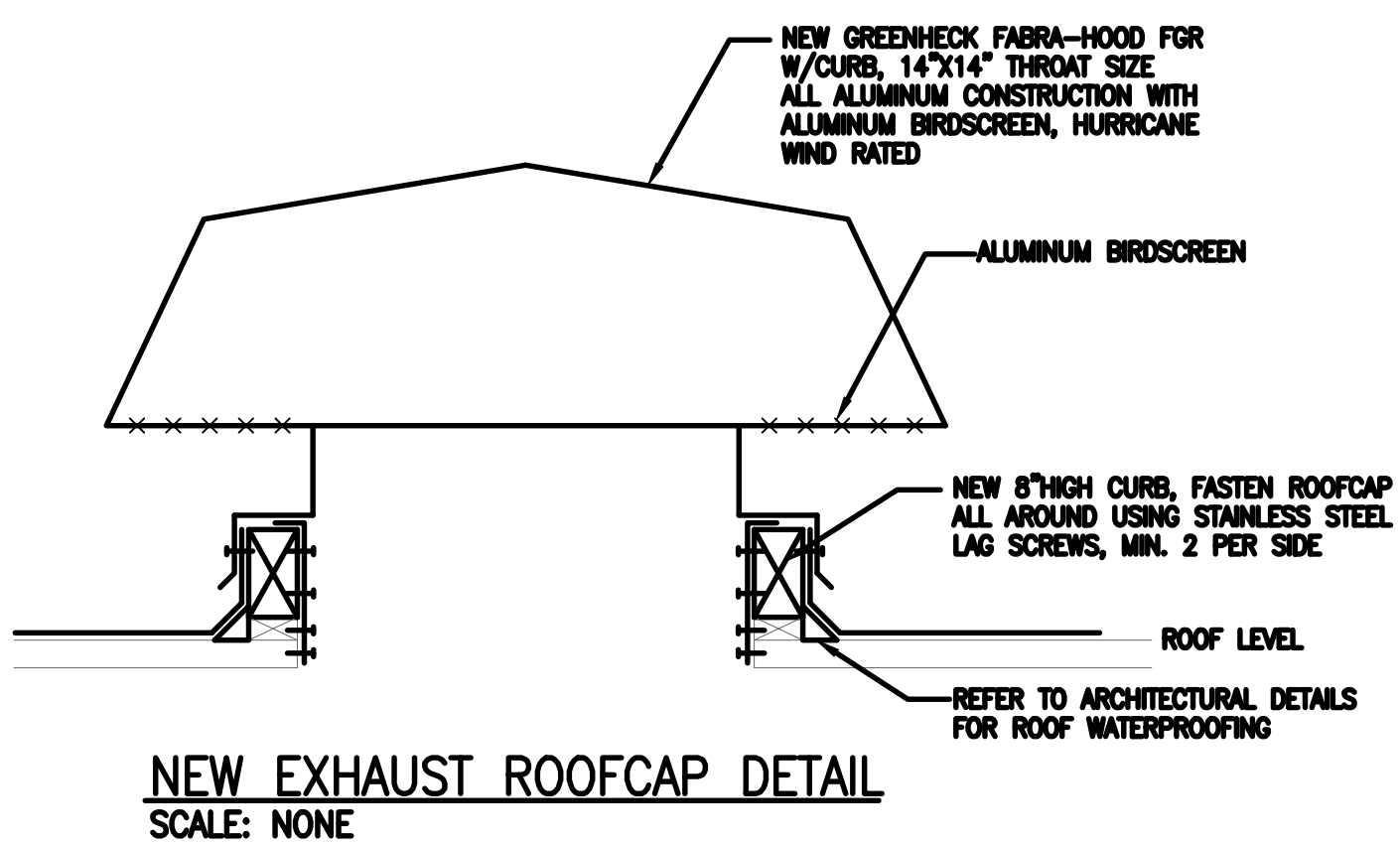
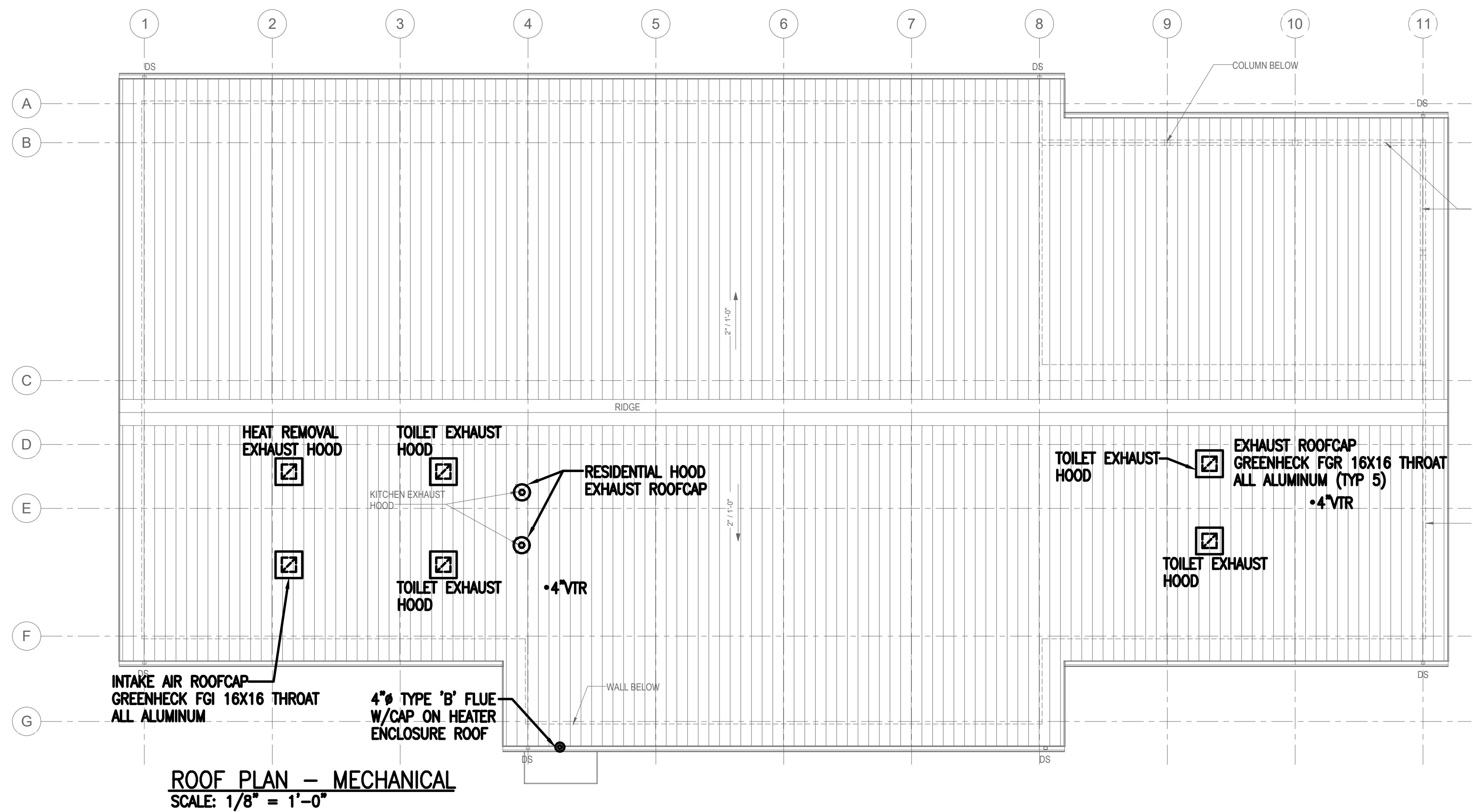
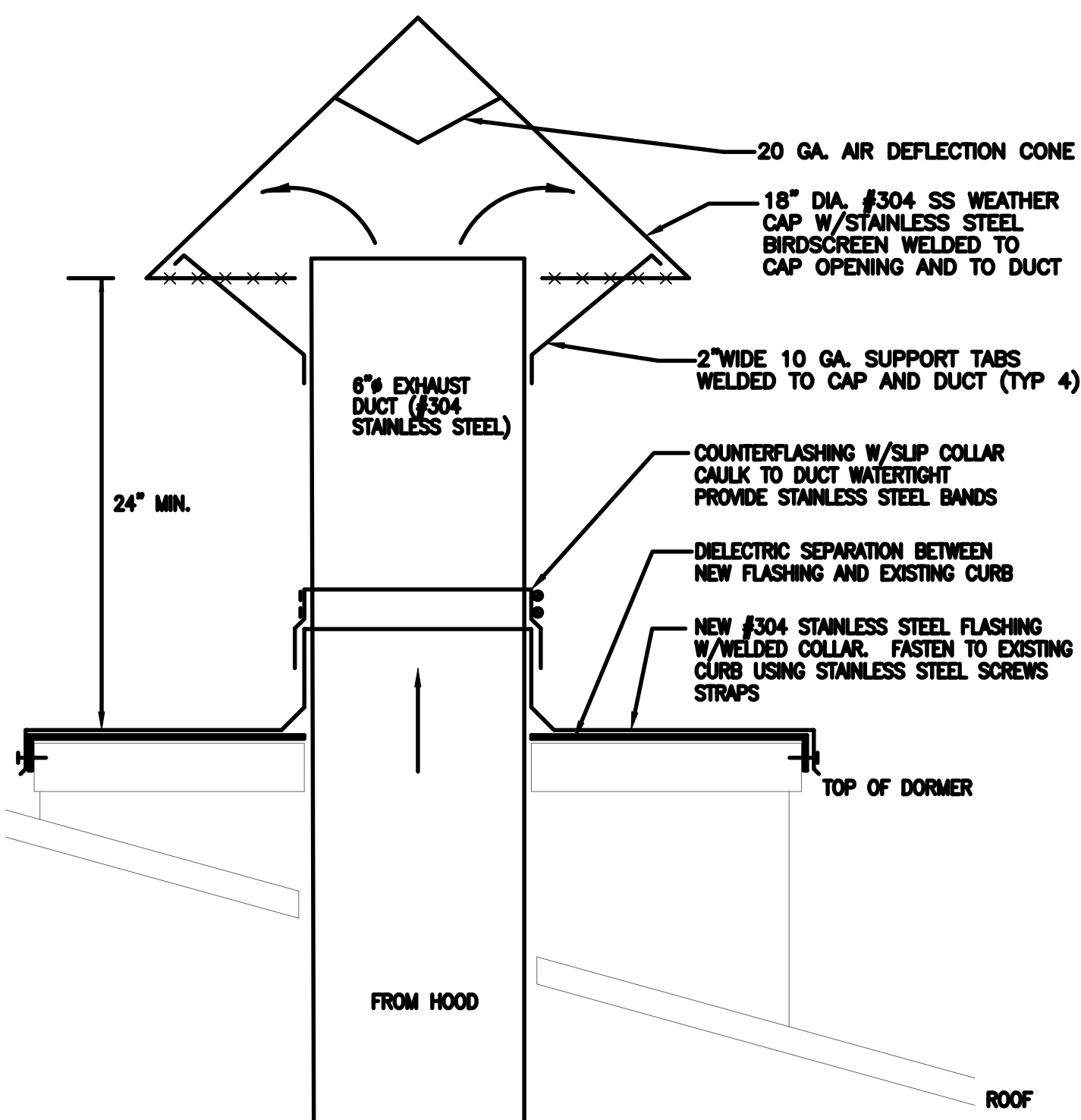
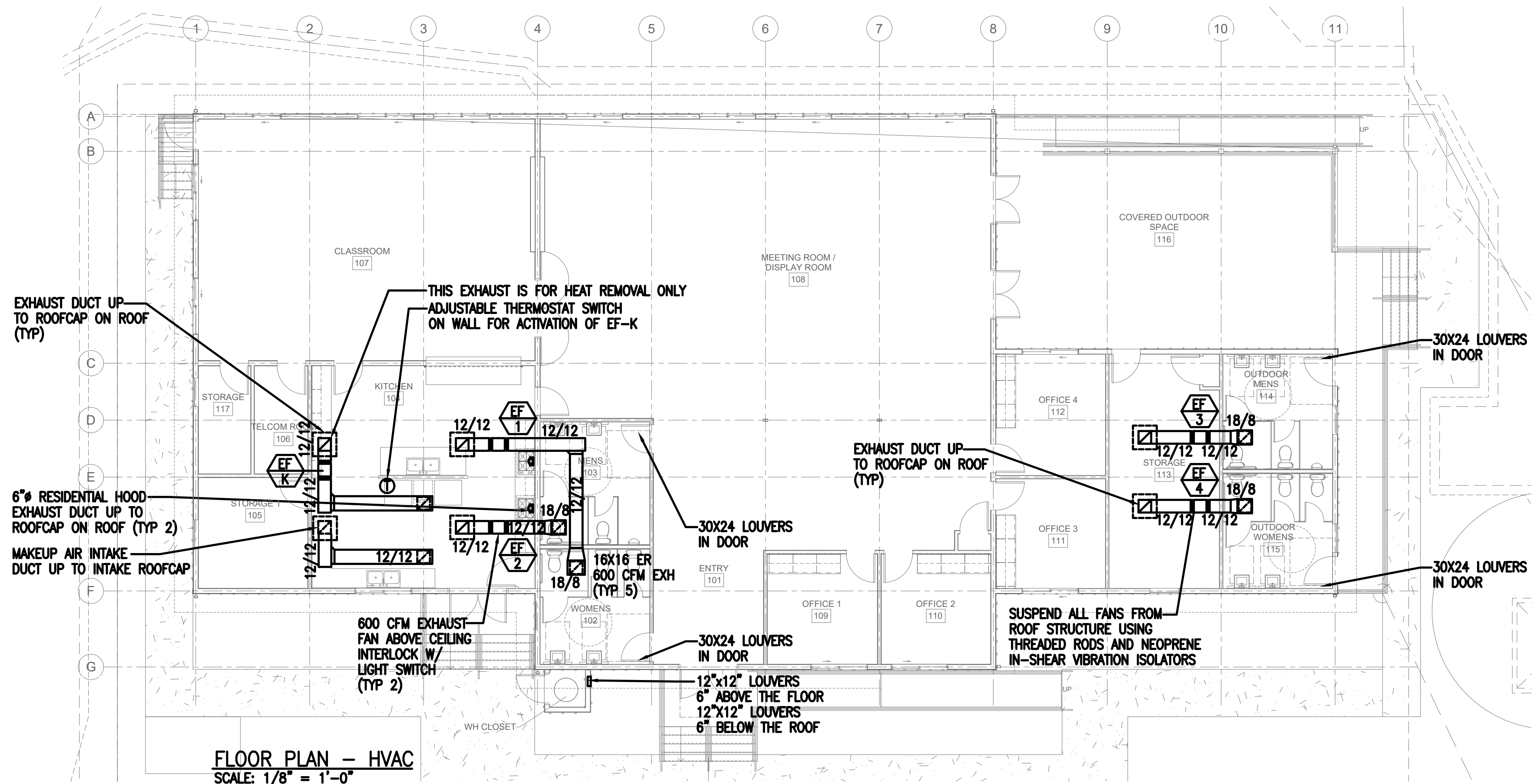
JUNE 2019



TYPICAL GAS PIPING TRENCH DETAIL – GRASS AREA  
NOT TO SCALE



|   |      |             |                  |          |
|---|------|-------------|------------------|----------|
|   |      |             |                  |          |
|   |      |             |                  |          |
| REVISION  | DATE | DESCRIPTION | MADE BY          | APPROVED |
| <p>DEPARTMENT OF HAWAIIAN HOME LANDS</p> <p>STATE OF HAWAII</p> <p>HOOLEHUA VETERANS AND<br/>HOMESTEAD RESIDENT'S CENTER</p> <p>RFP-19-HHL-007</p> <p>PIPING DIAGRAM, DETAILS</p> |      |             |                  |          |
| <p><b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b></p>  |      |             | <p>JUNE 2019</p> |          |



FILE: 19-10 DHHH m1.dwg  
DATE REV.: 6/05/2019

DWG. NO.  
**M400**  
SHEET 50 OF 57

| REVISION   | DATE | DESCRIPTION | MADE BY | APPROVED |
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|  |      |             |         |          |
| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |      |             |         |          |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |      |             |         |          |
| FLOOR PLAN - HVAC<br>ROOF PLAN - MECHANICAL<br>HVAC DETAILS            |      |             |         |          |
| <b>OWNER'S SAMPLE DESIGN<br/>NOT FOR CONSTRUCTION</b>                  |      |             |         |          |
| JUNE 2019  |      |             |         |          |



HAWAIIAN TELCOM. GENERAL CONSTRUCTION/DESIGN NOTES.

1. THE CONTRACTOR SHALL PROCURE AND PAY ALL LICENSES AND PERMITS AND SHALL GIVE ALL NOTICES NECESSARY AND INCIDENT TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.

2. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT AND TONING REQUEST FROM HAWAIIAN TELCOM'S EXCAVATION PERMIT SECTION, LOCATED AT 1177 BISHOP STREET, THIRD FLOOR, TWO WEEKS PRIOR TO THE START OF CONSTRUCTION. HOURS OF BUSINESS ARE 8:00 A.M. TO 11:00 P.M. AND 12:00 P.M. TO 3:00 P.M. MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS.

3. PRIOR TO THE EXCAVATION OF THE DUCT LINE, THE CONTRACTOR SHALL REQUEST HAWAIIAN TELCOM TO LOCATE EXISTING DUCT LINE WHEREVER REQUIRED. FOR UNDERGROUND CABLE LOCATING AND MARKING, FIVE (5) WORKING DAYS ADVANCE NOTICE IS REQUIRED. THREE (3) WORKING DAYS ADVANCE NOTICE IS REQUIRED FOR ANY INSPECTION BY A DESIGNATED REPRESENTATIVE.

4. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND SHALL MAINTAIN PROPER CLEARANCES WHENEVER CONSTRUCTION CROSSES OR IS IN CLOSE PROXIMITY OF HAWAIIAN TELCOM FACILITIES. THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND SHALL BE LIABLE FOR ANY DAMAGES TO HAWAIIAN TELCOM FACILITIES. ANY DAMAGES SHALL BE REPORTED IMMEDIATELY TO HAWAIIAN TELCOM'S REPAIR SECTION AT #611 (24 HOURS) OR TO THE EXCAVATION PERMIT SECTION AT 546-7746 (NORMAL WORKING HOURS, MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS). AS A RESULT OF HIS OPERATIONS, ADJUSTMENTS TO THE NEW DUCT LINE ALIGNMENT, IF REQUIRED, SHALL BE MADE TO PROVIDE THE REQUIRED CLEARANCES.

5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTION NOT TO DAMAGE EXISTING CABLES OR DUCTS. A HAWAIIAN TELCOM INSPECTOR OR DESIGNATED REPRESENTATIVE IS REQUIRED TO BE AT ANY JOB SITE WHENEVER THERE WILL BE A BREAKAGE INTO OR ENTRY INTO ANY STRUCTURE THAT CONTAIN HAWAIIAN TELCOM FACILITIES. TEMPORARY CABLE AND DUCT SUPPORTS SHALL BE PROVIDED WHENEVER NECESSARY.

6. THE CONTRACTOR SHALL NOTIFY HAWAIIAN TELCOM'S INSPECTOR OF DESIGNATED REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION, BRACING, OR BACK FILLING OF HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.

7. ALL APPLICABLE CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE "HAWAIIAN TELCOM STANDARD SPECIFICATIONS FOR PLACING TELEPHONE SYSTEMS", DATED JANUARY 2007. ALL SUBSEQUENT AMENDMENTS AND ADDITIONS, AND ALL OTHER PERTINENT STANDARDS FOR TELEPHONE CONSTRUCTION. CONTRACTOR SHALL FAMILIARIZE HIS PERSONNEL BY OBTAINING APPLICABLE SPECIFICATIONS.
8. WHEN EXCAVATION IS ADJACENT TO OR BENEATH HAWAIIAN TELCOM'S EXISTING STRUCTURES OF FACILITIES, THE CONTRACTOR SHALL:

a) SHEET AND/OR BRACE THE EXCAVATION TO PREVENT SLIDES, CAVE-INS, OR SETTLEMENTS TO ENSURE NO MOVEMENT TO HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.

b) PROTECT EXISTING STRUCTURES AND/OR FACILITIES WITH BEAMS, STRUTS, OR UNDERPINNING WHILE EXCAVATING BENEATH THEM TO ENSURE NO MOVEMENT TO HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.

9. THE CONTRACTOR SHALL BRACE ALL POLES OR LIGHT STANDARDS NEAR THE NEW DUCTLINE, MANHOLE, OR HANDHOLE DURING HIS OPERATIONS.

10. THE CONTRACTOR SHALL SAW-CUT A.C. PAVEMENT AND CONCRETE GUTTER WHEREVER NEW MANHOLES, OR DUCTLINES ARE TO BE PLACED AND SHALL RESTORE TO EXISTING CONDITION OR BETTER.

11. THE CONTRACTOR SHALL COMPLY WITH THE POLICY ADOPTED BY THE DEPARTMENT OF PUBLIC WORKS, CITY AND COUNTY OF HONOLULU, CONCERNING THE REPLACEMENT OF CONCRETE SIDEWALKS AFTER EXCAVATION WORK.

12. THE UNDERGROUND PIPES, CABLES, OR DUCTLINES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS AND INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. WHEREVER CONNECTIONS OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR THE NEW LINES.

13. WHENEVER CONNECTIONS TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES PRIOR TO EXCAVATION OF THE MAIN TRENCHES TO VERIFY THEIR LOCATIONS AND DEPTHS.

14. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE COST FOR SUPPLEMENTARY MEASURES, WHICH WILL BE REQUIRED BY THE CITY AND COUNTY, SHALL BE BORNE BY THE CONTRACTOR.

15. THE CONTRACTOR SHALL PUMP THE MANHOLES DRY DURING FINAL INSPECTION.

16. THE CONTRACTOR SHALL NOTIFY HAWAIIAN TELCOM INSPECTOR 24 HOURS PRIOR TO THE POURING OF CONCRETE OR BACKFILLING.
17. WHEN CONNECTING TO MANHOLE WALLS, ALL EXISTING REINFORCING BARS SHALL BE LEFT INTACT. DUCTS SHALL BE ADUSTED IN THE FIELD IN ORDER TO CLEAR REINFORCING.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT ALL REQUIRED LINES AND GRADES AND SHALL PRESERVE ALL BENCH MARKS AND WORKING POINTS NECESSARY TO LAY OUT THE WORK CORRECTLY. THE NEW DUCT LINE SHALL BE ADJUSTED BY THE CONTRACTOR TO SUIT THE EXISTING CONDITIONS AND THE DETAILS AS DESCRIBED IN THE PLANS.

19. MINIMUM, CONCRETE STRENGTH SHALL BE:

FOR DUCTLINE

2500 PSI AT 28 DAYS

FOR MANHOLE

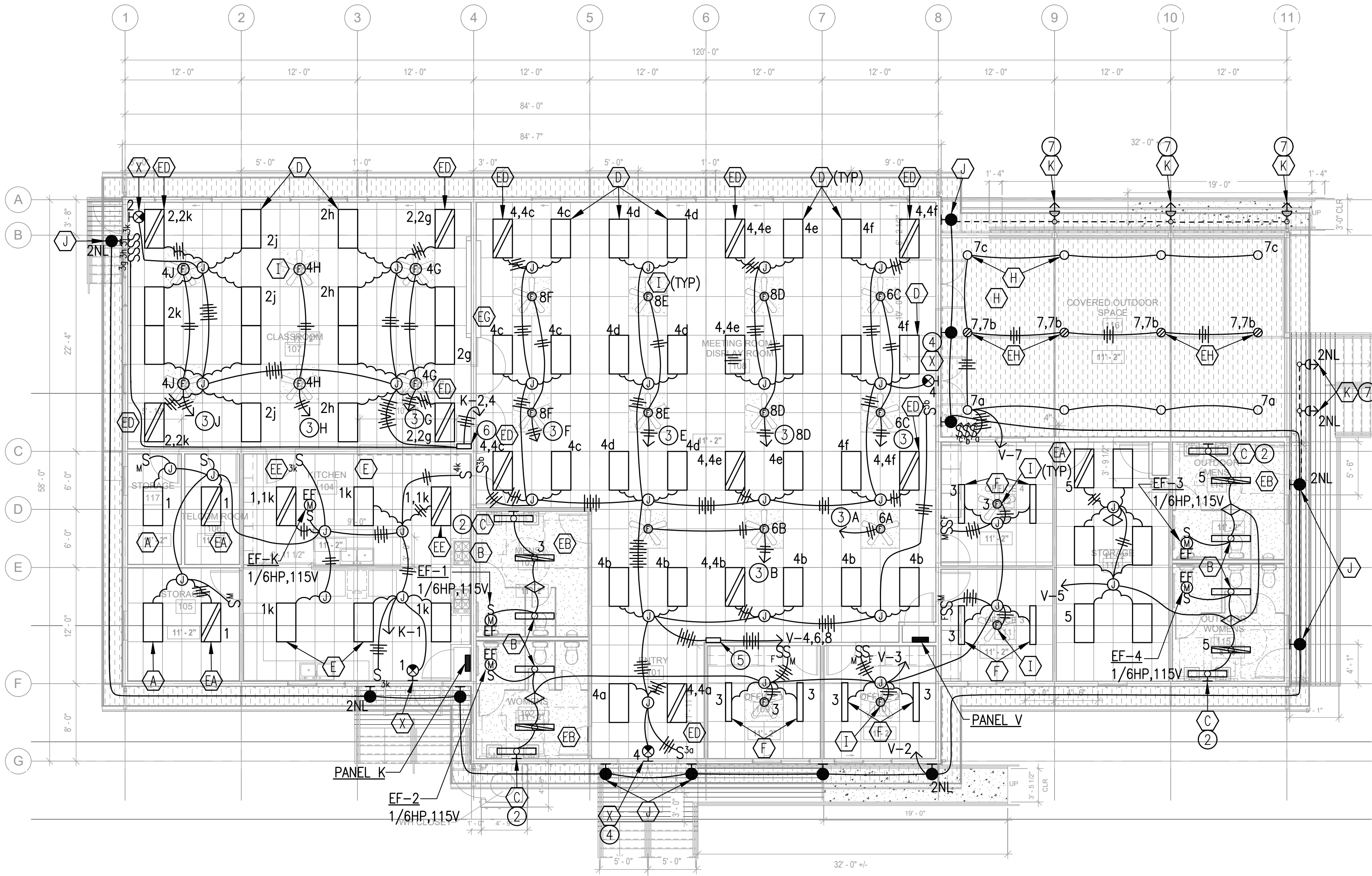
3000 PSI AT 28 DAYS

OR AS SPECIFIED IN DESIGN NOTES

20. BENDS IN THE DUCT ALIGNMENT, DUE TO THE CHANGES IN GRADE SHALL HAVE A MINIMUM RADIUS OF 25 FEET. ALL 90 DEGREE C-BENDS AT A POLE OR BUILDING FLOOR SLAB PENETRATION, SHALL HAVE A BEND RADIUS OF TEN TIMES THE DIAMETER OF THE DUCT OR GREATER.

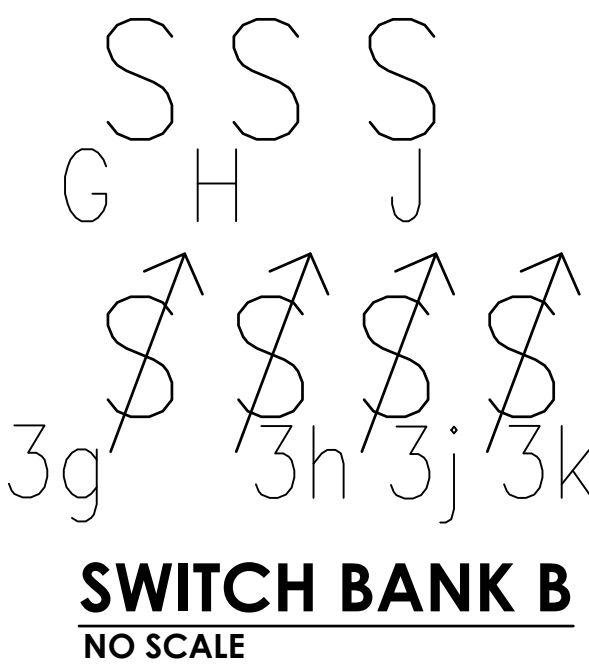
21. AFTER DUCT LINE HAS BEEN COMPLETED, A MANDREL WITH A SQUARE FRONT NOT LESS THAN 12" LONG AND HAVING A DIAMETER OF 1/4" LESS THAN THE INSIDE DIAMETER OF THE DUCT, SHALL BE PULLED THROUGH EACH DUCT AFTER WHICH A BRUSH WITH STIFF BRISTLES SHALL BE PULLED THROUGH TO MAKE CERTAIN THAT NO PARTICLES OF EARTH, SAND, OR GRAVEL HAVE BEEN LEFT INSIDE. DUCTS SHALL BE COMPLETELY DRY AND CLEAN.

22. ALL DUCTS AND CONDUITS SHALL HAVE AN 1800# POLYESTER MULE-TAPE (NEPTCO, WP1800P, HAWAIIAN TELCOM MATERIAL CODE NO. 571154) INSTALLED THROUGHOUT ITS ENTIRE LENGTH. ALL DUCTS SHALL BE CAPPED TO PREVENT ENTRY OF FOREIGN MATERIAL DURING CONSTRUCTION AND AT THE COMPLETION OF INSTALLATION.
- HAWAIIAN TELCOM NOTES  
NOT TO SCALE
- 
- Albert Chong Associates Inc.  
Consulting Electrical Engineers  
and Lighting Designers  
1117 Kapaehulu Avenue  
Honolulu, Hawaii 96816  
Telephone (808) 738-5355
- 
- DWG. NO.  
**E101**  
SHEET 52 OF 57
- |          |      |       |         |          |
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| REVISION | DATE | BRIEF | MADE BY | APPROVED |
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| DEPARTMENT OF HAWAIIAN HOME LANDS<br>STATE OF HAWAII                   |  |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |  |
| HAWAIIAN TELCOM NOTES  |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |  |
| JUNE 2019  |  |
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| FILE | POCKET | FOLDER | NO. |
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- FILE: F-101\_Hawaiian Telecom Notes.dwg  
DATE REV.: 11/05/2018



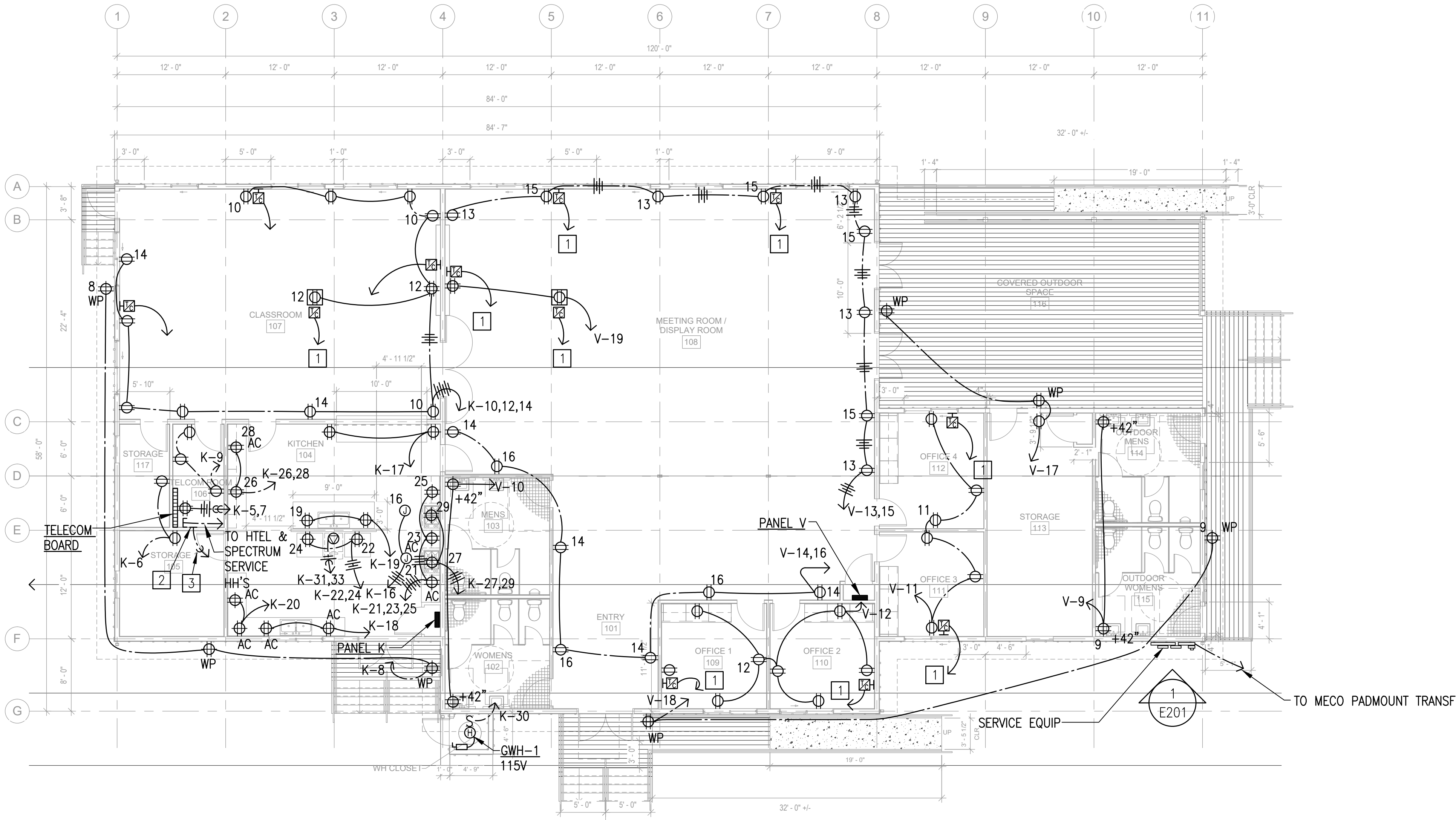
**LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"

- LIGHT NOTES:**
- ① MOUNT ABOVE FINISH FLOOR.
  - ② MOUNT ABOVE MIRROR.
  - ③ TO CEILING FAN SWITCH, AS DESIGNATED.
  - ④ MOUNT 6" ABOVE DOOR.
  - ⑤ SWITCH BANK "A". SEE DETAIL THIS SHEET.
  - ⑥ SWITCH BANK "B". SEE THIS SHEET.
  - ⑦ SURFACE MOUNT UNDER OVERHANG. PAINT ALL EXPOSED RACEWAY TO MATCH.
  - ⑧ PROVIDE 0-10V WIRING TO ALL 0-10V LUMINAIRES FOR LIGHTING CONTROL.



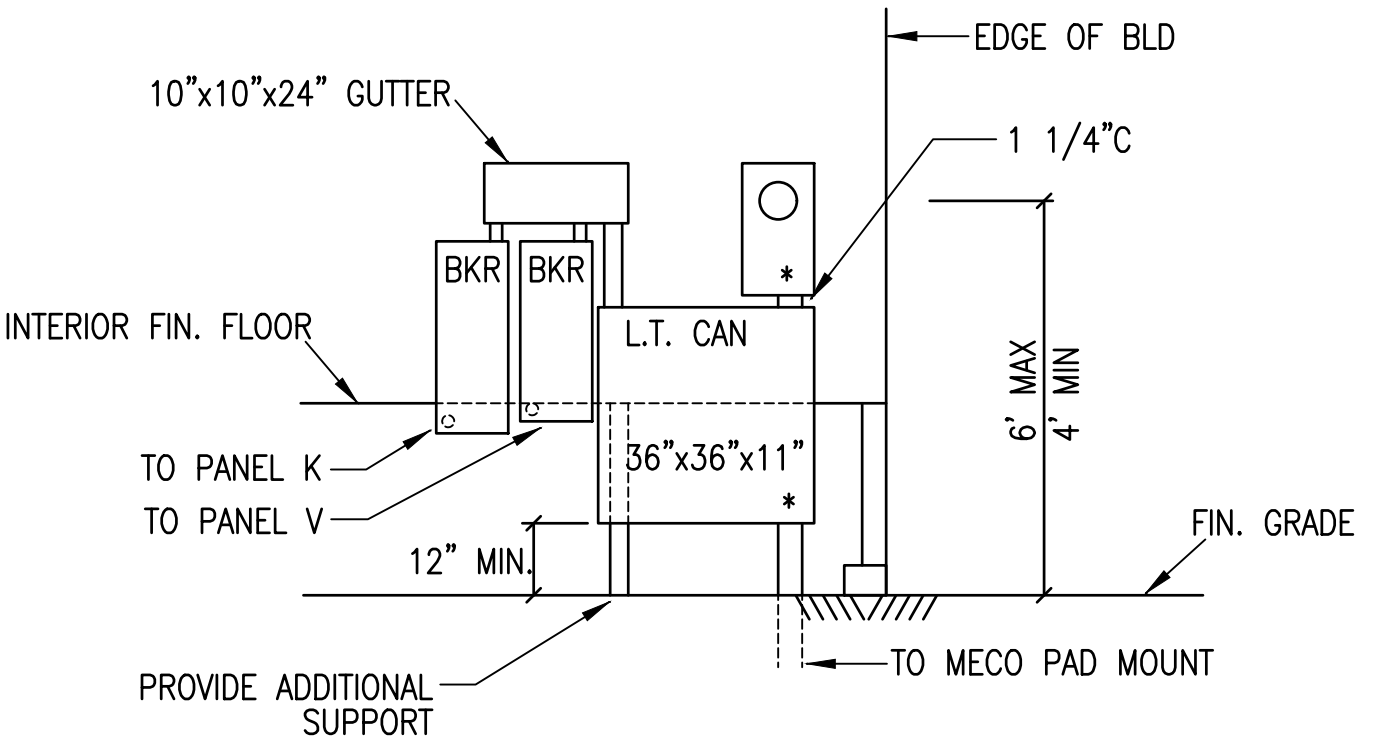
**SWITCH BANK A**  
NO SCALE

- SWITCH BANK NOTES:**
- 1. LABEL ALL SWITCHES.
  - 2. COORDINATE LIGHT SWITCHES WITH DIMMABLE DRIVER TYPE. PROVIDE 0-10V WIRING AS REQUIRED.
  - 3. FAN SWITCHES SHALL BE FULLY COMPATIBLE WITH FAN.
  - 4. PROVIDE GANGED COVER PLATES.



POWER & SIGNAL NOTES:

- 1 1"C, TO TELECOM TERMINAL BOARD.
- 2 1/4"(TH)x4"x10" COPPER 1 BUS BAR
- 3 3/4"C, #1/0, GROUNDING CONDUCTOR



NOTES:

- 1. ELECTRICAL EQUIPMENT SHALL BE NEMA 4XS.S.
- 2. \* SEALABLE ENCLOSURE

**ELEVATION**  
SCALE: 3/8" = 1'-0"

**POWER & SIGNAL PLAN**  
SCALE: 1/8" = 1'-0"

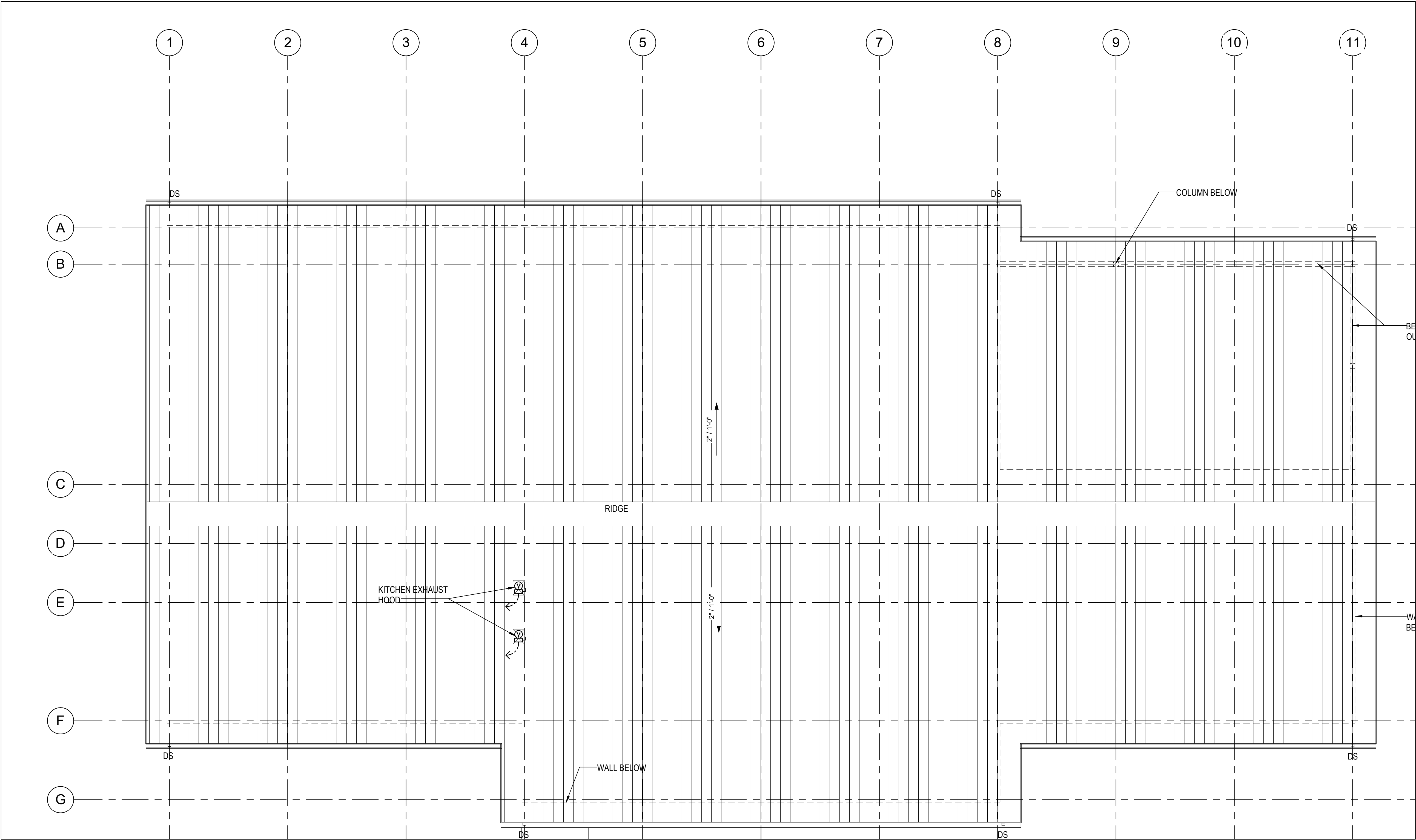
**Albert Chong Associates Inc.**  
Consulting Electrical Engineers  
and Lighting Designers  
1117 Kapiolani Avenue  
Honolulu, Hawaii 96816  
Telephone (808) 738-5355

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| DEPARTMENT OF HAWAIIAN HOME LANDS                                      |  |  |  |  |  |
| HOOLEHUA VETERANS AND<br>HOMESTEAD RESIDENT'S CENTER<br>RFP-19-HHL-007 |  |  |  |  |  |
| POWER & SIGNAL<br>PLAN   |  |  |  |  |  |
| OWNER'S SAMPLE DESIGN<br>NOT FOR CONSTRUCTION                          |  |  |  |  |  |
| JUNE 2019  |  |  |  |  |  |

0 4' 8' 16'  
Scale: 1/8" = 1'-0"

**E201**  
SHEET 54 OF 57

FILE: E-202 - Roof Electrical Plan.dwg  
DATE REV: 11/05/2018



**ROOF ELECTRICAL PLAN**  
SCALE: 3/16"=1'-0"

**Albert Chong Associates Inc.**  
Consulting Electrical Engineers  
and Lighting Designers  
1117 Kapihulu Avenue  
Honolulu, Hawaii 96816  
Telephone (808) 738-5355

**E202**  
SHEET 55 OF 57

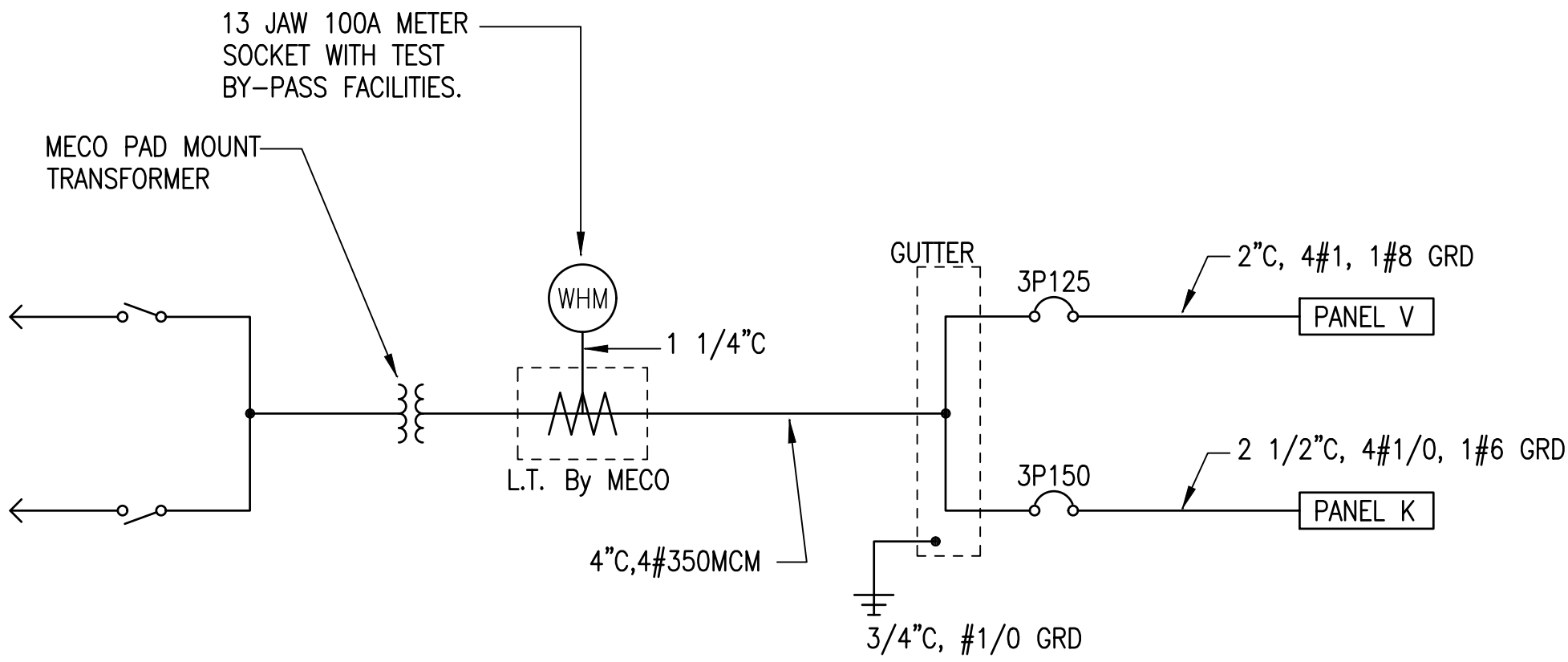
DEPARTMENT OF HAWAIIAN HOME LANDS

HOOLEHUA VETERANS AND  
HOMESTEAD RESIDENT'S CENTER  
RFP-19-HHL-007

ROOF ELECTRICAL PLAN

**OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION**

JUNE 2019



SINGLE LINE DIAGRAM

FILE: E-300 - Single Line Diagram.dwg  
DATE REV: 11/05/2018

**Albert Chong Associates Inc.**  
Consulting Electrical Engineers  
and Lighting Designers  
1117 Kapaehulu Avenue  
Honolulu, Hawaii 96816  
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DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII  
HOOLEHUA VETERANS AND  
HOMESTEAD RESIDENT'S CENTER  
RFP-19-HHL-007

SINGLE LINE  
DIAGRAM

**OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION**  
JUNE 2019

DWG. NO.  
**E300**  
SHEET 56 OF 57

|      |        |        |     |
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| FILE | POCKET | FOLDER | NO. |
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FILE: F-400 - Panel Schedule.dwg  
DATE REV.: 11/05/2018

| PANEL K      208/120 VOLTS      3 PHASE 4 WSN      3P150A MAIN BREAKER |         |                                 |         |         |         |      |
|--|---------|---------------------------------|---------|---------|---------|------|
| BREAKER I.C. 10,000A      20" WIDE CABINET      INDUSTRIAL-BOLTED      |         |                                 |         |         |         |      |
| COPPER BUS      SURFACE ENCL   |         |                                 |         |         |         |      |
| CKT NO.  | BREAKER | LOAD                            | KVA     |         |         | WIRE |
|  |         |                                 | PHASE A | PHASE B | PHASE C |      |
| 1  | 1P20A   | LIGHTS - KITCHEN, TELECOM, STOR | 0.2     |         |         | 12   |
| 2  | 1P20A   | LIGHTS - CLASSROOM              | 0.4     |         |         | 12   |
| 3  | 1P20A   | SPARE                           |         |         |         |      |
| 4  | 1P20A   | FANS - CLASSROOM                |         | 1.5     |         | 12   |
| 5  | 1P20A   | RECEP - TELECOM BOARD           |         |         | 0.2     | 12   |
| 6  | 1P20A   | RECEP - STORAGE                 |         |         | 0.4     | 12   |
| 7  | 1P20A   | RECEP - TELECOM BOARD           | 0.2     |         |         | 12   |
| 8  | 1P20A   | RECEP - EXTERIOR                | 0.6     |         |         | 12   |
| 9  | 1P20A   | RECEP - TELECOM                 |         | 0.4     |         | 12   |
| 10   | 1P20A   | RECEP - CLASSROOM               |         | 1.0     |         | 12   |
| 11   | 1P20A   | SPARE                           |         |         |         |      |
| 12   | 1P20A   | RECEP - CLASSROOM               |         |         | 0.6     | 12   |
| 13   | 1P20A   | SPARE                           |         |         |         |      |
| 14   | 1P20A   | RECEP - CLASSROOM               | 1.0     |         |         | 12   |
| 15   | 1P20A   | SPARE                           |         |         |         |      |
| 16   | 1P20A   | HOODS                           |         | 0.4     |         | 12   |
| 17   | 1P20A   | RECEP - KITCHEN COUNTER         |         |         | 0.4     | 12   |
| 18   | 1P20A   | RECEP - KITCHEN COUNTER         |         |         | 0.4     | 12   |
| 19   | 1P20A   | RECEP - KITCHEN COUNTER         | 0.4     |         |         | 12   |
| 20   | 1P20A   | RECEP - KITCHEN COUNTER         | 0.4     |         |         | 12   |
| 21   | 1P20A   | RECEP - KITCHEN                 |         | 1.0     |         | 12   |
| 22   | 1P20A   | RECEP - KITCHEN                 |         | 1.0     |         | 12   |
| 23   | 1P20A   | RECEP - KITCHEN                 |         |         | 1.0     | 12   |
| 24   | 1P20A   | RECEP - KITCHEN                 |         |         | 1.0     | 12   |
| 25   | 1P20A   | RECEP - KITCHEN                 | 1.0     |         |         | 12   |
| 26   | 1P20A   | RECEP - KITCHEN                 | 1.0     |         |         | 12   |
| 27   | 1P20A   | RECEP - GAS RANGE PILOT LIGHT   |         | 0.2     |         | 12   |
| 28   | 1P20A   | RECEP - KITCHEN                 |         | 1.0     |         | 12   |
| 29   | 1P20A   | RECEP - GAS RANGE PILOT LIGHT   |         |         | 0.2     | 12   |
| 30   | 1P20A   | GWH PILOT                       |         |         | 0.2     | 12   |
| 31,33  | 2P30A   | RECEP                           | 2.0     | 2.0     |         | 10   |
| 32   | 1P      | PFB                             |         |         |         |      |
|  |         |                                 |         |         |         |      |
| 34   | 1P      | PFB                             |         |         |         |      |
| 35   | 1P      | PFB                             |         |         |         |      |
| 36   | 1P      | PFB                             |         |         |         |      |
| 37   | 1P      | PFB                             |         |         |         |      |
| 38   | 1P      | PFB                             |         |         |         |      |
| 39   | 1P      | PFB                             |         |         |         |      |
| 40   | 1P      | PFB                             |         |         |         |      |
| 41   | 1P      | PFB                             |         |         |         |      |
| 42   | 1P      | PFB                             |         |         |         |      |
|  |         |                                 |         |         |         |      |
|  |         |                                 |         |         |         |      |
|  |         | NOTES:                          |         |         |         |      |
|  |         | 1. *GFI BREAKER                 |         |         |         |      |
|  |         |                                 |         |         |         |      |
|  |         | TOTALS                          | 7.2     | 8.5     | 4.4     |      |

| PANEL V      208/120 VOLTS      3 PHASE 4 WSN      3P125A MAIN BREAKER |         |                                |         |         |         |      |
|--|---------|--------------------------------|---------|---------|---------|------|
| BREAKER I.C. 10,000A      20" WIDE CABINET      INDUSTRIAL-BOLTED      |         |                                |         |         |         |      |
| COPPER BUS      SURFACE ENCL   |         |                                |         |         |         |      |
| CKT NO.  | BREAKER | LOAD                           | KVA     |         |         | WIRE |
|  |         |                                | PHASE A | PHASE B | PHASE C |      |
| 1  | 1P20A   | LIGHTS - PARKING/DRIVEWAY      | NL      | 0.8     |         | 10   |
| 2  | 1P20A   | LIGHTS - EXTERIOR              | NL      | 0.3     |         | 12   |
| 3  | 1P20A   | LIGHTS - OFFICES, RESTROOMS    |         | 1.0     |         | 12   |
| 4  | 1P20A   | LIGHTS - MEETING ROOM          |         | 1.3     |         | 12   |
| 5  | 1P20A   | LIGHTS - STOR, RESTROOM        |         |         | 0.4     | 12   |
| 6  | 1P20A   | CEILING FAN - MEETING ROOM     |         |         | 1.5     | 12   |
| 7  | 1P20A   | LIGHTS - COVERED OUTDOOR SPACE | 0.2     |         |         | 12   |
| 8  | 1P20A   | CEILING FAN - MEETING ROOM     | 1.5     |         |         | 12   |
| 9  | 1P20A   | RECEP - RESTROOM               |         | 0.4     |         | 12   |
| 10   | 1P20A   | RECEP - RESTROOM               |         | 0.4     |         | 12   |
| 11   | 1P20A   | RECEP - OFFICES                |         |         | 1.2     | 12   |
| 12   | 1P20A   | RECEP - OFFICES                |         |         | 1.2     | 12   |
| 13   | 1P20A   | RECEP - MEETING ROOM           | 1.0     |         |         | 12   |
| 14   | 1P20A   | RECEP - MEETING ROOM           | 1.0     |         |         | 12   |
| 15   | 1P20A   | RECEP - MEETING ROOM           |         | 0.8     |         | 12   |
| 16   | 1P20A   | RECEP - MEETING ROOM           |         | 0.8     |         | 12   |
| 17   | 1P20A   | RECEP - STOR, OUTDOOR SPACE    |         |         | 0.6     | 12   |
| 18   | 1P20A   | RECEP - EXTERIOR               |         |         | 0.4     | 12   |
| 19   | 1P20A   | RECEP - MEETING ROOM           |         |         |         | 12   |
| 20   | 1P20A   | SPARE                          | 0.8     |         |         | 12   |
| 21   | 1P20A   | SPARE                          |         |         |         |      |
| 22   | 1P20A   | SPARE                          |         |         |         |      |
| 23   | 1P20A   | SPARE                          |         |         |         |      |
| 24   | 1P20A   | SPARE                          |         |         |         |      |
| 25   | 1P      | PFB                            |         |         |         |      |
| 26   | 1P      | PFB                            |         |         |         |      |
| 27   | 1P      | PFB                            |         |         |         |      |
| 28   | 1P      | PFB                            |         |         |         |      |
| 29   | 1P      | PFB                            |         |         |         |      |
| 30   | 1P      | PFB                            |         |         |         |      |
| 31   | 1P      | PFB                            |         |         |         |      |
| 32   | 1P      | PFB                            |         |         |         |      |
| 33   | 1P      | PFB                            |         |         |         |      |
| 34   | 1P      | PFB                            |         |         |         |      |
| 35   | 1P      | PFB                            |         |         |         |      |
| 36   | 1P      | PFB                            |         |         |         |      |
|  |         |                                |         |         |         |      |
|  |         |                                |         |         |         |      |
|  |         | NOTES:                         |         |         |         |      |
|  |         | 1. *GFI BREAKER                |         |         |         |      |
|  |         |                                |         |         |         |      |
|  |         | TOTALS                         | 5.6     | 4.7     | 5.3     |      |

| LUMINAIRE SCHEDULE |               |   |
|--------------------|---------------|---|
| TYPE               | LAMP          | DESCRIPTION   |
| A                  | 30W/LED/35K   | METALUX 24GR4235  |
| B                  | 20.5W/LED/35K | METALUX 4WPLD4035R  |
| C                  | 36W/LED/35K   | LIGHTWAY VTEV-U-36W-3-Z1-WSA  |
| D                  | 35.7W/LED/35K | METALUX 24CZLD5-45-UNV-L835-CD1   |
| E                  | 40.7W/LED/35K | METALUX 24CZLD5-50-UNV-L835-CD1   |
| F                  | 35.7W/LED/35K | METALUX 14CZLD5-39-UNV-L835-CD1   |
| G                  | 21.2W/LED/35K | PORTFOLIO LD4B20D010-EU4B10209035-4LBW1LI   |
| H                  | 15.5W/LED/35K | PORTFOLIO LD4B15D010-EU4B10209035-4LBW1LI   |
| I                  |               | CEILING FAN, 42" WOOD BLADES  |
| J                  | 21W/LED/30K   | LIGHTWAY MDIW-726-LED-X-U-21W-2-Z1-WSA  |
| K                  | 28.6W/LED/30K | LUMIERE 1004-A1-RCS-RW-LED-3090-W-BZ-L1-UNV-RSM   |
| L                  |               |   |
|                    |               |   |
|                    |               |   |
| X                  | LED           | SURE LITES APXH-7-G   |
|                    |               |   |
|                    |               |   |
| EB                 | 20.5W/LED/35K | METALUX 14CZLD5-25-UNV-EL7W-L835-CD1  |
| ED                 | 35.7W/LED/35K | METALUX 24CZLD5-45-UNV-EL7W-L835-CD1  |
| EE                 | 40.7W/LED/35K | METALUX 24CZLD5-50-UNV-EL7W-L835-CD1  |
| EG                 | 21.2W/LED/35K | PORTFOLIO LD4B20D010EM7-EU4B10209035-4LBW1LI  |
| EH                 | 15.5W/LED/35K | PORTFOLIO LD4B15D010EM7-EU4B10209035-4LBW1LI  |
| PA                 | 52W/LED/30K   | INVUE VXS-E02-LED-E1-SL3-BZPRCPS-PC-7030-MA1101-BZ WITH 10' SQUARE ANODIZED ALUMINUM POLE |

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REVISION

DATE

BRIEF

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DEPARTMENT OF HAWAIIAN HOME LANDS  
STATE OF HAWAII

HOOLEHUA VETERANS AND  
HOMESTEAD RESIDENT'S CENTER  
RFP-19-HHL-007

PANEL SCHEDULE

OWNER'S SAMPLE DESIGN  
NOT FOR CONSTRUCTION

JUNE 2019

DWG. NO.  
E400

SHEET 57 OF 57